



Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

HISTORIC PRESERVATION ADVISORY BOARD

Thursday, July 6, 2017 – 6:00 p.m.
Commissioners Hearing Room
Third Floor of the Boulder County Courthouse

AGENDA

1. Citizen participation for items not otherwise on the agenda
2. Approval of minutes from previous meetings
3. Building Permit Reviews for Structures 50 Years of Age and Older
4. Landmark:
 - a. **Docket HP-17-0003: Hartnagle Farm**
Request: Boulder County Historic Landmark Designation
Location: 8975 Valmont Road, in Section 20, T1N, R69W in the 6th Principal Meridian.
Zoning: Agricultural (A)
Owner: City of Boulder
Applicant: City of Boulder, Open Space and Mountain Parks
5. Other Business:
 - a. Update on Parks and Open Space Projects from Carol Beam



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BOULDER COUNTY HISTORIC PRESERVATION ADVISORY BOARD

MINUTES

May 4, 2017

6:00 PM

Hearing Room, Third Floor,
County Courthouse, Boulder

Draft Draft Draft Draft Draft Draft Draft

On Thursday, May 4, 2017, the Boulder County Historic Preservation Advisory Board held a regular meeting, convening at 6:02 p.m. and adjourning at 8:02 p.m.

Board Members Present: Jim Burrus - chair, Steven Barnard, Jason Emery, Marissa Ferreira, Chuck Gray, and Stan Nilson

Board Members Excused: Ilona Dotterer, Rosslyn Scamehorn, and George Schusler

Staff Present: Denise Grimm, Charlene Collazzi, Jessica Fasick, Land Use Carol Beam, Parks and Open Space

Interested Others: 10

1. CITIZEN PARTICIPATION

None.

2. MINUTES

Approval of the February 9, 2017 Historic Preservation Advisory Board Minutes:

MOTION: Steven Barnard **MOVED** to approve the February 9, 2017 minutes as submitted.

SECOND: Chuck Gray

VOTE: Motion **PASSED** unanimously

3. BUILDING PERMIT REVIEWS FOR STRUCTURES 50 YEARS & OLDER

None.

4. LANDMARK

a. Docket HP-17-0002: Kolb Farm

Request: Boulder County Historic Landmark Designation
Location: 7715 Arapahoe Road, in Section 25, T1N, R70 in the 6th Principal Meridian.
Zoning: Rural Residential (RR) Zoning District
Owner: Boulder Municipal Property Authority
Applicant: City of Boulder, Open Space and Mountain Parks

Staff member, Denise Grimm, gave the staff presentation. An application for landmark designation of the farm has been submitted by the owner, the City of Boulder. The landmark application is for an irregularly-shaped site within the 38.78 acre parcel designated to encompass the extant buildings associated with the core of the Kolb Farm. The proposed landmark site includes 13 contributing resources and 3 non-contributing resources.

The contributing resources include the following:

1. Main residence
2. Garage
3. Unidentified building
4. Storage shed
5. Unidentified building
6. Poultry house (brooder house)
7. WPA-built privy
8. Grain bin
9. Granary
10. Poultry house
11. Silo
12. Dairy barn
13. Western 2 bays of the loafing shed

The non-contributing resources include the following:

1. Machine shed
2. Loading chute and corral
3. Eastern bay of the loafing shed

The Kolb Farm was purchased by Josef and Hattie (Eberharter) Kolb in 1909 and they built the 1 and a ½ story Craftsman-style bungalow in 1910. The other structures have varying ages from 1920 to

possibly the early 1960s. Early aerial photographs and a 1949 Assessor's card photo show a large building south of the dairy barn which was likely the main barn but was removed by 1971. The Kolb Farm is described in the application as a "traditional diversified operation" where they kept animals such as cows, chickens, pigs and draft horses and grew sugar beets and corn. Josef and Hattie had five sons – John, Joseph, Albert, Edward and Frederick – and the family retained ownership of the farmstead until 2008 when their descendants sold it to the City of Boulder.

After sitting vacant since 2007, the City of Boulder is intending on using the property as an agricultural tenant's farm. They are also proposing to remove the non-contributing resources from the farm including the eastern bay of the loafing shed.

SIGNIFICANCE

The Kolb Farm qualifies for landmark status under Criteria 1 and 4.

Criterion 15-501(A)(1) The character, interest, or value of the proposed landmark is part of the development, heritage, or cultural characteristics of the county;

The Kolb Farm is significant for its associations with early to mid-twentieth century farming practices in Boulder County; the site conveys its importance through the application of scientific agriculture and progressive era techniques that governed the construction and use of vernacular buildings.

Criteria 15-501(A)(4) The proposed landmark is an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials;

The Kolb Farm residence is significant as an early Boulder County example of a Craftsman-style bungalow; the farm complex is significant as an example of vernacular farm building construction.

RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Board APPROVE and recommend that the BOCC approve **HP-17-0002: Kolb Farm** under Criteria 1 and 4 and subject to the following conditions:

1. Alteration of any site feature or exterior feature of the contributing structures will require review and approval of a Certificate of Appropriateness (CA) by Boulder County (note: applicable county review processes, including but not limited to Site Plan Review, may be required).
2. Regular maintenance which prolongs the life of the landmark, using original materials or materials that replicate the original materials, will not require review for a Certificate of Appropriateness, provided the Land Use Director has determined that the repair is minor in nature and will not damage any existing architectural features. Emergency repairs, which are temporary in nature, will not require review (note: Depending on the type of work, a building permit may still be required.)

Julie Johnson, City of Boulder, Open Space and Mountain Parks representative, was available to answer questions.

OPEN PUBLIC COMMENT

None.

CLOSE PUBLIC COMMENT

MOTION: Steven Barnard **MOVED** that **HPAB APPROVE** and recommended that the Board of County Commissioners **APPROVE Docket HP-17-0002: Kolb Farm**

SECOND: Chuck Gray

VOTE: Motion **PASSED** unanimously

5. REFERRAL

a. Docket SU-17-TBD: Butte Blacksmith LLC Special Use Review

Request: Consider landmark eligibility and demolition of the blacksmith shop
Location: 6095 Valmont Road, in Section 22, T1N, R70.
Zoning: General Industrial (GI) Zoning
Owner: Butte Blacksmith LLC
Agent: Rosi Dennett

Staff member, Denise Grimm, gave the staff presentation. In 2014 the Land Use Department received an application for a Special Use and Site Specific Development Plan for multiple principal uses which generate over 150 average daily trips including a Vehicle Sales Lot, a Vehicle Service Center, a General Industrial (outdoor storage and recycling of junk vehicles), and a Single Family Dwelling. The process was not completed at that time and since that time they have worked on addressing issues raised by various referral bodies and are preparing a revised application.

They are asking for HPAB feedback before the formal submittal. They hired John Feinberg with The Collaborative, Inc. to assess the historic structure. That report is attached. A subcommittee of HPAB visited the site and reviewed the information from the report with Mr. Feinberg.

The owner is now requesting to be able to demolish this structure as part of the redevelopment plan.

The historic Valmont Blacksmith Shop is situated on the parcel and alterations to it are included in the proposal. An historic site survey was completed on the Valmont Blacksmith Shop in 1981. The survey lists a construction date of the 1870s and notes, "The structure is the only commercial establishment at the once thriving community of Valmont to still retain its integrity as an historic site." County Assessor records date the structure to 1900 but county construction dates are not always correct. The historic shop has been modified over the years, most significantly by an addition to the west. The façade of the blacksmith shop has also been altered with the loss of the historic bay door and windows on the right, the addition of a single door and a small window, as well as different siding. However, despite the additions and reconfiguration of doors and windows, the original form of the blacksmith shop is still evident and includes an historic window on the left side of the façade.

SIGNIFICANCE

The property qualifies for landmark designation under Criterion 1.

Criteria 15-501(A)(1) The character, interest, or value of the proposed landmark is part of the development, heritage, or cultural characteristics of the county;

The property is significant for its association with the early development of Valmont.

DISCUSSION

The proposal radically changes the site and the structure. While the zoning of the property is General Industrial, the neighborhood has maintained a sense of rural character and has not been developed to the level of intensity of similar properties in the city. The level of paving and development including a very large two story structure is over intensive for the site.

Numerous residents of the area have raised concerns regarding compatibility with the neighborhood and over intensive use of the site. Included in the packets are letters received thus far.

RECOMMENDATION

Staff recommends that the HPAB find the historic blacksmith building at 6095 Valmont to be eligible for landmark status. However, given the poor condition documented in the report provided from John Feinberg and seen in our recent site visit, a requirement to preserve the building should be a suggestion only and not a requirement. Concerns about neighborhood character remain and should be considered by the staff and review boards.

Rosi Dennett, the agent; Gary Chambers, the owner; and John Feinberg, the historic preservation consultant; spoke about the proposal and were available to answer questions.

OPEN PUBLIC COMMENT

None.

CLOSE PUBLIC COMMENT

MOTION: Steven Barnard **MOVED** that HPAB find the Butte Blacksmith building **ELIGIBLE** for landmark status; and then **APPROVED** deconstruction based on the poor condition of the building

SECOND: Chuck Gray

VOTE: Motion **PASSED** unanimously

Comments: HPAB would like some sort of signage in the area to interpret the history of Valmont, possibly including the Valmont School, but not necessarily at the owner's expense; HPAB would like an archaeological survey at time of demolition; HPAB would like the architectural inventory form updated; HPAB would like a subcommittee to review future development on the parcel

6. OTHER BUSINESS

a. National Register Nomination review of the Longhurst Lodge/McCarty Cabin

Request: State OAHHP requests HPAB review and comment on this application
Location: Parcel # 119726000047, off Colorado Highway 7, Allenspark vicinity

Staff member, Denise Grimm, gave the staff presentation. As a Certified Local Government (CLG), Boulder County has the opportunity to participate in the National Register process. The State Office of Archaeology and Historic Preservation (OAHHP) sends us copies of any applications within our jurisdiction to review. Attached are the documents for the nomination of the Longhurst Lodge-McCarty Cabin. The cabin was donated to HistoriCorps in 2016.

RECOMMENDATION

We recommend that HPAB respond to the state in support of the nomination recommending that the property meets criteria A, C and D.

- A) Property is associated with events that have made a significant contribution to the broad patterns of our history.
- C) Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D) Property has yielded, or is likely to yield, information important in prehistory or history.

Steven Seebohm, Historicorps representative, was available to answer questions.

OPEN PUBLIC COMMENT

None.

CLOSE PUBLIC COMMENT

MOTION: Stan Nilson **MOVED** that HPAB **SUPPORT** and recommend that the **Board of County Commissioners SUPPORT** the **National Register Nomination of the Longhurst Lodge/McCarty Cabin**

SECOND: Steven Barnard

VOTE: Motion **PASSED** unanimously

Comments: HPAB would like the owners of the cabin to landmark it with Boulder County.

b. Election of Officers

MOTION: Steven Barnard nominated Jim Burrus as Chair

SECOND: Jason Emery

VOTE: Motion PASSED unanimously

MOTION: Jason Emery nominated Marissa Ferreira as Vice-chair

SECOND: Jim Burrus

VOTE: Motion PASSED unanimously

- c. Reminder that the annual historic preservation awards night is May 15th at Chautauqua.
- d. Reminder of a Parks and Open Space presentation on May 17th about the Niwot Grange.

7. ADJOURNED

The Boulder County Historic Preservation Advisory Board meeting was adjourned at 8:02 p.m.

Detailed information regarding the docket items, including maps and legal descriptions are available for public use at the Land Use Department, 13th and Spruce, Boulder, CO 303-441-3930.



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HISTORIC PRESERVATION ADVISORY BOARD

Thursday, July 6, 2017 – 6:00 p.m.

Third Floor Hearing Room
Boulder County Courthouse

STAFF PLANNER: Denise Grimm

Docket HP-17-0003: Hartnagle Farm

Request: Boulder County Historic Landmark Designation
Location: 8975 Valmont Road, in Section 20, T1N, R69 in the 6th Principal Meridian.
Zoning: Agricultural (A) Zoning District
Owner: City of Boulder
Applicant: City of Boulder, Open Space and Mountain Parks Department

PURPOSE

To determine if the nominated property qualifies for landmark designation, determine if the application is complete, and formulate recommendations for the Board of County Commissioners.

BACKGROUND

An application for landmark designation of the farm has been submitted by the owner, the City of Boulder. The landmark application is for an irregularly-shaped site within the 29.59 acre parcel designated to encompass most of the extant buildings associated with the core of the Hartnagle Farm. The proposed landmark site includes 6 contributing resources with a 25 foot radius around each structure. There are 4 non-contributing resources on the farm site which are not included in the proposed landmark.

The contributing resources include the following:

- Farm house
- Chicken house
- Red barn
- Loafing shed (standing section)
- Corn crib
- West loafing shed

The non-contributing resources include the following:

- Outhouse
- Bull shed
- West shed
- Loafing shed (collapsed section)

The farmstead was first improved by Frank DaMetz around 1898 when most of the buildings were built including the 1 and a half story Folk Victorian-style house. Mr. DaMetz was both a farmer and a reverend. The farm was bought by Fred Schroeder in 1917, and in 1929 Jacob Hartnagle bought 90 acres including the farmstead. Jacob and Bertha (Haas) Hartnagle raised four children on the farm – Ernie, Al, Marilyn and Fred – and the family kept dairy cows, hogs, sheep and chickens and grew beets, hay, and wheat. The family retained ownership of the farm until shortly after Bertha passed away in 1996 and then sold the 90 acres to the City of Boulder.

The City of Boulder is intending on using the property as an agricultural tenant's farm. They are also proposing to remove the four non-contributing resources from the farm.

SIGNIFICANCE

The Hartnagle Farm qualifies for landmark status under Criteria 1 and 4.

Criterion 15-501(A)(1) The character, interest, or value of the proposed landmark is part of the development, heritage, or cultural characteristics of the county;

The Hartnagle Farm is significant for its association with early twentieth century farming practices in Boulder County; the site conveys its importance through both the adoption of scientific agriculture and circumstantial acceptance or rejection of certain Progressive Era agricultural techniques.

Criteria 15-501(A)(4) The proposed landmark is an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials;

The Hartnagle Farm residence is significant as an example of a Folk Victorian-style farmhouse; the farm complex is significant as an example of vernacular farm building construction.

RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Board APPROVE and recommend that the BOCC approve **HP-17-0003: Hartnagle Farm** under Criteria 1 and 4 and subject to the following conditions:

1. Alteration of any exterior feature of the contributing structures or construction within the site area will require review and approval of a Certificate of Appropriateness (CA) by Boulder County (note: applicable county review processes, including but not limited to Site Plan Review, may be required).

2. Regular maintenance which prolongs the life of the landmark, using original materials or materials that replicate the original materials, will not require review for a Certificate of Appropriateness, provided the Land Use Director has determined that the repair is minor in nature and will not damage any existing architectural features. Emergency repairs, which are temporary in nature, will not require review (note: Depending on the type of work, a building permit may still be required.)








