





**GENERAL NOTES**

**SHEET LEGEND**

- ICC/ANSI TYPE A DWELLING UNITS
- UFAS A TYPE A COMPLIANT DWELLING UNITS

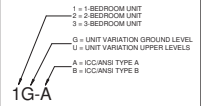
**DWELLING UNIT TYPE A  
(ICC/ANSI A117.1)**

**DWELLING UNIT TYPE B  
(ICC/ANSI A117.1)**

**DWELLING UNIT MATRIX**

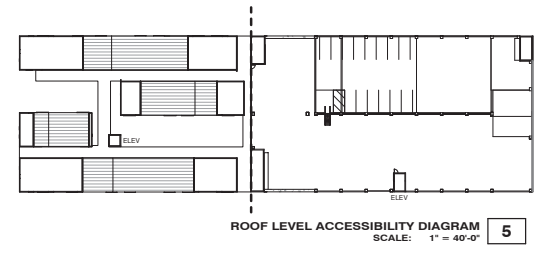
DWELLING UNIT NAME	ICC/ANSI TYPE A	TYPE B	UNIT AREA (SF)	UNIT AREA (TYPICAL) (SF)	DWELLING UNIT QTY	ISSUE:	DATE:
LEVEL 1						PRE-APP MEETING	06.06.2018
10	3	14	652	3,200	14	SD SUBMITTAL	05.29.2018
20	3	17	1,208	1,888	7	DD SUBMITTAL 50%	09.24.2018
30	4	11	652	4,440	15	DD SUBMITTAL 100%	12.19.2018
40	3	7	303	1,888	7	DD REVISIONS	01.11.2019
LEVEL 2							
10	4	11	652	4,440	15		
20	1	7	303	1,888	7		
30	1	9	1,208	1,888	7		
LEVEL 3							
10	4	11	652	4,440	15		
20	1	7	303	1,888	7		
30	1	9	1,208	1,888	7		
LEVEL 4							
10	4	11	652	4,440	15		
20	1	7	303	1,888	7		
30	1	9	1,208	1,888	7		

**DWELLING UNIT NAMING**

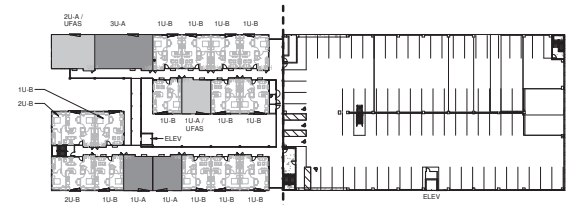


**ACCESSIBILITY INFORMATION**

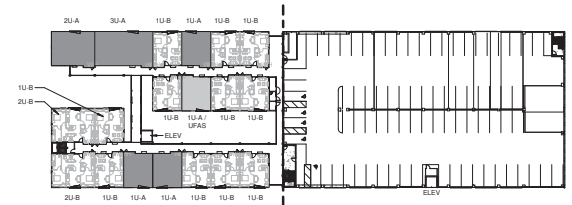
**A0.20**



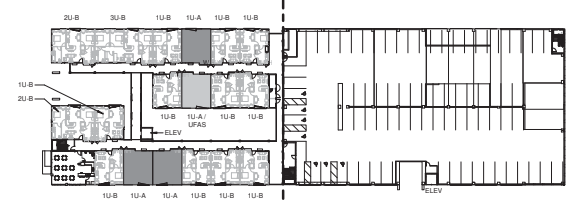
**ROOF LEVEL ACCESSIBILITY DIAGRAM 5**  
SCALE: 1" = 40'-0"



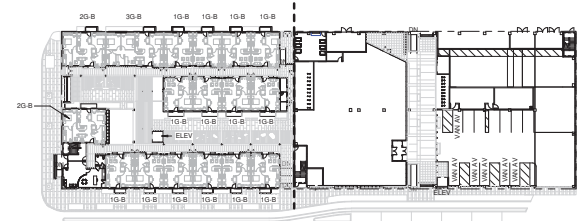
**4TH LEVEL ACCESSIBILITY DIAGRAM 4**  
SCALE: 1" = 40'-0"