Boulder County Land Use Department

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Land Use PreApplication Map: Vicinity

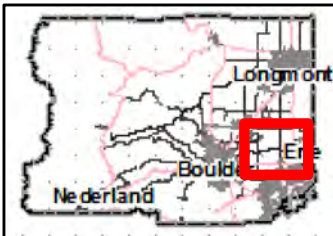
8975 Valmont

Legend

-  Subject Property
-  Intermittent Stream
-  Perennial Stream
-  Municipalities
-  Subdivisions

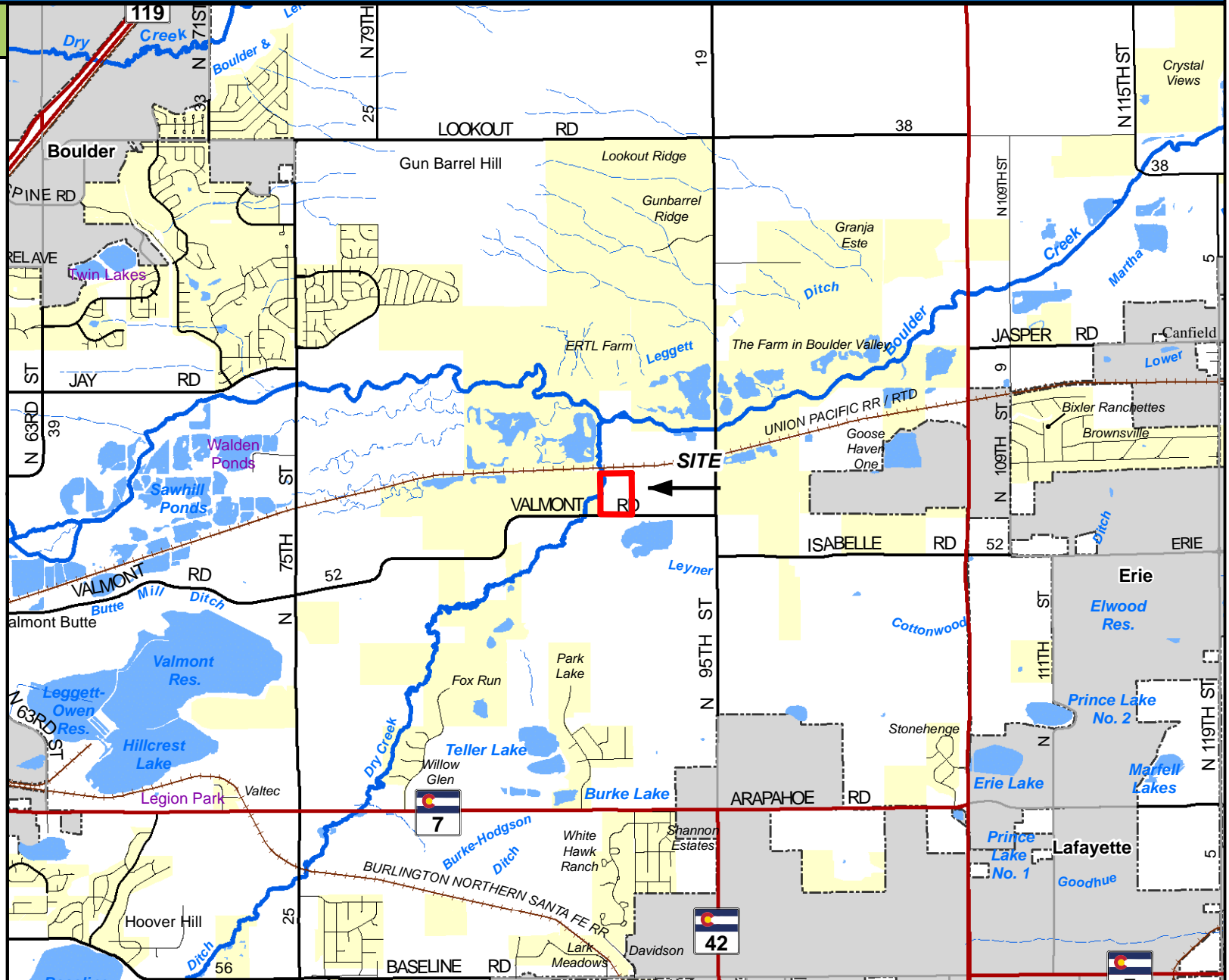


Area of Detail Date: 6/22/2017



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Boulder County Land Use Department

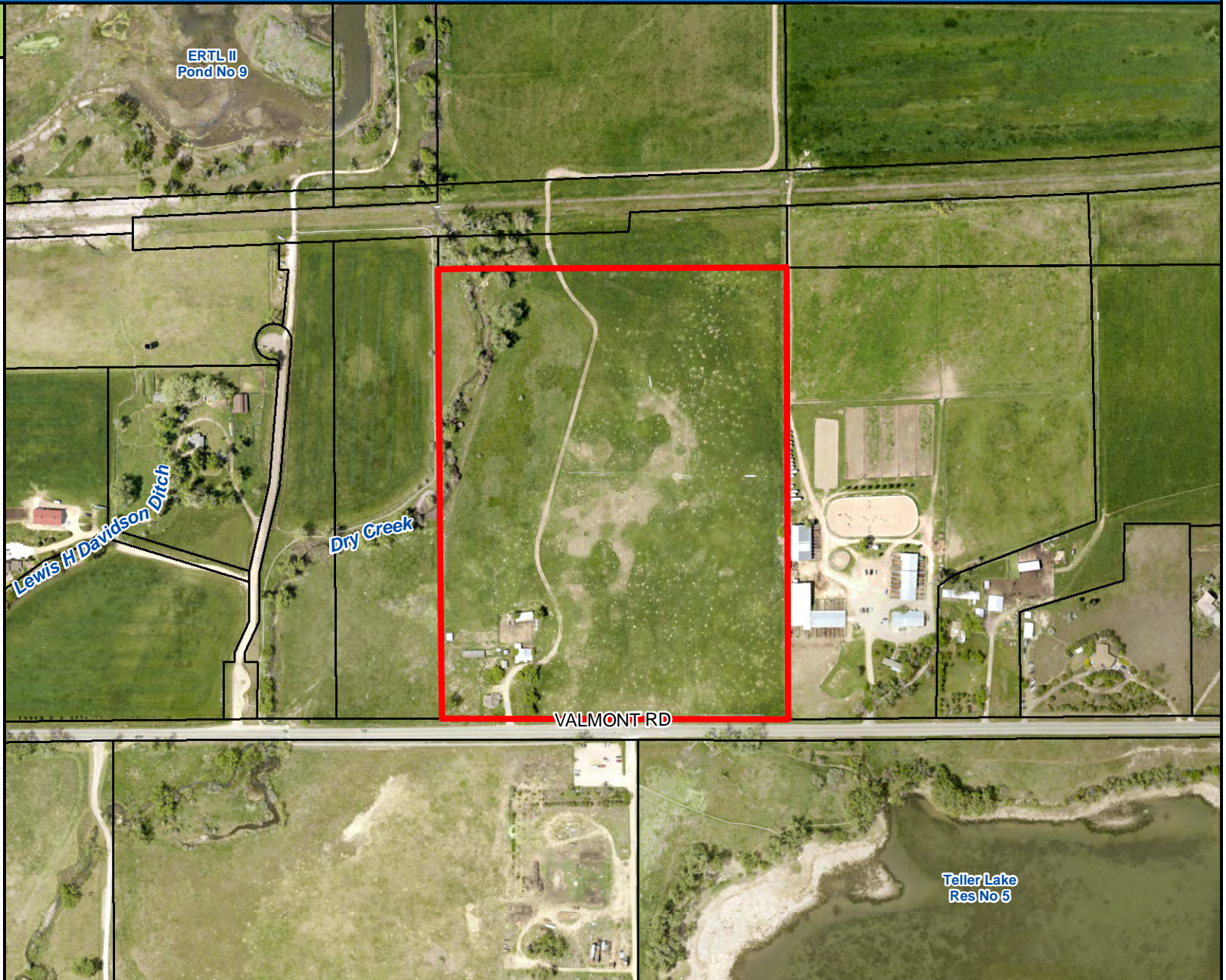
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Land Use PreApplication Map: Aerial

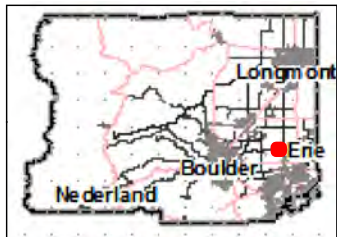
8975 Valmont

Legend

 Subject Property



Area of Detail Date: 6/22/2017



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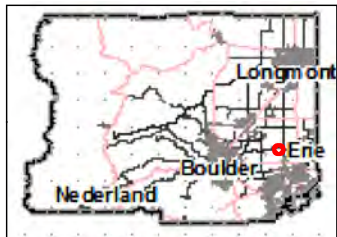


Legend

 Subject Property



Area of Detail Date: 6/22/2017



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VALMONT RD

Proposed Hartnagle Farm
landmark with 25' boundaries
around each contributing
structure.





Boulder County Land Use Department

Courthouse Annex Building
2045 13th Street • PO Box 471
Boulder, Colorado 80302

Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org •
<http://www.bouldercounty.org/lu/>

Office Hours: Monday — Friday 8:00 AM to 4:30 PM

Intake Stamp

Historic Landmark Nomination Form

Name of Property

| | |
|----------------------|-----------------------------|
| Historic Name | Hartnagle Farm |
| Other Names | DaMetz Farm, Schroeder Farm |
| Historical Narrative | See continuation sheets |
| | |
| | |

Location of Property

| | | |
|-------------------|----------|----------|
| Address(s) | | |
| 8975 Valmont Road | | |
| | | |
| City | State | Zip Code |
| Boulder | Colorado | 80301 |

Classification

Property Ownership:

Public Private Other

Category of Property:

Structure Site District

Number of Resources Within the Property (sites and districts only):

| | | | |
|---|------------------------|---|----------------------------|
| 6 | Contributing Resources | 3 | Non-contributing Resources |
|---|------------------------|---|----------------------------|

| |
|--|
| Narrative Describing Classification of Resources |
| See continuation sheets |
| |

Function or Use

| |
|---|
| Historic Functions |
| DOMESTIC- single dwelling; AGRICULTURE/SUBSISTENCE- storage, animal facility, agricultural outbuilding |
| Current Functions: |
| AGRICULTURE/SUBSISTENCE- storage, animal facility, agricultural outbuilding |
| |

Resource Description

| |
|--|
| Narrative Describing Resource See continuation sheets |
| |
| |
| |

Statement of Significance

Boulder County Criteria for Designation (check all that apply):

- The character, interest, or value of the proposed landmark as part of the development, heritage, or cultural characteristics of the county;
- Proposed landmark as a location of a significant local, county, state, or national event;
- The identification of the proposed landmark with a person or persons significantly contributing to the local, county, state, or national history;
- The proposed landmark as an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials;
- The proposed landmark as identification of the work of an architect, landscape architect, or master builder whose work has influenced development in the county, state, or nation;
- The proposed landmark's archaeological significance;
- The proposed landmark as an example of either architectural or structural innovation; and
- The relationship of the proposed landmark to other distinctive structures, districts, or sites which would also be determined to be of historic significance.

| |
|--|
| Areas of Significance Agriculture; Architecture |
| |
| Period of Significance Growth of Agriculture: 1897-1920 |
| |
| Significant Dates 1898, construction of buildings |
| |
| Significant Persons N/A |
| |

Bibliographical References

| |
|-------------------------|
| See continuation sheets |
| |
| |
| |

Geographical Data

| | |
|-------------------------------|---|
| Legal Description of Property | The northwest quarter of Section 20 in Township 1 North, Range 69 West using the 6th Prime Meridian. |
| Boundary Description | The boundary for the proposed landmark covers the building footprints plus a 25 feet wide buffer around each contributing resource. |
| Boundary Justification | The landmark boundary was established based on the extent of above ground features and to encompass all significant historic-age buildings and structures associated with the farm. |

Property Owner(s) Information

| | | |
|---|-------------------|---|
| Name City of Boulder, Open Space & Mountain Parks Department (c/o Julie Johnson, Cultural Resource Supervisor) | | |
| City Boulder | | Email Address johnsonj@bouldercolorado.gov |
| State Colorado | Zip Code 80303 | Phone Number 720-564-2012 |
| Signature | | |

Preparer of Form Information

| | | |
|---|-------------------|--|
| Name Katy Waechter | | |
| City Lakewood | | Email Address waechterk@bouldercolorado.gov |
| State Colorado | Zip Code 80228 | Phone Number 720-460-8043 |
| Signature <i>Katrina E. Waechter</i> | | |

Photos, Maps, and Site Plan

| |
|-------------------------|
| See continuation sheets |
| |
| |
| |

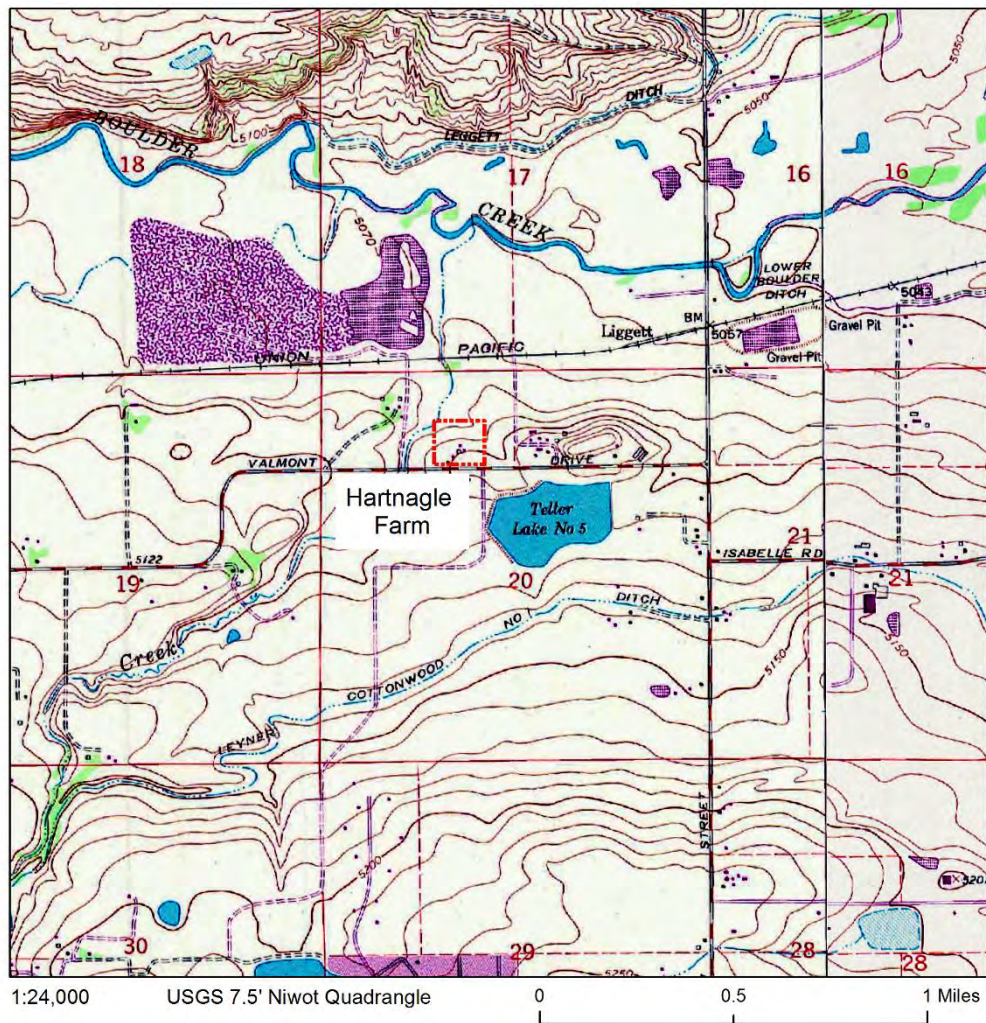
For Office Use Only

| | |
|---------------|------------------|
| Docket Number | Parcel Number |
| Assessor ID | Application Date |

Table 1: Hartnagle Farm Contributing and Non-Contributing Resources

| Contributing Resources | Non-Contributing Resources |
|-------------------------------------|---------------------------------------|
| (1) Farm House | (9) Outhouse |
| (2) Chicken House | (8) Bull Shed |
| (3) Red Barn | (6) West Shed |
| (4) Loafing Shed (standing section) | Loafing Shed (adjacent to Building 4) |
| (5) Corn Crib | |
| (7) West Loafing Shed | |

Location of Hartnagle Farm:



Continuation Sheet: Historical Narrative

The Hartnagle Farm is located at 8975 Valmont Road in unincorporated Boulder County on parcel number 146520000006. The property on which the Hartnagle Farm is located was patented by Charles P. Adams on July 6, 1868 (BLM 2017 [1868]: Accession COCOAA 040622). Mr. Adams paid the government outright for 80 acres in the north half of the northwestern quarter of Section 20, Township 1 North, Range 69 West. The Hartnagle Farm historically included agricultural fields on land in Section 17, Township 1 North, Range 69 West, which was originally granted to Samuel M. Breath as part of a military warrant under the Scrip Warrant Act of 1855 (BLM 2017 [1867]: Access MW-0233-353). Breath was granted 160 acres in the southwest quarter of the section, which he sold to William A. Davidson in 1862 (Boulder County Clerk and Recorder 2017, Reception #80001123, Book/Page 000A 0123). It's unclear what happened on the property between 1868 and 1898. Given Adams's tendency to patent properties and sell them, it's likely that the parcel was sold to an intermediary that did not appreciably improve the property. The next known owner is Frank DaMetz, who bought the property in or before 1898.

Frank DaMetz was a farmer and reverend at the Valmont Community Presbyterian Church from January 1903 through 1906 (James 1963) as well as in the towns of Davidson and Erie. Reverend DaMetz owned the property in 1898 when the Hartnagle Farm buildings were built except for the West Shed and Bull Shed. Reverend DaMetz and his wife, Grace DaMetz, had one son, Dr. Maurice DaMetz also a theologian, who stayed in the Boulder-Longmont area throughout his life. Reverend DaMetz continued his ministry outside of Brighton until 1939 and passed away in Greeley in 1942 (Daily Camera 1942). During his time on the Valmont-Davidson-Erie circuit, Reverend DaMetz married several couples that were prominent in the local farming community, including Nate and Grace Leggett, Bill and Lucy Nelson, as well as Monroe and Beatrice Hicks (Hartnagle 1986). Other prominent people associated with the DaMetz family includes Hannah Connell Barker, a significant figure in Boulder history, who owned nearby property and grazed cattle around the turn of the twentieth century. Barker along with DaMetz and two other neighboring landowners granted right-of-way access to the Baseline Land and Reservoir Company in 1905 (Boulder County Assessor 1905).

Frank DaMetz sold the property to Fred B. Schroeder in 1917 (Boulder County Clerk and Recorder 2017 [1917]: Reception Number 90129678). Fred Schroeder, originally from Wisconsin, ran a hog farm and dairy on the property. Mr. Schroeder came to Boulder in 1904 and became a locally well-known dairyman and popular director of the Mercantile Bank and Trust Company (Daily Camera 1939). Several years before Mr. Schroeder became a figurehead in the Boulder business community, he sold a portion of his property (150 acres) to William Nelson in 1922 (Boulder County Clerk and Recorder 2017 [1922]: Reception Number 90173098) and the remaining portion (90 acres) to Jacob (Jake) Hartnagle in 1929 (Boulder County Clerk and Recorder 2017 [1929]: Reception Number 90260782).

Jake Hartnagle was born on July 20, 1884 in Austria and settled in the Boulder area in 1905 along with three of his brothers, John, Andrew, and Michael. Bertha Haas was born in Connellsville, Pennsylvania on November 3, 1901. She and her family moved to Boulder in 1905 for her younger brother's health. Her father was a coal miner then farmer in the Louisville area. Bertha and Jake married in Boulder County (Marriage License 8542) on 11/27/1924 at St. Louis Catholic Church in Louisville (Boulder County Clerk and Recorder 2017 [1924]: Document Number 90210875; Daily Camera 1996). Mrs. Hartnagle worked at the Eberharter Restaurant and Store in Louisville before she married, then farmed with her husband throughout her married life. After they were married, the Hartnagles lived on and farmed Jim Burke's property near Baseline and 95th Street. While living on the Burke property, the Hartnagles had two children, Ernest ("Ernie") born in 1926 and Albert ("Al") born in 1928. The Hartnagles had three more children after they had moved to the Hartnagle Farm, John born in 1931 who did not live past infancy, Marilyn Marquerite born in 1936, and Frederick Francis born in 1941. All the children attended Davidson School up to grade six, then Douglass School, and Louisville High School except for Fred who attended Boulder High School (Hartnagle 1986).

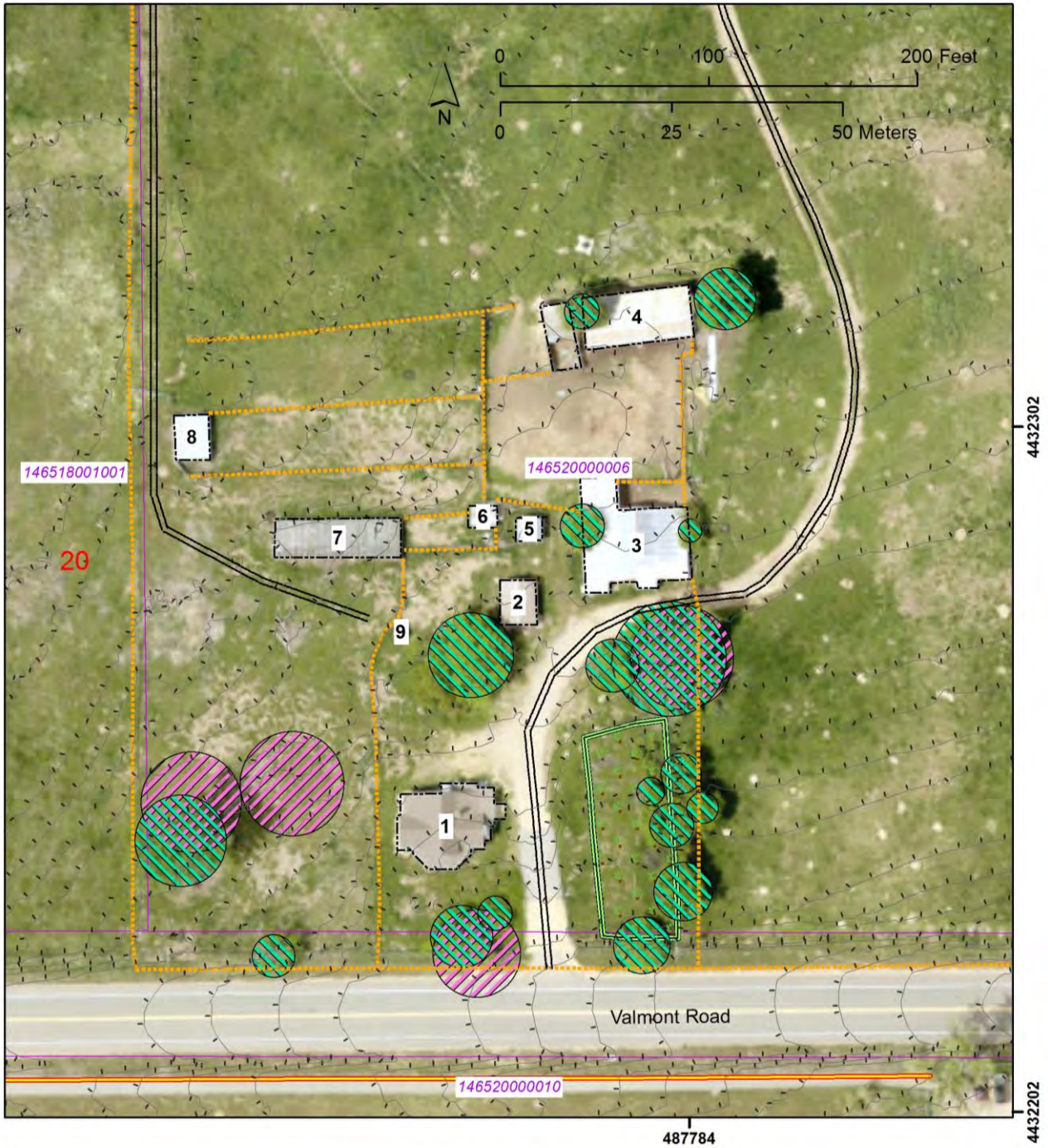
Jake Hartnagle passed away following a long illness on March 12, 1945. The oldest Hartnagle son, Ernest or "Ernie", was drafted in 1944 shortly before Jake's passing. Ernest served during World War II as part of the 7th Fleet in the Pacific Theater as a Seaman 2nd Class in the United States Navy (Daily Camera 1945). After Jake's passing and during Ernest's absence, Bertha, Al, and Marilyn primarily worked the farm in addition to help from Bertha's younger brother, Louie, Harry Rosa, Joe Dexter, Barbara and Roger King (Hartnagle 1986; Roger and Barbara 2006). After Ernie returned from World War II, he finished his education in agriculture at Colorado State University. He then returned home to help operate the Hartnagle Farm until he married Elaine Gibson in 1953 (Boulder County Clerk and Recorder [1953]: Document Number 90531936). Elaine passed away in 2014 and Ernie lives now in Kiowa, Colorado. The other children also married: Marilyn married David Scherer in 1959 (Boulder County Clerk and Recorder [1959]: Document Number 90634907) and lives now in Cañon City, Al married Dolores Evelyn Parker in 1967 (Boulder County Clerk and Recorder [1967]: Document Number 90634907) and passed away in 2012 in Georgia (Akins Funeral Home 2012), and Fred married Judy Lee Tregay in 1986 (Boulder County Clerk and Recorder [1986]: Document Number 00804483) and lives now in Erie, Colorado.

The Hartnagles grew beets, hay, wheat, and raised dairy cows, hogs, sheep and chickens. Bertha stopped growing beets after 1947 because of associated costs in housing migrant workers and falling profits because of competition from industrialized beet farming in the rest of the South Platte Valley (Hartnagle 1986). During their time at the farm, the Hartnagle family maintained close ties to neighbor farming families, including several of Japanese descent like the Yamamotos and Takamotos. The Hartnagles experienced the decline of the close knit agricultural community in east Boulder Valley. Bertha was particularly troubled by neighbors and government land owners that exploited or did not take care of their property. As the

demographic composition of Boulder County changed through the 1970s and 1980s, her frustration at the loss of the old agricultural community grew. Al continued to work on the farm throughout his adult life and ran Brands Lazy EY Livestock on the farm (Sladek and McWilliams 1995).

The Hartnagle family remained on the property until Bertha passed away on September 11, 1996 (Boulder Daily Camera 1996). Before Jake died in 1945, he told Bertha, “Whatever you do, if it gets so that you cannot handle the place by yourself no more, never rent it. Sell it.” Bertha never rented the farm despite numerous requests from neighbors and nearby farmers to do so, like Tell Ertl and Don Culver (Hartnagle 1986). Bertha’s estate sold the 90-acre property to the City of Boulder Open Space Department for \$1,884,400. The buildings remaining except the Red Barn and a few of the sheds have been vacant since acquisition by the City of Boulder.

Figure 1: Hartnagle Farm Site Plan



| | | | |
|--|------------------|--|-----------------------------|
| | 1 Foot Contours | | Multi-Use Trail; Paved Path |
| | Unimproved Road | | PLSS Sections |
| | Fence | | County Parcels |
| | Buildings | | |
| | Garden | | |
| | Tree (from 1971) | | |
| | Tree (from 2016) | | |

LEGEND

UTM Zone 13N, NAD1983

1:800

Sixth Prime Meridian
Township 1 N, Range 69 W,
Section 20

Base imagery is 3 inch resolution
from spring 2016 (DRCOG).

Continuation Sheet: Resource Descriptions

The Hartnagle Farm is an agricultural property located at 8795 Valmont Road in Boulder County, Colorado within the Great Plains physiographic province (Fenneman 1931). The farm core sits on approximately 20 acres of a 90-acre parcel six miles east-northeast of downtown Boulder, Colorado. The farm is local in rural east Boulder County and is surrounded by other farms in the immediate vicinity. Aspects are generally open and trend north towards Boulder Creek. The farm sits near the longitudinal apex of a rolling hill. Notable visible topographic features include Valmont Butte (3.5 miles west-southwest from the farm), the Boulder Flatirons (8 miles west-southwest from the farm), and the Indian Peaks (20 miles west from the farm).

The site consists of a farmstead core containing nine agricultural buildings and structures in the northwest quarter of Section 20, Township 1 North, Range 69 West and with agricultural fields north of the core in the southwest quarter of Section 17, Township 1 North, Range 69 West. European pasture grasses and alfalfa crop dominate ground cover at the Hartnagle Farm. There is little woody cover outside of planted trees and shrubs, which include narrowleaf cottonwood and lilac bushes. Two cottonwood trees and one lilac bush were found from the farm's period of significance, which are shown as overlapping tree features from 1971 and 2016 in Figure 1. Surficial soils at the farm include a Manter series sandy loam, a deep and excessively drained loam found in outwash, and an Ascalon sandy loam, a well-drained loam found in moderately coarse texture calcareous material (USDA NRCS 2013).

The landscapes immediately surrounding the Hartnagle Farm retain a rural character. Many of the properties have been acquired as City of Boulder Open Space and have not been further developed. There are two low-density suburban residential developments within one mile from the Hartnagle Farm, including the development near Melissa Lane and Valmont Road as well as Vincent Lane and 95th Street. A formerly active railroad is located at the north end of the parcel in which the Hartnagle Farm is located. This railroad grade is currently owned by the Regional Transportation District but was originally constructed at the Denver and Boulder Valley Railroad (5BL469), which was leased and then purchased by Union Pacific (Pettem 1996:17). The suburban residential developments are screened by vegetation and topography from the farm while the railroad is screened by topography from the farm.

The City of Boulder purchased the Hartnagle Farm in 1997, which became managed as an open space property. The farm is uninhabited currently except for use of the adjacent fields and several of the loafing sheds by an agricultural tenant for cattle grazing and hay production. A collection of large plastic irrigation pipes is located 700 feet northeast of the farmstead core. The farmstead is located at the southwestern corner of the parcel on the north side of Valmont Road. The entrance to the property is an approximately 100 feet long dirt driveway with a 40 feet long section of schist tracking material (installed 2015) on the north side of Valmont Road. Prior to 1980s, aerial imagery shows the farmstead core is composed of nine buildings, including the Farm House (Building 1), Chicken House (Building 2), Red Barn (Building 3), Loafing Shed (Building 4), Corn Crib (Building 5), West Shed (Building 6), West Loafing Shed (Building 7), Bull Shed (Building 8), and Outhouse (Building 9).