**3RD LEVEL ACCESSIBILITY DIAGRAM 3**  
SCALE: 1" = 40'-0"



**2ND LEVEL ACCESSIBILITY DIAGRAM 2**  
SCALE: 1" = 40'-0"



**1ST LEVEL ACCESSIBILITY DIAGRAM 1**  
SCALE: 1" = 40'-0"



MIXED-USE OCCUPANCIES					
<b>RESIDENTIAL (R-2)</b>					
TYPE IA CONSTRUCTION	LEVEL 1 (SF)	LEVEL 2 (SF)	LEVEL 3 (SF)	LEVEL 4 (SF)	TOTAL AREA (SF)
RESIDENCES	12,407	12,425	13,548	13,548	52,928
OFFICE AND WALKWAYS	0	3,725	3,725	3,725	11,175
BUILDING SERVICES	1,709	673	673	673	3,728
COMMUNITY AREAS (B)	752	924	---	---	1,676
TOTAL SF BY LEVEL	14,868	17,877	17,866	17,866	68,877
<b>PARKING (S-B)</b>					
TYPE IA CONSTRUCTION	LEVEL 1 (SF)	LEVEL 2 (SF)	LEVEL 3 (SF)	LEVEL 4 (SF)	TOTAL AREA (SF)
PARKING DECK	10,412	26,769	27,182	27,182	91,545
BUILDING SERVICES	5,721	326	326	326	6,700
TENANT (B)	8,174	---	---	---	8,174
TOTAL SF BY LEVEL	24,307	27,895	28,118	28,118	117,512

RESIDENTIAL + PARKING TOTAL = 198,449

**BUILDING AREA SUMMARY 6**  
SCALE: 12" = 1'-0"



### Colorado Code Consulting, LLC

Main Office  
4610 S Ulster, Ste. 150  
Denver, CO 80237  
(303) 400-6564  
Fax: (303) 693-0630

Southern Office  
17690 Woodhaven Dr.  
Colorado Springs, CO 80908  
303-895-9988

### Code Analysis

Project: Boulder County Housing Authority  
Location: 518 Coffman Street, Longmont, Colorado

**Applicable Codes**  
2018 International Building Code  
2018 International Mechanical Code  
2018 International Fuel Gas Code  
2018 International Plumbing Code  
2018 International Energy Conservation Code  
2018 International Fire Code  
2017 National Electrical Code  
City of Longmont Amendments

#### Project Description

The project consists of two buildings located on a single lot. The North building is a four-story residential use with associated amenities and open courtyard. The South building is a four-story parking garage with a business use and service uses for the apartments on the first story. The buildings are being constructed as two separate buildings and types of construction. A fire wall will be constructed on the North end of the parking garage to create the separate buildings. The apartments and the parking garage will share the stairway at the Northwest corner of the garage building. Additional exits will be provided elsewhere in each building. Both buildings will be provided with an NFPA 13 fire sprinkler system.

#### Chapter 3 – Occupancy Classification

**North Building**  
Apartments – Group R-2  
Accessory Assembly/Office Space – Group R-2 per Section 303.1.2

#### South Building

Office – Group B  
Parking Garage – Group S-2

#### Chapter 6 – Type of Construction

North Building – Type VA  
South Building – Type IIA

### Chapter 5 – Height & Area Determination

#### Allowable Building Height

Building	Maximum (Feet)	Actual (Feet)	Maximum (Stories)	Actual (Stories)
North Building	70	60	4	4
South Building	75	46	4	4

#### Allowable Building Area

**North Building**  
Group R-2, Type VA Construction with NFPA 13 Fire Sprinklers  
No frontage increase needed  
Aa = 36,000 SF per story  
Largest Story Area = 16,526 SF – OK  
Total Allowable Building Area – 36,000 X 3 = 108,000 SF  
Total Building Area = 64,133 SF – OK

**South Building**  
Building designed as nonseparated occupancy building. Each individual story evaluated per Section 506.2.4 with ratio calculation for entire building limitation

Level 1, Group B, Type IIA Construction with NFPA 13 Fire Sprinklers  
No frontage increase needed  
Aa = 69,000 SF per story  
Level 1 Area = 25,964 SF – OK

Level 2-4, Group S-2, Type IIA Construction with NFPA 13 Fire Sprinklers  
No frontage increase needed  
Aa = 78,000 SF per story  
Largest Story Area = 28,909 SF – OK

#### Ratio Calculations (506.2.4)

Level 1 = 25,964/89,000 = 0.38  
Level 2 = 28,499/78,000 = 0.36  
Level 3 = 28,909/78,000 = 0.37  
Level 4 = 22,928/78,000 = 0.37  
Total Ratio = 1.48 < 3 OK

### Chapter 7 – Fire and Smoke Protection Systems

#### Type of Construction – Fire-Resistance Ratings

Building Element	North Building (Type VA)	South Building (Type IIA)
Primary Structural Frame	1-hour	1-hour
Bearing Walls (Int. & Ext.)	1-hour	1-hour
Nonbearing Walls	Non-Rated	Non-Rated
Floor Construction	1-hour	1-hour
Roof Construction	1-hour	1-hour