The Hartnagle Farm was initially documented as a cultural resource in 1995 by Ron Sladek and Carl McWilliams for Tatanka Historical Associates Inc. as part of the Unincorporated Boulder County Historic Sites: Survey Report (Sladek and McWilliams 1995) on the behalf of Boulder County Parks and Open Space. This recording mapped the buildings within the farm core, described a brief property history, and recorded four of the farm core buildings out of nine extant buildings and structures. Buildings and structures not recorded by Tatanka Historical Associates Inc. include all sheds (Building 4. Loafing Shed, Building 6. West Shed, Building 7. West Loafing Shed, Building 8. Bull Shed) and the outhouse (Building 9). Tatanka Historical Associates Inc. recorded the house (Building 1. Farm House), two granaries (Building 2. Chicken House, Building 5. Corn Crib), and the barn (Building 3. Red Barn). In 2001, archaeologists from Native Cultural Services reported the Hartnagle Farm within a reconnaissance survey area for the Cultural Resources of City of Boulder Open Space East Boulder, Boulder County, Colorado (Gleichman and Black 2001). Native Cultural Services summarized the initial documentation of the farm but did not provide documentation of a revisitiation at the time.

In fall of 2014, John Feinberg of The Collaborative Inc. (TCI) prepared a Historic Structure Assessment (HSA) for buildings in the farm core except for the outhouse (Building 9) as well as related planted vegetation, like tree cover and ornamental shrubs (TCI 2015). The HSA was funded through State Historical Fund grant HA-001. The HSA describes condition of buildings and their systems at the time of documentation and lists proposed treatments to address deficiencies.

The following descriptions of the buildings and structures at the Hartnagle Farm include information sourced from the 1995 and 2014 documentations in addition to observations made by Open Space and Mountain Parks cultural resources staff in spring 2017. Fieldwork conducted in 2017 confirmed the evaluations and findings of previous recordings and updated or created condition assessments of contributing and non-contributing resources of the proposed Hartnagle Farm historic landmark. Each number corresponds to the specified building location within site sketch map in Figure 1. Additionally, buildings are referred to as they are named in the HSA for continuity.

1. **Farm House**

Building 1 is the Farm House, a one and a half story irregular-plan Folk Victorian style house located at the southern end of the farm. The building is set on a mixed dry and wet laid stone foundation that forms a cellar and crawlspace under the main floor of the house. The entrance to the cellar and crawlspace is through a plain bulkhead door via concrete stairs on the northern elevation of the house. An attic space is accessible from the second story.

The house was built with a wood frame. The interior walls consist of painted plaster over sawn wood lath. The exterior wall siding on the first story is painted wood clapboard. The exterior wall siding on the second story is predominantly combinations of painted square butt and scalloped wood shingles. The north wall second story shingles are exclusively square butt wood shingles. The west and east wall gable ends treatment is scallops over square butt shingles. The south gable end treatment is alternative bands of seven courses of square butt shingles and

seven scalloped shingles for a total of four bands. The other siding materials include shiplap and beaded ceiling board. The shiplap covers the upper half of the north elevation of the enclosed porch. The beaded ceiling board is laid vertically on the lower half of the west wall of the kitchen closet extension, the enclosed porch lower half of the north elevation, and the entire east elevation of the enclosed porch below the windows. The exterior wall moldings include corner boards and a bed molding at the top of the first story where it covers the joint with the slightly expressed second story.

A single-story ground-level octagonal porch with wood ceiling and floor is located on the south elevation of the house. There are six ornamental columns with column capitals, intermediate capitals, and fan-style corbel braces with turned spindles that support the porch roof, shown in photos 6166 and 6233. The façade features a bay door in its center, which serves as the main entrance. The multi-panel door features a garland shaped wood applique above the window as well as an acanthus leaf vignette below the window, shown in photo 6237. A second entrance into the house is located adjacent on the east to the bay door, which is not ornamented and enters the dining room. A third entrance is located on the east elevation into the closed porch and kitchen area, which were added as part of an addition.

There are twenty individual windows in the house. Figure 2 shows the placement of the windows. All but seven of these windows, which are casement windows, are double hung. Many of the windows are original or were put in during the period of significance of the Hartnagle Farm. The windows have expressed sills, 1-inch by 4-inch jamb casing, and similarly sized head casings with metal flashing. The most notable window is a bay window on the southern portion of the eastern elevation, shown in photo 6169. The original materials and workmanship of these windows show a high degree of historic integrity of the Hartnagle Farm House.

The roof configuration is complex. It is cross-gabled with one gable running east-west along the building's southern half and the other taller main gable running north-south at the center point shown as green in Figure 3. This arrangement results in coverage gaps in the northwest and northeast quadrants. Each quadrant is covered by a shed roof extension beginning at the lower edge of the center gable roof and extending out to and over the exterior walls of the house, shown as yellow in Figure 3. The lower slope roof at the east elevation further extends at a still lower slope over the covered porch of the east elevation shown as gray in Figure 3. The five-sided one story open porch of the south elevation is covered by a low-sloped roof of five planes that join the exterior walls of the center located cross gable with sidewall flashing shown as tan in Figure 3. The projecting bay window of the east elevation has its own individual roof with three planes and slope to match that of the main gable roofs, with a small flat-roofed section shown as blue in Figure 3. The last of the roofs is a shed roof over the kitchen extension (pantry and kitchen closet) on the north elevation shown as orange in Figure 3.

The roof eaves project one foot and are dressed with bed molds at the joint between outer and inner fascia and soffit to the house. The outer fascia is partially covered by a metal drip mold. The roof covering is asphalt shingles of varying thicknesses in medium to dark brown. The valleys are covered with shingles rather than the more typical detail of metal valley flashing. There is a small flat roof section over the bay window constructed as a metal pan. Sidewall flashing is present where the lower roofs intersect the building walls at the cross gable to main section, the open porch, the bay window, the kitchen closet's north extension, and where each

Figure 2: Window location on first floor plan (TCI 2015: 39)

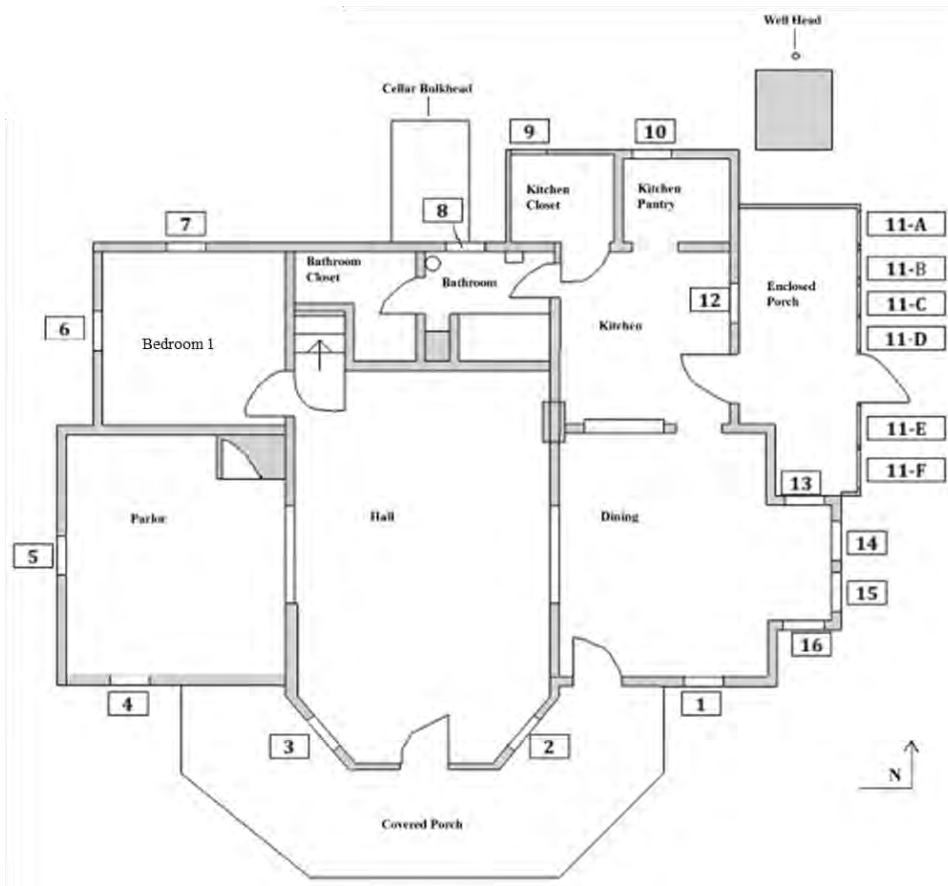
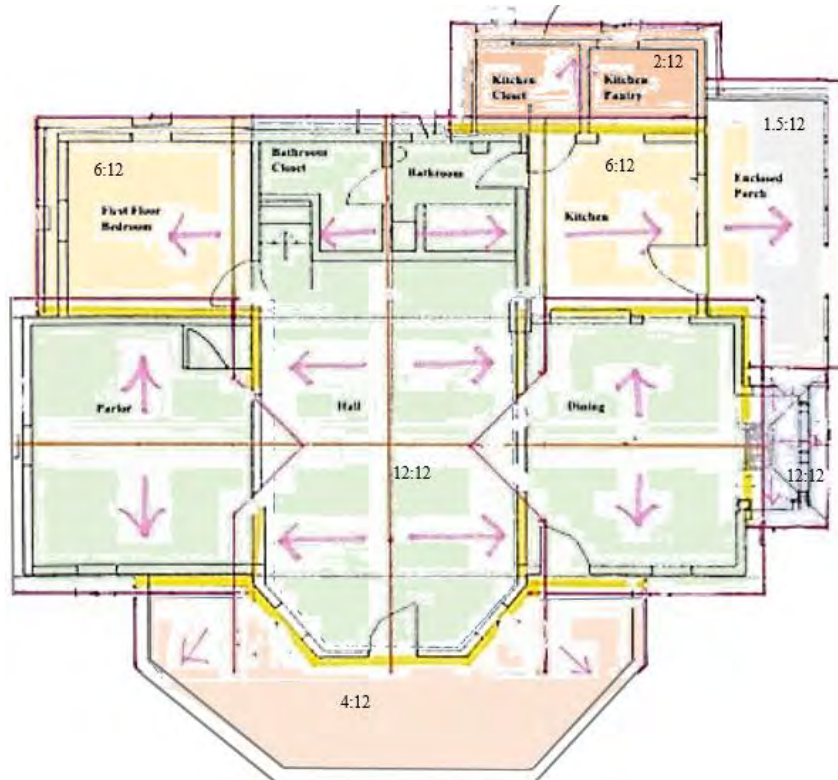


Figure 3: Roof configuration (TCI 2015: 33, modified)



quadrant of the shed roofs intersect the cross gable. There is one chimney, located at the northeast inside corner of the intersection of the two gable roof sections, that is constructed of brick and estimated to be 30 courses in height above the roof line. It extends into the basement.

The building is a Late Victorian style Folk Victorian house. Folk Victorian buildings were popular from ca. 1870 through 1910 (Sidler 2017). Folk Victorian follows vernacular style with prefabricated trimmings and ornamentations added from more formal Victorian styles like the Queen Anne style in the case of the Hartnagle Farm House. Typical features vary by local area but generally include symmetrical massing, brackets under the eaves, porches with spindlework or flat cut trim, low-pitched pyramid shaped roof, front gable and side wings (Craven 2017).

The previous recording of the farm house completed by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) identified the house as “Building A”, recommending it as a resource that contributes to the historic significance to the farm. In 2015, The Collaborative Inc. (TCI) conducted a Historic Structure Assessment for the farm, including the Farm House which has been vacant since 1997. TCI identified twenty-seven treatments that were needed to make the house fit for habitation. Open Space and Mountain Parks chose several of the most pressing issues and others associated with winterization to complete immediately. Those repairs were carried out in 2015 and 2016, including stone foundation repairs in two small sections on the north elevation of the house, foundation stabilization in crawlspace, installation of storm windows, other window repairs (replace missing panes, replace glazing where needed, new putty and paint, replace deteriorated wood, install weather stripping), replace deteriorated siding and shingles, and exterior house painting. The house exterior was painted gray to match Jake Hartnagle’s favorite color (Ernest Hartnagle personal correspondence). Repairs are intended to continue as part of ongoing renovations with the goal of leasing the house as a residence to agricultural tenants of the surrounding fields.

The building is in overall good condition. The house was built in 1898, one of the original buildings on the farm. Two additions, the kitchen closet and pantry as well as the enclosed porch, were constructed onto the north and eastern elevations of the house prior to 1938. Otherwise original or period-appropriate materials remain with little modification. The house is generally in good condition yet is not habitable due to non-functioning and obsolete mechanical, electrical, and plumbing systems. The building retains integrity and serves as a good example Late Victorian or Folk Victorian rural architecture in an intact agricultural setting. The interior of the house was not evaluated as part of the landmark documentation. However, detailed descriptions of the building interior can be found in the 2015 Historic Structure Assessment for the Hartnagle Farm (TCI 2015).

2. **Chicken House**

Building 2 is the Chicken House, a single-story wood frame building located in the center of the farm core. The building measures 16 feet wide by 20 feet 3 inches long. Figure 4 shows a plan sketch of the building. The building has two rooms created by a three-quarters building height east-west oriented internal wall. The building foundation is the southwest and southeast floor joists sitting on a reused 4-inches by 8-inches piece of dimensional lumber. Scattered stones and wood beams support the west and east walls as well. The walls are framed with 2-

inches by 6-inches dimensional lumber. The wall siding is made of lapped horizontal wood planks on the north and south elevations and laid like a corn crib on the east and west sides. It's likely that the building was once a corn crib that was converted to a poultry house. The sidewalls are leaning west at 1/8 inch in 9-inch section. There are open knot holes in the sidewalls, end and edge splits, minor missing material, and deterioration of bottom planks. Some of the sidewalls have been patched with metal can ends.

The roof is gabled and covered by original wood shingles. Many of the roof shingles are cupped, split, or missing. The gable ends are constructed of 2-inches by 4-inches dimensional lumber let into the top of studs as a top plate with more 2-inches by 4-inches lumber as the bottom plate. The north and south walls are sheathed inside and outside. The joists are 2-inches by 8-inches dimensional lumber that run east to west. There are a carriage beam at the upper third point and a carriage beam at the lower third point of the gable ends. The roof structure is a rafter made from 2-inches by 4-inches dimensional lumber. There are no collar ties or ridge beam. The fascia at the gable ends is partial on the east and west sides, covering the ends of the rafters. A small section of flashing is visible along the roof ridge. There is no indication of settlement in the roof plane. The roof has a single hatch comprised of wood covered with asphalt shingles.

The Chicken House has three doors: a set of double doors with one door missing that has vertical planks and a back-up frame, one single typical interior door that has been modified for exterior use by an exterior plywood overlay, and a 1 foot by 1 foot chute on the east wall. There is also a north gable end opening (approximately 2 feet by 2 feet). The hardware on the doors consists of strap hinges with pressed metal pattern, which is in poor condition from severe rusting. The floor of the Chicken House is 1-inches by 4-inches dimensional lumber flooring and is in good condition. There is an interior wall that divides the building into two rooms. The wall runs east-west and is not full height. There are no mechanical or electrical systems in the Chicken House. Photographs 6203, 6206, 6207, and 6209 show the exterior of the Chicken House.

The previous recording of the Chicken House completed by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) identified the building as "Building C", recommending it as a resource that contributes to the historic significance to the farm. In 2015, The Collaborative Inc. (TCI) conducted a Historic Structure Assessment for the farm. TCI identified six treatments to make the Chicken House usable again. No repairs have been carried out to date. The building is in overall good condition. The Chicken House was one of the original farm buildings, built in ca. 1898. Feinberg (TCI 2015: 147) concluded that the Chicken House was likely initially built, used, and recorded on earlier Assessor's records as the grain shed. The building exterior on the east and west elevations are typical of corn cribs and granaries of the late nineteenth and early twentieth centuries. The interior of the building was likely modified within the period of significance to make the interior suitable for brooding. Additionally, the building may have been moved prior to 1949, which is common of corn cribs and poultry houses on early twentieth century farms (Wolfenbarger 2006: 44). While the building is in poor condition, it retains integrity and serves as a good architectural example of an early twentieth century poultry house and agricultural outbuilding.

Figure 4: Plan sketch of the Chicken House (TCI 2015: 69)

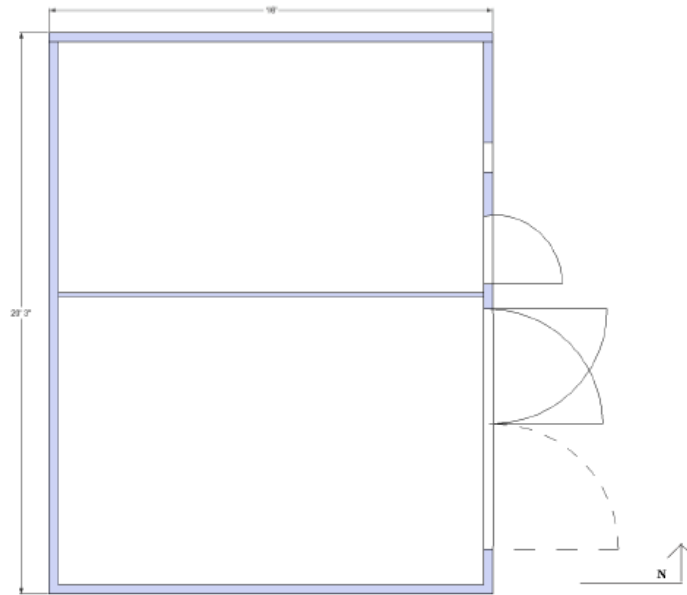
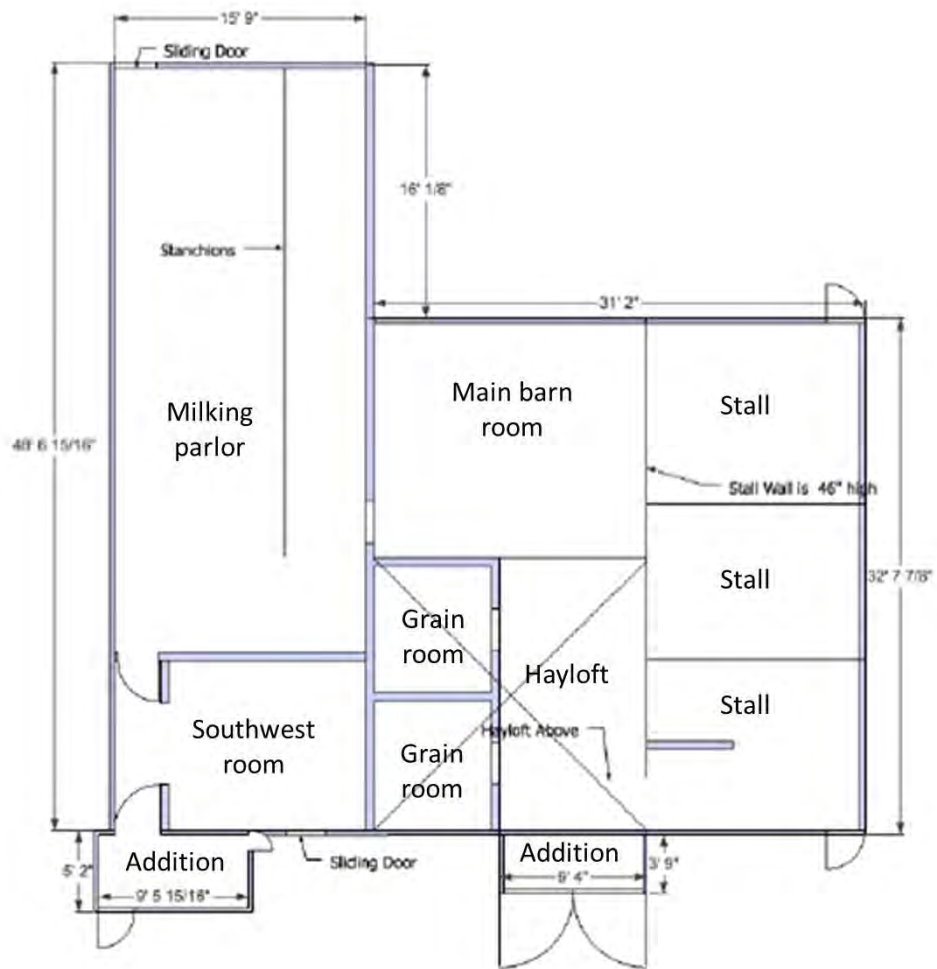


Figure 5: Plan sketch of Red Barn (TCI 2015: 81, modified)



3. Red Barn

Building 3 is the Red Barn, a two-story irregular plan wood frame building at the east edge of the farm core. The overall building measures 46 feet and 10 inches east-west by 51 feet by 9 inches north-south. It is divided into two sections, the milking parlor, southwest room, and southwest addition on the west side and the main barn room with a hayloft (only room on second floor) and animal stalls as well as a southeast addition on the east side, by a contiguous wall. Figure 5 shows the building plan. The foundation for the main barn is dry laid stone with wood floors throughout the area east of the dividing wall except for the bare earth floors in the animal stalls. The foundation and flooring for areas west of the dividing wall, including the milking parlor, is poured concrete. Both sections of foundation are in disrepair and require stabilization or resetting (TCI 2015: 82). The floors in the milking parlor and the southwest room are concrete. The grain rooms and hayloft have wood floors. All other floor surfaces are bare earth.

The walls are framed with 2-inches by 6-inches dimensional lumber. The roof is supported by rafters (2-inches by 4-inches dimensional lumber) that rests on aisle walls and stanchion wall. There is no ridge beam, carriage beams, or collar ties. The roof is front gabled through its central third (north-south axis) with shed roof extensions on the east and west sides of the barn. There are two additional shed roofs perpendicular to the gable on additions on the south elevation of the barn. The roof and addition roofs are covered with flat sheet metal. The roof slopes vary and there are no appurtenances. Flashing is present as end wraps in the main barn only and no flashing is apparent on the small addition shed roofs on the south elevation. The exterior walls of the milking parlor and south additions are comprised of red painted wood lapped siding, shown in photos 6211 and 6212. The northeast elevation of the milking parlor is missing 40 square feet of siding, shown in photo 6384. The exterior walls of the main barn room are board and batten, shown in photos 6212, 6384, and 6412. The battens and boards are damaged or missing altogether in some sections. There are twenty-two windows in the Red Barn, all of which are on the first story of the barn. Of the twenty-two windows, three are missing panes of glass, six need other repairs, and the rest appear to be in working order (TCI 2015: 85). There are six exterior doors on the barn: a sliding door at the northwest corner of the milking parlor, a sliding door in the southeast corner of the southwest room, a hinged single door in the southwest addition, a set of hinged double doors in the southern elevation of the southeast addition, a hinged single door at the southeast corner of the main barn room, and a hinged single door at the northeast corner of the main barn room. Feinberg listed these doors as in fair condition (TCI 2015: 93). There are three interior doors in the barn: a hinged single door between the milking parlor and southwest room, a hinged single door between the southwest room and southwest addition, a hinged single door between the milking parlor and main barn room. Feinberg listed these doors as in good condition (TCI 2015: 93).

The milking parlor has vestiges of a milking system, including a 7-valve station and a pressure gauge. There is also a floor mounted water spigot. The barn's electrical system in the main barn consists of three duplex outlets and one porcelain wall sconce. The milking parlor and attached room have four ceiling fixtures. The southwest room has duplex outlets as well. The room to the southwest room has an electrical power shutoff box. The most notable features of the barn include the stanchions in the milking parlor as well as the studs out construction of the grain rooms in the main barn area.

The previous recording of the Red Barn completed by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) identified the building as “Building B”, recommending it as a resource that contributing to the historic significance to the farm. In 2015, The Collaborative Inc. (TCI) conducted a Historic Structure Assessment for the farm. TCI identified twelve treatments to make the Red Barn usable again. No repairs have been carried out to date. The barn is one of the original farm buildings, built ca. 1898 (Boulder County Assessor 1949). The architecture of the barn has not been substantially modified from its period of significance. There are two small additions on the south elevation of the barn: the southwest addition was likely added during the period of significance to house the electrical breaker and meter and the southeast addition was likely added during the period of significance for easily accessible tool storage. The building is in fair condition and retains integrity. It serves as a good architectural example of an early twentieth century general purpose barn and agricultural outbuilding.

4. **Loafing Shed**

Building 4 is the Loafing Shed, a one story three-sided wood structure at the northeast corner of the farm core. The open side faces south. The building measures 24 feet by 50 feet. The building is set onto a concrete foundation wall along the east, north, and west sides of the building. The foundation wall is set onto a poured concrete footer. The floor of the building is bare earth. The building has an east-west oriented side gable roof that is covered with corrugated sheet metal. The roof is supported by seven wood posts, shown in Figure 6, that are embedded in truncated pyramid concrete piers and further stabilized by bolted steel straps between the bases and posts. The exterior sheathing is red painted wood shiplap siding. The interior walls are braced by diagonal planks. The Loafing Shed does not have doors, windows, exterior appurtenances, mechanical or electrical systems.

The previous recording of the Hartnagle Farm by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) noted the presence of the Loafing Shed but did not record anything but its presence and location. In the HSA completed in 2015 (TCI 2015), Feinberg recorded and evaluated the Loafing Shed, noting five treatments to improve the Loafing Shed. The Loafing Shed is still in use by agricultural tenants at the time of this nomination. None of Feinberg’s repairs have been carried out to date. The Loafing Shed is not one of the original farm buildings. Feinberg noted that the Loafing Shed was the most recent construction (TCI 2015: 147). The shed in its current envelope and location is present in aerial imagery from 1949. The shed may or may not be listed in the Assessor’s Real Estate Card from the same year, which shows one approximately 1,100 square feet loafing shed that could be this shed or Building 7 (West Loafing Shed). It is unclear since both Building 4 and Building 7 are visible in their current envelopes and locations in aerial imagery from 1949. The construction of the building foundation and support posts is not characteristic of the Hartnagle Farm. However, the building shows the growth of the farm, specifically in livestock capacity, throughout the early to mid-twentieth century. It’s likely that the Loafing Shed was built during the second period of construction reported by Feinberg (TCI 2015: 147) in 1920 and may have been improved throughout its use. It remains in good condition, retains sufficient integrity in its workmanship, design, location, setting, and continues to be used for its intended purpose.

5. Corn Crib

Building 5 is the Corn Crib, a single-story wood frame building with sheathing on the interior walls and studs on the outside of the frame. The crib measures 10 feet long (north-south) and 9 feet 8 inches wide (east-west). The crib is set on cast concrete piece and field stone foundation that are set at each of the building corners. Stone piles support the end of the center floor beam. The support stones are not set at the same level and should be reset to level the building. The crib has a front-gabled roof that is covered by corrugated sheet metal roof and a hinged single door on the east end of the south elevation. The sidewalls consist of vertical planks on the exterior face of studs between a double plank top plate and a single plank bottom plate. The exterior walls of the crib consist of horizontal shiplap siding on the interior of the studs. The walls are in generally good condition except that the south gable end has no siding. A few pieces of salvaged wood have been used to stabilize the structure on the outside between studs. The crib has a wood plank that runs east-west. It is unfinished and extends under the exterior walls to the exterior. There are no mechanical or electrical systems in the Corn Crib. The building leans slightly to the north and east.

The previous recording of the Red Barn completed by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) identified the Corn Crib as “Building D”, recommending it as a resource that contributes to the historic significance to the farm. In 2015, The Collaborative Inc. (TCI) conducted a Historic Structure Assessment for the farm. TCI identified five treatments to improve the current condition of the Corn Crib. No repairs have been carried out to date. The crib is one of the original farm buildings, built ca. 1898 and may have been previously identified as a tool shed or grain shed (Real Estate Card 1949). The architecture of the crib has not been substantially modified from its period of significance. While the building is in poor condition, it retains integrity and serves as a good example of an early twentieth century corn crib and agricultural outbuilding.

7. West Loafing Shed

Building 7 is the West Loafing Shed, is a single-story three-sided wood frame building located in the central west area of the farm core. The building measures 60 feet 6 inches by 19 feet 2 inches. The open side faces south. The building has a bare earth floor. There is no visible foundation. However, fourteen wood posts are used to support the walls and roof. The posts are a mix of natural and treated woods, some are set into concrete pads and some are set into the ground, and six posts are missing from their intended location as shown in building plan (Figure 8). The sidewalls are supported by vertical boards, braces, and girts that tie into the rafters and end posts. The wall siding is comprised of vertical corrugated metal sheets painted red, which provides a strong visual contrast to the building’s surroundings. The building has a shed roof that is covered by asphalt shingles and rolled mineral coated roofing strips. This covering is notable for the area and was likely used by salvaging from other building materials. The building has no windows and only two doors, both of which are not functional. There are no mechanical or electrical systems.

The previous recording of the Hartnagle Farm completed by Tatanka Historical Associates Inc. (Sladek and McWilliams 1995) noted the presence and location of the West

Loafing Shed but did not record it. In 2015, The Collaborative Inc. (TCI) conducted a Historic Structure Assessment for the farm. Feinberg (TCI 2015: 126) noted an eastern addition to the shed, which is consistent in design and materials as the rest of the West Loafing Shed. It is unknown when the addition was completed. Although it is likely that the addition was completed in the period of significance for the Hartnagle Farm as historical aerial imagery shows the building in its current envelope and location. TCI identified eleven treatments to improve the current condition of the West Loafing Shed. No repairs have been carried out to date. It is possible, given the very deteriorated condition of the shed, that more than 50% of original materials may need to be replaced to make the shed safe for use. The shed is one of the original farm buildings, built ca. 1898 (Boulder County Assessor 1949). The architecture of the building has not been substantially modified from its design during the period of significance. While the building is in poor condition, it retains integrity in design, materials, setting, location, association, and feeling and serves as a good example of an early twentieth century corn crib and agricultural outbuilding.

Figure 6: Plan of the Loafing Shed (TCI 2015: 111)

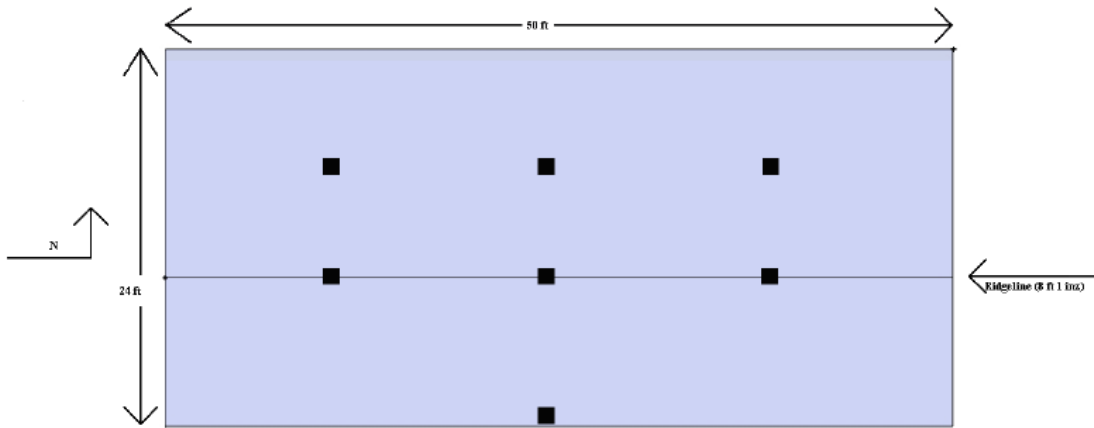


Figure 7: Plan of the Corn Crib (TCI 2015: 137)

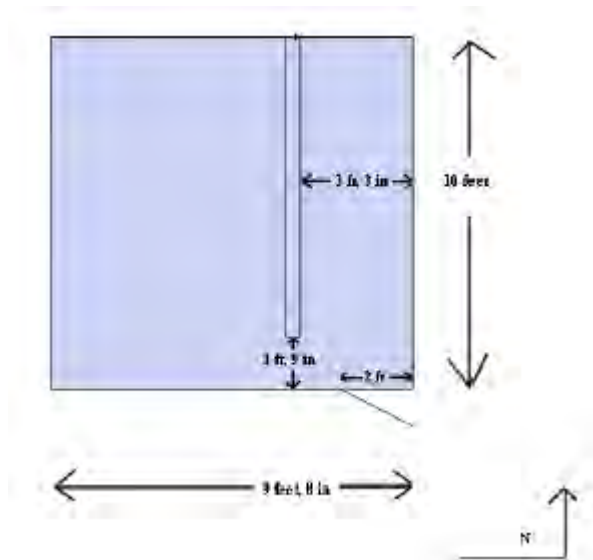
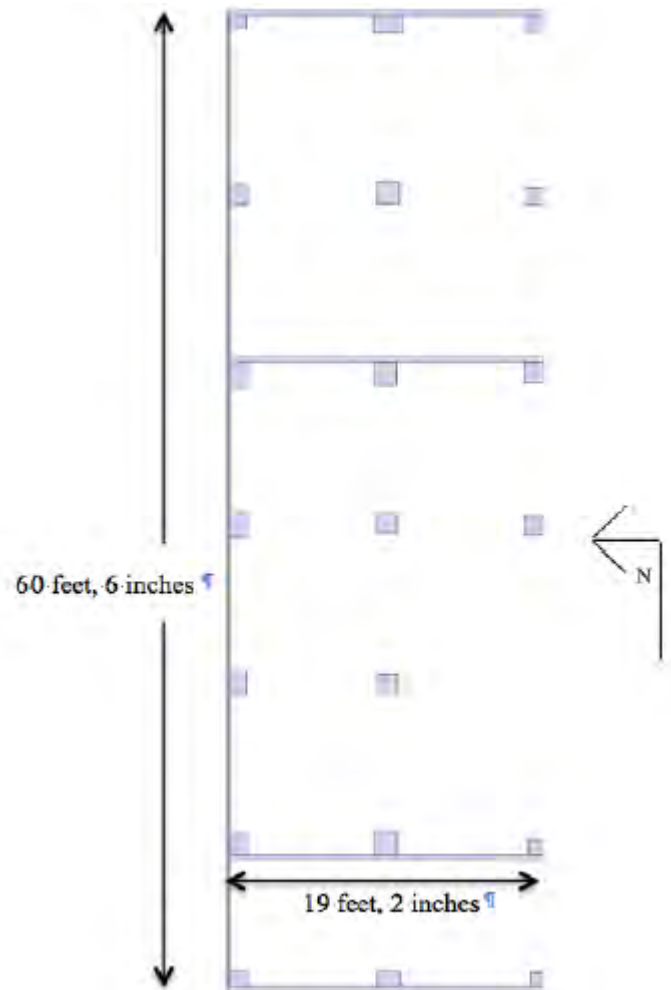


Figure 8: Plan of the West Loafing Shed (TCI 2015: 122)



Continuation Sheet: Narrative Describing Resource Classification

The Hartnagle Farm consists of nine buildings and structures within one farmstead core. Of the nine buildings, six are in moderate to good condition and contribute to the overall historic significance of the Hartnagle Farm as an early twentieth century agricultural complex. Four buildings lack integrity and do not contribute to the overall significance of the farm. Open Space and Mountain Parks Department proposes to remove all buildings that are non-contributing.

Building 6 is a shed, known as the West Shed, located at the center of the Hartnagle Farm. It is a rectangular three-sided wood structure (12 feet by 9 feet 3 inches) with vertical corrugated sheet metal siding and a shed roof, shown in photos 6190, 6192, 6193, and 6195. The roof currently does not have a cover over the bare planks. Feinberg (TCI 2015: 134) noted that mineral coated rolled asphalt was the roof covering at the time of the HSA. The south elevation is open with half of its length covered by wire fencing, which serves as a wall with a quarter of its length covered by vertically placed poles. The shed uses girts along the east, north, and west walls and bracing between girts and rafters. Feinberg noted (TCI 2015: 134) that several of the girts are deteriorated and require replacement. The corrugated sheet metal siding is not original and was very likely salvaged from another building's roofing materials. The non-original materials, changed design, quality of workmanship, and feeling deter from the shed's integrity. Additionally, it is estimated to take fifty or more percent of new materials to repair the shed. While the shed was one of the original farm buildings, likely dating to ca. 1898, it's been substantially modified and no longer conveys the historic significance of the Hartnagle Farm. It is not recommended to be considered as a contributing resource of the Hartnagle Farm.

Building 8 is a loafing shed, known as the Bull Shed, located at the west end of the farm core. It is a rectangular-plan shed (16 feet 2 inches x 20 feet 5 inches) with three closed and one open side (east-facing) and a corrugated sheet metal shed roof over the original wood shingles. The shed does not have a visible foundation with walls and ten support posts that appear to be set into the ground. The walls consist of mixed shiplap and plywood siding, which are very weathered with about half of the siding missing or deteriorated beyond salvage, nailed to treated wood posts on an internal frame and with diagonal plank bracing, shown in photos 6181, 6183, 6185, and 6187. The mixed materials, quality of workmanship, feeling, and lack of association with early twentieth century farm operations deter from the shed's integrity. The shed was reported to be built in 1957 (TCI 2015: 147), which is corroborated as possible by aerial imagery (USGS 2017) from 1949 (not present) and 1963 (present). The shed has structural integrity but fails to convey the historic significance of the Hartnagle Farm as it post-dates the farm's period of significance. It is not recommended to be considered as a contributing resource of the Hartnagle Farm.

Building 9 is an outhouse located immediately south of the West Loafing Shed (Building 7). It is a small square-plan outhouse with 4-foot long sides. It follows the several of the type specifications by the Works Progress Administration (WPA) for sanitary privies. It has a poured concrete foundation and floor. The outhouse contains remains of the T-shaped vent hole that is characteristic of the design from the WPA, shown in photo 6217. The walls consist of horizontal siding attached to an interior frame with wire nails while the exterior corners of the building are clad with vertical planks that form corner posts. An off-center doorway with a vertical plank

door reinforced with one diagonal brace is positioned at the eastern corner of the south elevation. The outhouse has a shed roof with less than 40% of the original wood roofing shingles intact. The outhouse has a severe western lean, the result of displacement from the foundation and collapse of the west elevation and south elevation siding. The wall anchors are lost. The building is in poor condition. While it is still standing, it is fragile and motion from opening the outhouse door will likely collapse the building. Additionally, repair of the outhouse would require fifty or more percent of original materials to be replaced. Character defining features of the outhouse have been destroyed and the building lacks overall structural integrity. The building does not convey its significance as an outhouse and symbol of progressive techniques. It is not recommended to be considered as a contributing resource of the Hartnagle Farm.

An unnumbered building, presumably a loafing shed, adjacent west to Building 4 (Loafing Shed) is also present at the Hartnagle Farm. It is the collapsed remains of a three-sided single story rectangular wood building. The building remains were not included as part of the HSA or previous recordings. The building was open to the south and had a gable roof covered by corrugated sheet metal. The walls consist of vertical wood siding attached to an exterior wood frame. Salvaged wood was used as horizontal siding on the interior to stabilize the shed prior to its collapse. Extreme deterioration of the eastern and western elevations likely lead to the collapse of the roof, which was supported by a central and end rafters only. No evidence of interior supporting features was observed. The remains measure 28 feet north-south and 14 feet east-west and are parallel with the rest of Building 4 (Loafing Shed). Based on the standing height on the west elevation, the building was likely 18 feet tall at roof apex and 12 feet at the north elevation. Remains of a gate constructed similarly of vertical salvaged planks are located adjacent west of the south elevation of the collapsed shed. Photos 6396, 6398, and 6403 show the shed remains. Because the building is no longer standing with diminished integrity, it is not recommended as a contributing resource of the Hartnagle Farm.

Statement of Significance: Boulder County Criteria for Landmark Designation

The Hartnagle Farm meets two of the criteria for historic landmark designation under Boulder County Land Use Code, Article 15-501:

1. The character, interest, or value of the proposed landmark as part of the development, heritage, or cultural characteristics of the county; and
4. The proposed landmark as an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials.

The Hartnagle Farm is important for its association with early twentieth century agricultural practices in Boulder County. The farm conveys its importance through both the adoption of scientific agriculture and circumstantial acceptance or rejection of certain Progressive Era agricultural techniques. As Driver (2017) explained in the Boulder County Historic Landmark Nomination application for the Kolb Farm (Docket No. 17-0002), scientific agriculture emerged out of the mid-nineteenth century shift from subsistence farming to regional and national market supply (Albert R. Mann Library 2017; Gwinn 1993; Johnston 2014). From

the 1840s through the 1920s, numerous books, journals, and periodicals were published to instruct people how to improve the material and social conditions of rural life (Albert R. Mann Library 2017; Granger and Kelly 2005:13.6-13.7; Johnston 2014; Roth 2002). The primary topics of this literature were modernization, efficiency, crop improvement, farm layout, and building design (Beaudry 2001:130; Johnston 2014). The literature was integrated into the Progressive Era Country Life Movement or Progressive Farming Movement (Granger and Kelly 2005:13.6-13.7; Roth 2002; Smith and Boyle 2012). While the goals of progressive and rural reformers were comprehensively met, their science prescribed agricultural techniques impacted American agriculture substantially, forming the basis for the modern industrialized and market-based system that we recognize today (Gwinn 1993:4-5).

The Hartnagle Farm follows a layout that fits scientific agriculture principles. The Red Barn (Building 3) and Chicken House (Building 2) are centrally located relative to the Farm House (Building 1). This arrangement reflects the emphasis on incorporating living and working spaces promoted by progressives (Smith and Boyle 2012:46-47). The outbuildings were screened by vegetation from the Farm House (Building 1), which reflects both progressive and Victorian design aesthetics (Visser 1997). The Farm House (Building 1) individually reflects Late Victorian design aesthetics in its incorporation of possibly prefabricated ornamental woodwork, particularly the open porch columns. The Red Barn (Building 3), Loafing Shed (Building 4), West Loafing Shed (Building 7), Bull Shed (Building 8), and later Outhouse (Building 9) are offset to the north and east from the Farm House (Building 1) to prevent the intrusion of unpleasant odors from the livestock and outhouse areas. As winds in the area predominantly come from the northwest (Western Regional Climate Center 2017), the residence would be spared most of the associated odors of livestock. The buildings are nearly all situated that doors or openings face the south, which receives the most amount of sunlight daily and is a technique called for in progressive literature (Wolfenbarger 2008:47).

More than other farms in east Boulder County, the Hartnagle Farm specialized as a dairy operation. The architecture and site layout reflects this specialization. The Red Barn (Building 3) features a stanchioned milking parlor and milking machines, which would've required very substantial capital investment for design, building, and building systems compared to cash crop farming (Granger and Kelly 2005:6.81) and drastically lowered the necessary farm labor (Witzel 1960). The design and materials of the barn reflect shifts in the early twentieth century in dairy standards and adoption of scientific management. The barn has a high count of windows that provide lighting and ventilation, which can help farmers keep the barn clean and make milking more sanitary to reduce risk of disease transmission between cows. Whitewashing the milking parlor brightened it and made it easier to keep clean.

The Hartnagle Farm is representative of the Growth in Agriculture period (1897-1920) identified by the Agricultural Resources of Boulder County historic context (Wolfenbarger 2008). Nearly all the buildings at the Hartnagle Farm were constructed by the turn of the twentieth century at the beginning of the post-settlement period. After the Panic of 1893, agriculture rebounded spectacularly in Boulder County with the spread of increased specialization, mechanization, improved crops and methods of animal husbandry, and innovations in farm building construction (Wolfenbarger 2008:18). Agriculture in the county at the turn of the twentieth century was marked by increased specialization and improvements in

farm techniques, machinery, housing and agricultural buildings, and profits. The Hartnagle Farm was designed with specialization, mechanization, and related profits in mind. The growth in agriculture reached its zenith during World War I, but then suffered from a combination of disasters from which few farmers had the power to recover on their own.

The Hartnagle family, while taking over the farm at the end of this period, strived to overcome tremendous hardships to continue farming. As the Great Depression settled over the high plains, the family grew from Jake and Bertha Hartnagle to include four children. Jake suffered from a long term chronic illness that led to his passing in 1945. The family did not have the means to diversify farm operations as prescribed by scientific agriculture. In the sense that the farm is a proxy for the cultural dynamic interplay of tradition and transformation (Beaudry 2001), the Hartnagle Farm reflects the importance of family tradition as much as it reflects growth from technological advances. When farm production grew, the Hartnagles expanded existing operations rather than gamble with diversified operations, like erecting silos and other infrastructure to accommodate larger grain stores. Only one building was constructed following the period of significance (Bull Shed, Building 8). Existing buildings were improved or stabilized to continue use. Corrals and gates were shifted to accommodate increased livestock numbers. Buildings and discarded building materials were repurposed to support continuing farm operations. The Hartnagles grew feeder crops, like wheat and sugar beets, to support ranching activities. Tradition and transformation worked for the Hartnagles and earlier occupants of the farm to maximize profits of the time and sustain the farm.

The built environment of the Hartnagle Farm represents the growth of agriculture in the early twentieth century and the pursuit to sustain production growth. Most of the buildings were constructed at the turn of the twentieth century and reflect greater economic prosperity of Boulder County farmers from approximately 1900 to 1920. The Hartnagle Farm site retains a high degree of integrity in the design, construction, layout, location, use, materials, and setting of the farm, a benefit of maintaining the specialized dairy and cattle operations. The site clearly conveys influential principles of the time, changes in rural lifestyles, and the lives of the people that lived there.

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Photo 6166: Southern elevation of the Farm House.



Photo 6169: Eastern elevation of the Farm House.



Photo 6174: Northern elevation of the Farm House.



Photo 6175: Western elevation of the Farm House.



Photo 6240: Second story of the southern elevation showing decorative siding shingles on Farm House.



Photo 6230: Well head at northeast corner of Farm House.



Photo 6237: Ornamental door (primary entry door) with carved wood appliques on southern elevation of Farm House on covered porch.

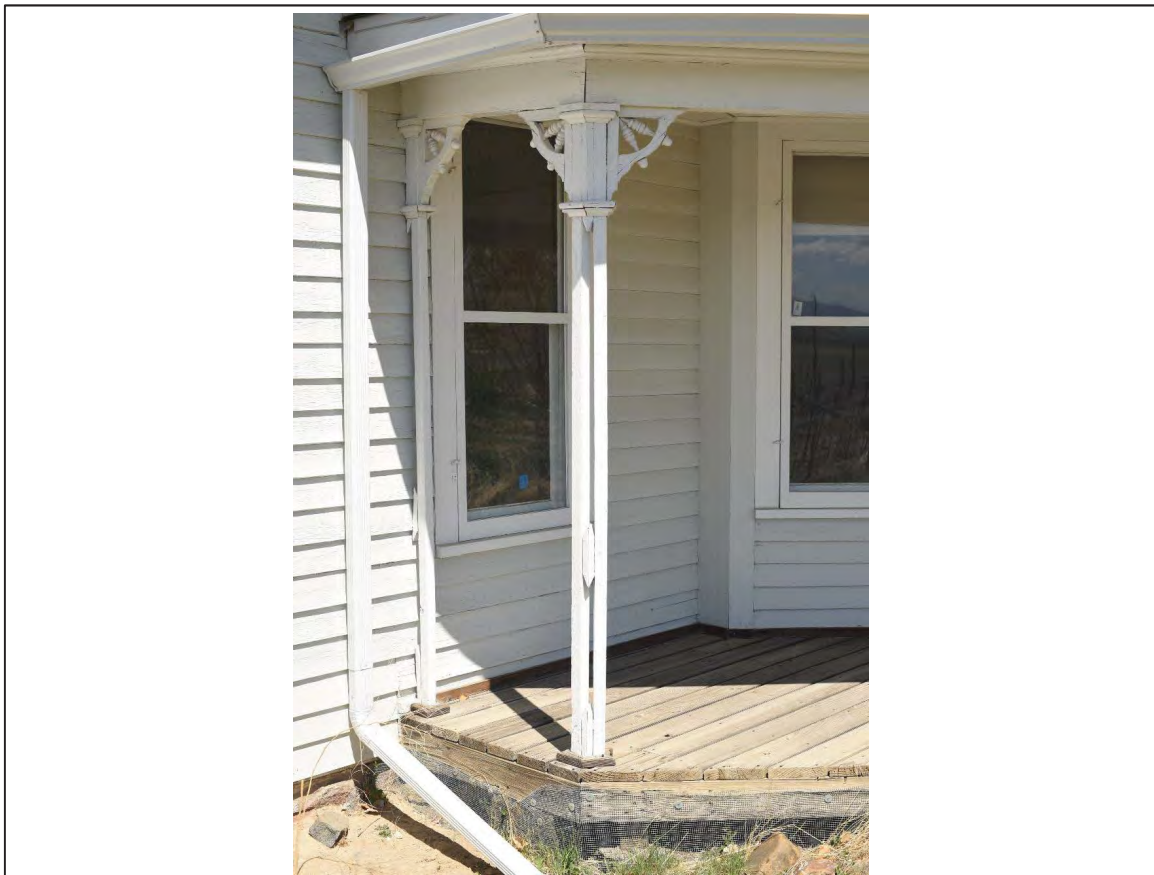


Photo 6233: Overview of typical capital columns and spindles supporting roof over house's open porch.



Photo 6203: Northern elevation of the Chicken House.



Photo 6206: Eastern elevation of the Chicken House.



Photo 6207: Southern elevation of the Chicken House.



Photo 6209: Western elevation of the Chicken House.



Photo 6227: Grain chute on western elevation of Chicken House.



Photo 6228: Hatch on east-facing roof pitch of Chicken House.



Photo 6211: Western elevation of the Red Barn.



Photo 6212: Southern elevation of the Red Barn.



Photo 6384: Oblique view of eastern and northern elevations of the Red Barn.



Photo 6412: Northern elevation of the Red Barn.



Photo 6381: Close up of bottle found along southern elevation of the barn.



Photo 6382: Close up of second wintergreen oil bottle found along southern elevation of the barn.



Photo 6396: Northern elevation of collapsed section of Loafing Shed .



Photo 6398: Western elevation of Loafing Shed , featuring collapsed section.



Photo 6391: Oblique view of southern and eastern elevations of Loafing Shed.



Photo 6392: Northern elevation of Loafing Shed . The collapsed section of the loafing shed is not visible and is separate from the main section by the tree visible on the right edge of the frame.



Photo 6403: Overview of collapsed Loafing Shed section from the south.



Photo 6407: Southern elevation of main Loafing Shed section.



Photo 6202: Northern elevation of the Corn Crib



Photo 6200: Eastern elevation of the Corn Crib



Photo 6198: Southern elevation of the Corn Crib



Photo 6196: Western elevation of the Corn Crib (inverted)



Photo 6190: Western elevation of the West Shed.



Photo 6193: Southern elevation of the West Shed.



Photo 6195: Eastern elevation of the West Shed.



Photo 6192: Northern elevation of the West Shed.



Photo 6177: Southern elevation of West Loafing Shed.



Photo 6179: Western elevation of the West Loafing Shed.



Photo: 6180: Northern elevation of the West Loafing Shed.



Photo 6189: Eastern elevation of the West Loafing Shed.



Photo 6181: Southern elevation of the Bull Shed.



Photo 6183: Western elevation of the Bull Shed.



Photo 6185: Northern elevation of the Bull Shed.



Photo 6187: Oblique view of the eastern and northern elevations of the Bull Shed.



Photo 6213: Southern elevation of the outhouse.



Photo 6214: Eastern elevation of the outhouse.



Photo 6216: Western elevation of the outhouse.



Photo 6217: Northern elevation of the outhouse.

BOULDER COUNTY HISTORIC SITES SURVEY

OAHP Use Only

- Determined Eligible
- Determined Not Eligible
- Nominated
- Listed
- Need Data
- Contributing to NR District
- Not Contributing to NR District

MANAGEMENT DATA FORM

State Site Number: 5BL5720

Temporary Site Number: 0035715

IDENTIFICATION

Resource Name: Hartnagle Farm

Address: 8975 Valmont Drive
Boulder, CO 80301

Location/Access: This farm is located about ½ mile west of the intersection of Valmont Drive with North 95th street. It is accessed by a dirt driveway that runs along the east side of the house.

Project Name: Boulder County Historic Sites Survey

Government Involvement: Local (Boulder County Parks and Open Space Department)

Site Categories: single dwelling; secondary structures

Located in an Existing National Register District? No
District Name: N/A

Owner(s) Address: Bertha Hartnagle
8975 Valmont Drive
Boulder, CO 80301

Boundary Description and Justification:

The site consists of a house, two former granaries, a barn, four cattle sheds of various sizes and a small loafing shed.

Acreage: associated with a 30 acre parcel

ATTACHMENTS

HABS/HAER Form: No
Building/Structure Form(s): Yes
Sketch Map: Yes
USGS Map Photocopy: Yes
Photographs: Yes

LOCATION

County: Boulder

USGS Quad: Niwot, Colorado, 1967; photorevised 1979, 7.5 Minute

Other Maps: N/A

Legal Location: East 30 acres in NE $\frac{1}{4}$ of NW $\frac{1}{4}$ of Section 20, Township 1 North, Range 69 West, of the 6th Principal Meridian

UTM References: Zone: 13

A. Easting: 488190 Northing 4432080

ELIGIBILITY ASSESSMENT

National Register / Local Landmark

| | | |
|-----|-----|--|
| | | Does not meet any of the below National Register Criteria |
| N/A | N/A | Qualifies under Criteria Considerations A-G |
| xx | xx | Criterion A. (Associated with events that have made a significant contribution to the broad pattern of our history) |
| | | Criterion B. (Associated with the lives of persons significant in our past) |
| xx | xx | Criterion C. (Embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction) |
| N/A | N/A | Criterion D. (Has yielded or may be likely to yield, information important in history or prehistory) |

Level of National Register Significance: Local

Condition: good/fair

Additional Comments:

N/A

Eligibility Recommendation: eligible for National Register and for local landmark designation

STATEMENT OF SIGNIFICANCE

Charles P. Adams first filed on the property that now includes 8975 Valmont Drive in November 1865. The farm originally consisted of 240 acres which abutted the William Davidson farm to the northwest. The next known owner was Frank Demetz, a minister at the Valmont Presbyterian Church who was known to conduct marriages in the house. Demetz reportedly built the house around 1898, although this has not been documented. Bill Nelson owned the farm in the 1910s and rented the house out. In the 1920s Fred Schroeder acquired the farm. He sold it to Jake Hartnagle in 1929. Jake's wife Bertha and son Al Hartnagle currently own and reside on the farm. Al Hartnagle runs Brands Lazy EY Livestock on the farm.

The house has undergone moderate remodeling since its construction. The original house appears to have been a rectangular structure that now takes up the south half of the house. The north part of the house appears to have been added fairly soon after the house was constructed.

Exact dates of construction were not uncovered for the barn and granaries. The tool shed/granary was moved to the farm around 1930. The other hay shed/granary appears to pre-date 1930 as well.

Evaluation

This property is significant relative to National Register of Historic Places Criteria A and C, and Boulder County Criteria 1-501-A-(1 and 4). Evidently dating from just prior to the turn of the century, the house is an excellent regional example of Victorian eclectic architecture. The large double wing barn and studs-out granary are also architecturally notable buildings. Historically, the Hartnagle Farm is significant as an intact farm complex, with a high degree of integrity, and for its long association with the Hartnagle family.

If in an existing National Register District, is the property
Contributing N/A Non-Contributing N/A

Is there National Register District Potential? no

Discuss: The property is located in a relatively, rural, isolated location. There are no other nearby related historic buildings.

MANAGEMENT AND ADMINISTRATIVE DATA

Threats to Resource: deterioration; neglect

Local Landmark Designation: No

Preservation Easement: No

MANAGEMENT AND ADMINISTRATIVE DATA

References: Archived Assessor's Records, on file at the Carnegie Library, Boulder, CO.
Boulder County Treasurer's Ledger 39, on file at the Carnegie Library, Boulder, CO.
Oral Interview with Al Hartnagle by Lisa Schoch-Roberts, 16 January 1995.
Oral Interview with Al and Bertha Hartnagle by Ron Sladek.

Photographs: Roll(s): RS-20; L-26 Frames:5-14; 32-35

Negatives Filed At: Boulder County Parks and Open Space Department

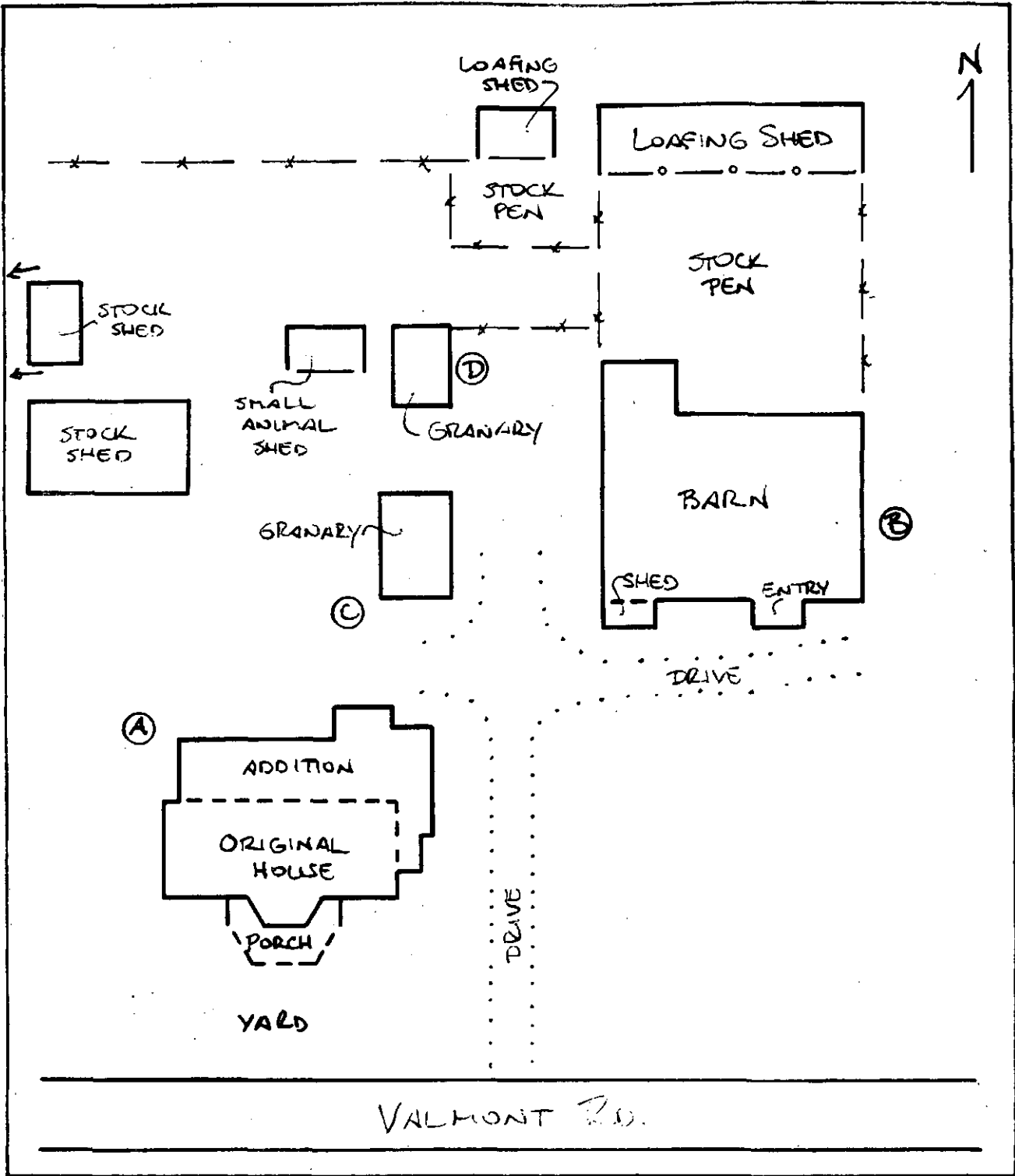
Report Title: Unincorporated Boulder County Historic Sites: Survey Report

Recorder(s): Ron Sladek, Carl McWilliams

Date:16 January 1995

Affiliation: Cultural Resource Historians
1607 Dogwood Court
Fort Collins, CO 80525
(970) 493-5270

Tatanka Historical Associates Inc.
P.O. Box 1909
Fort Collins, CO 80522
(970) 490-2110



SITE PLAN NOT TO SCALE

BOULDER COUNTY HISTORIC SITES SURVEY

HISTORIC ARCHITECTURAL BUILDING STRUCTURE FORM

State Site Number: 5BL5720

Temporary Site Number: 0035715

IDENTIFICATION

Map ID Number/Feature Number of Code: A

Building/Structure Name: House

Complex/Site Name: Hartnagle Farm at 8975 Valmont Drive

Roll: RS-20 Frames: 9-14 Photographer: Ron Sladek

FUNCTION

Current Use: residence

Original Use: residence

Intermediate Use(s): residence

ARCHITECTURAL HISTORY

Architect: n/a

Builder: Frank Demetz [probably]

Date of Construction: c1898

Based On: Boulder County Assessor's Records

Additions/Modifications: Minor: Moderate: xx Major:

Moved? no Date: n/a

Specific References to the Structure/Building

Oral Interview with Al Hartnagle by Lisa Schoch-Roberts, 16 January 1995.

Oral Interview with Al and Bertha Hartnagle by Ron Sladek.

ARCHITECTURAL DESCRIPTION

Complex/Structure/Building Type: building

Architectural Style: vernacular wood frame

Landscape/Setting: This farm is located about $\frac{1}{2}$ mile west of the intersection of Valmont Drive with North 95th Street. A planted grass yard surrounds the house.

Orientation: south

Dimensions: 24' north-south by 35' east-west, plus 5' north-south by 12' east-west plus 16' north-south by 7' east-west plus 4' north-south by 4' east-west

Stories: 2

Plan: irregular

Foundation: sandstone foundation with bulkhead cellar; no water table or basement

Walls: painted white clapboard siding on wood frame construction; square-butt and fish scale shingle siding in the upper gable ends

Roof: center gable; hipped roof with flat roof over bay window on the east elevation; all with asphalt shingles and boxed eaves

Chimneys: one interior running bond brick chimney on rear wall of original house

Windows: windows include eleven 1/1 double hung sash with painted white wood surrounds, some with painted white wood screens, some with green wood screens; one 8-light and six 6-light casements with painted white wood surrounds; bay window with two 1/1 double hung sash with painted white wood surrounds and green wood frames on east elevation

Doors: doors consist of wood plank door to cellar on north; solid wood door with ornamental scrollwork and 1-light, painted green wood screen on south (possibly original); wood screen door on east elevation

Porches: octagonal porch with wood ceiling and floor, ornamental posts, rolled tar paper half-hip roof on south elevation; enclosed porch with upper half consisting of screened windows, lower half is wood corner posts and exposed floorboards, on east elevation

Interior: not surveyed

Additions: large, early, addition to the north elevation

Associated Buildings, Features or Objects:

barn, studs out granaries, stock sheds, loafing shed

ELIGIBILITY ASSESSMENT

National Register Eligibility Recommendation

| | | | | |
|-----------------------|----|--------------|-----|----------------------|
| Individually Eligible | xx | Not Eligible | | Need Data |
| Potential District? | no | Contributing | N/A | Non-Contributing N/A |

Local Landmark Eligibility

| | | | |
|----------|----|--------------|-----------|
| Eligible | xx | Not Eligible | Need Data |
|----------|----|--------------|-----------|

Statement of Significance / NRHP Justification

Charles P. Adams first filed on the property at 8975 Valmont Drive in November 1865. The farm originally consisted of 240 acres which abutted the William Davidson farm to the northwest. The next known owner was Frank Demetz, a minister at the Valmont Presbyterian Church who was known to conduct marriages in the house. Demetz reportedly built the house around 1898, although this has not been documented. Bill Nelson owned the farm in the 1910s and rented the house out. In the 1920s Fred Schroeder acquired the farm. He sold it to Jake Hartnagle in 1929. Jake's wife Bertha and son Al Hartnagle currently own and reside on the farm. Al Hartnagle runs Brands Lazy EY Livestock on the farm.

The house has undergone moderate remodeling since its construction. The original house appears to have been a rectangular structure that now takes up the south half of the house. The north part of the house appears to have been added fairly soon after the house was constructed.

Evaluation

This property is significant relative to National Register of Historic Places Criteria A and C, and Boulder County Criteria 1-501-A-(1 and 4). Evidently dating from just prior to the turn of the century, the house is an excellent regional example of Victorian eclectic architecture. The large double wing barn and studs-out granary are also architecturally notable buildings. Historically, the Hartnagle Farm is significant as an intact farm complex, with a high degree of integrity, and for its long association with the Hartnagle family.

If in an existing National Register District, is the property

| | |
|--------------|------------------|
| Contributing | Non-Contributing |
|--------------|------------------|

| | | | | |
|--------------------------|-----|----|---------------|----|
| Archeological Potential: | Yes | No | Not Evaluated | xx |
|--------------------------|-----|----|---------------|----|

Recorder(s): Ron Sladek and Carl McWilliams

Date: 16 January 1995

Affiliation: Cultural Resource Historians
1607 Dogwood Court
Fort Collins, CO 80525
(970) 493-5270

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P.O. Box 1909
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BOULDER COUNTY HISTORIC SITES SURVEY

HISTORIC ARCHITECTURAL BUILDING STRUCTURE FORM

State Site Number: 5BL5720

Temporary Site Number: 0035715

IDENTIFICATION

Map ID Number/Feature Number of Code: B

Building/Structure Name: Barn

Complex/Site Name: Hartnagle Farm at 8975 Valmont Drive

Roll: RS-20 Frames: 7-8 Photographer: Ron Sladek

FUNCTION

Current Use: barn

Original Use: barn

Intermediate Use(s): barn

ARCHITECTURAL HISTORY

Architect: n/a

Builder: unknown

Date of Construction: unknown

Based On: N/A

Additions/Modifications: Minor: xx Moderate: Major:

Moved? no Date: N/A

Specific References to the Structure/Building

Archived Assessor's Records, on file at the Carnegie Library, Boulder, CO.

Boulder County Treasurer's Ledger 39, on file at the Carnegie Library, Boulder, CO.

Oral Interview with Al Hartnagle by Lisa Schoch-Roberts, 16 January 1995.

Oral Interview with Al and Bertha Hartnagle by Ron Sladek.

ARCHITECTURAL DESCRIPTION

Complex/Structure/Building Type: building

Architectural Style: vernacular wood frame - gable-roofed double-wing

Landscape/Setting: This farm is located about $\frac{1}{2}$ mile west of the intersection of Valmont Drive with North 95th Street. The barn stands northeast of the house on the Hartnagle Farm. Several sheds and granaries stand to the west. An enclosed cattle pen is immediately to the north. A cattle shed stands to the north.

Orientation: south

Dimensions: 33' north-south by 39' east-west plus two 4' by 10' and a 10' by 10' addition

Stories: 1

Plan: irregular

Foundation: stone; no water table, basement or cellar

Walls: painted red board and batten on main part of barn; horizontal wood siding on shed roof extensions

Roof: main barn consists of gabled roof with shed extensions on each side; also shed addition on the north elevation; two shed additions on the south elevation

Chimneys: none

Windows: windows include seventeen fixed 4-lights, two fixed 6-lights and several empty window frames with plain wood frames or no frames

Doors: one board and batten hayloft door, two wood plank doors on the north elevation; one 1/1 made from siding (shiplap) plank, two large, side-hinged plank entry doors, one board and batten hayloft door, two plank doors, all on south elevation

Porches: two shed roof entries on the south elevation

Interior: not surveyed

Additions: two small shed roof additions on the south elevation; shed roof addition on the north elevation

Associated Buildings, Features or Objects:

house, studs out granaries, stock sheds, loafing sheds; a cattle shed that borders the north end of the cow pen behind the barn was constructed in the 1950s and features two open bays on its south elevation; a smaller loafing shed stands to the west of it

ELIGIBILITY ASSESSMENT

National Register Eligibility Recommendation

Individually Eligible Not Eligible Need Data
Potential District? no Contributing N/A Non-Contributing N/A

Local Landmark Eligibility

Eligible Not Eligible Need Data

Statement of Significance / NRHP Justification

This property is significant relative to National Register of Historic Places Criteria A and C, and Boulder County Criteria 1-501-A-(1 and 4). Evidently dating from just prior to the turn of the century, the house is an excellent regional example of Victorian eclectic architecture. The large double wing barn and studs-out granary are also architecturally notable buildings. Historically, the Hartnagle Farm is significant as an intact farm complex, with a high degree of integrity, and for its long association with the Hartnagle family.

For historical information, please see the accompanying Management Data form.

If in an existing National Register District, is the property
Contributing N/A Non-Contributing N/A

Archeological Potential: Yes No Not Evaluated

Recorder(s): Ron Sladek/Lisa Schoch-Roberts

Date: 16 January 1995

Affiliation: Cultural Resource Historians
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BOULDER COUNTY HISTORIC SITES SURVEY

HISTORIC ARCHITECTURAL BUILDING STRUCTURE FORM

State Site Number: 5BL5720

Temporary Site Number: 0035715

IDENTIFICATION

Map ID Number/Feature Number of Code: C

Building/Structure Name: Granary

Complex/Site Name: Hartnagle property at 8975 Valmont Drive

Roll: L-26 Frames: 32-33 Photographer: Lisa Schoch-Roberts

FUNCTION

Current Use: hay storage

Original Use: granary

Intermediate Use(s): granary

ARCHITECTURAL HISTORY

Architect: n/a

Builder: unknown

Date of Construction: unknown

Based On: n/a

Additions/Modifications: Minor: xx Moderate: Major:

Moved? no Date: n/a

Specific References to the Structure/Building

Archived Assessor's Records, on file at the Carnegie Library, Boulder, CO.

Boulder County Treasurer's Ledger 39, on file at the Carnegie Library, Boulder, CO.

Oral Interview with Al Hartnagle by Lisa Schoch-Roberts, 16 January 1995.

Oral Interview with Al and Bertha Hartnagle by Ron Sladek.

ARCHITECTURAL DESCRIPTION

Complex/Structure/Building Type: building

Architectural Style: vernacular wood frame

Landscape/Setting: The Hartnagle Farm is located about $\frac{1}{2}$ mile west of the intersection of Valmont Drive with North 95th Street. This studs-out granary stands about 100 feet north of the house and west of the barn. It is surrounded by a variety of loafing sheds and farm outbuildings.

Orientation: east

Dimensions: 20' north-south by 17' east-west

Stories: 1

Plan: rectangular

Foundation: wood frame supports building; no basement or cellar

Walls: horizontal wood plank with exposed studs on east and west, and plain horizontal plank on north and south

Roof: gabled roof with wood shingles and exposed rafter ends

Chimneys: none

Windows: one horizontally boarded window in upper gable end on north elevation

Doors: rough hewn vertical plank door with metal strap hinges and wood surrounds; wood vertical and horizontal plank door with plywood cover on top, metal strap hinges and wood surrounds, all on east elevation

Porches: none

Interior: not surveyed

Additions: none

Associated Buildings, Features or Objects:

house, barn, another studs out granary, stock sheds, loafing sheds

ELIGIBILITY ASSESSMENT

National Register Eligibility Recommendation

Individually Eligible Not Eligible Need Data
 Potential District? Contributing N/A Non-Contributing N/A

Local Landmark Eligibility

Eligible Not Eligible Need Data

Statement of Significance / NRHP Justification

This property is significant relative to National Register of Historic Places Criteria A and C, and Boulder County Criteria 1-501-A-(1 and 4). Evidently dating from just prior to the turn of the century, the house is an excellent regional example of Victorian eclectic architecture. The large double wing barn and studs-out granary are also architecturally notable buildings. Historically, the Hartnagle Farm is significant as an intact farm complex, with a high degree of integrity, and for its long association with the Hartnagle family.

For historical information, please see the accompanying Management Data form.

If in an existing National Register District, is the property
 Contributing N/A Non-Contributing N/A

Archeological Potential: Yes No Not Evaluated

Recorder(s): Ron Sladek and Lisa Schoch-Roberts

Date: 16 January 1995

Affiliation: Cultural Resource Historians
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BOULDER COUNTY HISTORIC SITES SURVEY

HISTORIC ARCHITECTURAL BUILDING STRUCTURE FORM

State Site Number: 5BL5720

Temporary Site Number: 0035715

IDENTIFICATION

Map ID Number/Feature Number of Code: D

Building/Structure Name: Granary

Complex/Site Name: Hartnagle Farm at 8975 Valmont Drive

Roll: L-26 Frames: 34-35 Photographer: Lisa Schoch-Roberts

FUNCTION

Current Use: tool storage

Original Use: granary

Intermediate Use(s): granary

ARCHITECTURAL HISTORY

Architect: n/a

Builder: unknown

Date of Construction: c1898

Based On: Boulder County Assessor's Records

Additions/Modifications: Minor: xx Moderate: Major:

Moved? yes Date: c1930

Specific References to the Structure/Building

Archived Assessor's Records, on file at the Carnegie Library, Boulder, CO.

Boulder County Treasurer's Ledger 39, on file at the Carnegie Library, Boulder, CO.

Oral Interview with Al Hartnagle by Lisa Schoch-Roberts, 16 January 1995.

Oral Interview with Al and Bertha Hartnagle by Ron Sladek.

ARCHITECTURAL DESCRIPTION

Complex/Structure/Building Type: building

Architectural Style: vernacular wood frame

Landscape/Setting: The Hartnagle Farm is located about $\frac{1}{2}$ mile west of the intersection of Valmont Drive with North 95th Street. This granary building stands just north of the other granary. A variety of sheds are to the west. The barn is to the east.

Orientation: south

Dimensions: 10' north-south by 10' east-west

Stories: 1

Plan: square

Foundation: stones support wood frame; no water table, basement or cellar

Walls: horizontal weatherboard with exposed studs

Roof: gabled roof with corrugated metal and exposed rafter ends

Chimneys: none

Windows: gable end is open on south elevation

Doors: horizontal plank door with plain wood surrounds on south elevation

Porches: none

Interior: not surveyed

Additions:

Associated Buildings, Features or Objects:

house, barn, another studs out granary, stock sheds, loafing sheds including a small loafing shed just west of this granary; two larger cattle sheds are farther to the west

ELIGIBILITY ASSESSMENT

National Register Eligibility Recommendation

Individually Eligible xx Not Eligible Need Data
 Potential District? no Contributing N/A Non-Contributing N/A

Local Landmark Eligibility

Eligible xx Not Eligible Need Data

Statement of Significance / NRHP Justification

This property is significant relative to National Register of Historic Places Criteria A and C, and Boulder County Criteria 1-501-A-(1 and 4). Evidently dating from just prior to the turn of the century, the house is an excellent regional example of Victorian eclectic architecture. The large double wing barn and studs-out granary are also architecturally notable buildings. Historically, the Hartnagle Farm is significant as an intact farm complex, with a high degree of integrity, and for its long association with the Hartnagle family.

For historical information, please see the accompanying Management Data form.

If in an existing National Register District, is the property
 Contributing n/a Non-Contributing n/a

Archeological Potential: Yes No Not Evaluated xx

Recorder(s): Ron Sladek and Lisa Schoch-Roberts

Date: 16 January 1995

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