### Exterior Wall Protection

#### North Building

Location	Fire Separation Distance	Fire-Resistance Rating (R02)	Openings Permitted (705.5)
East	10' 1"	1-hour	45% Unprotected
South	0'	Fire Wall	25% - 90-minute
West	< 30'	Non-rated	Unlimited Unprotected
North	< 30'	Non-rated	Unlimited Unprotected

#### South Building

Location	Fire Separation Distance	Fire-Resistance Rating (R02)	Openings Permitted (705.5)
East	10' 1"	Non-rated	Unlimited Unprotected *
South	0'	1-hour	None Permitted
West	< 30'	Non-rated	Unlimited Unprotected
North	< 30'	Fire Wall	25% - 90-minute

\* Unlimited openings permitted per Section 706.8.1, Exc. 2.

#### Fire Wall between North and South Buildings

2-hour FRR per Table 706.4 with footnote a

90-minute door openings

#### Fire Barriers at Interior Exit Stairways

2-hour FRR per 1023.2

90-minute door openings

#### Fire Partitions in North Building

Corridor walls = 1-hour FRR per Table 1020 (amendments)

20-minute door and 45-minute window openings

Dwelling unit separation walls = 1-hour FRR per 708.3

#### Shaft Enclosures in North Building

2-hour FRR fire barriers per 713.4

90-minute door openings

Through penetrations to be protected in accordance with Section 714

### Chapter 9 – Fire Protection

#### Automatic Fire Sprinklers

Group R-2 – Sprinklers required per 903.2.8

Group S-2 – Sprinklers required for enclosed parking garages per 903.2.10

NFPA Fire Sprinklers to be installed throughout both buildings

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### Fire Alarm Systems

Group R-2 not required to have manual fire alarm system as long as occupant notification appliances will automatically activate throughout the notification zones upon a sprinkler water flow per 907.2.9.1, Exc. 2  
Group R-2 required to have smoke alarms within each dwelling unit per 907.2.10.

### Carbon Monoxide Alarms

Group R-2 required to have carbon monoxide alarms within each dwelling unit where fuel burning appliances are installed per 915

### Chapter 10 – Means of Egress

#### Preliminary Egress Calculations

##### North Building

Level	Floor Area (SF)	Occupant Load Factor	Occupant Load	Exits Req'd.	Egress Width Req'd.	Stair Width Required
First	15,642	200	79	2	16"	24"
Second	16,526	200	83	2	17"	25"
Third	16,526	200	83	2	17"	25"
Fourth	16,526	200	83	2	17"	25"

##### South Building

Level	Floor Area (SF)	Occupant Load Factor	Occupant Load	Exits Req'd.	Egress Width Req'd.	Stair Width Required
First Office	8,835	100	88	2	18"	N/A
First Parking	17,129	200	86	2	18"	N/A
Second	28,488	200	143	2	29"	43"
Third	28,909	200	145	2	29"	44"
Fourth	28,909	200	145	2	29"	44"
Roof	22,288	200	112	2	23"	37"

Minimum egress door width = 32" clear  
Minimum stairway width = 44"

North Building Travel Distance = 250 feet maximum  
South Building Office Travel Distance = 300 feet maximum  
South Building Parking Travel Distance = 400 feet maximum

50% of interior exit stairways required to exit directly to the exit discharge or public way.  
50% of interior exit stairways permitted to discharge through the level of exit discharge per Section 1028.1, Exc. 1

Emergency escape and rescue openings not required per Section 1030.1.

### Chapter 11 – Accessibility

#### Parking

Accessible parking to be provided per Table 1106.1 for the non-residential uses.  
2% of the parking spaces for the residential use will be accessible spaces.  
1 of 6 accessible parking spaces will van accessible spaces.

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BCHA - COFFMAN STREET REDEVELOPMENT  
COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	△	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

CODE SUMMARY

A0.30

GENERAL NOTES

SHEET NOTES

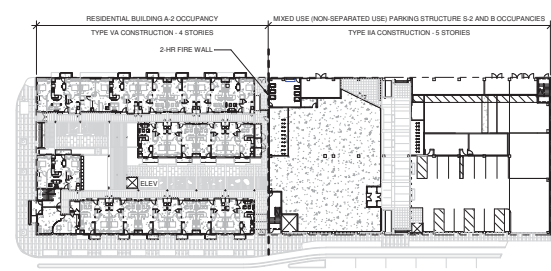
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REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

LEGEND

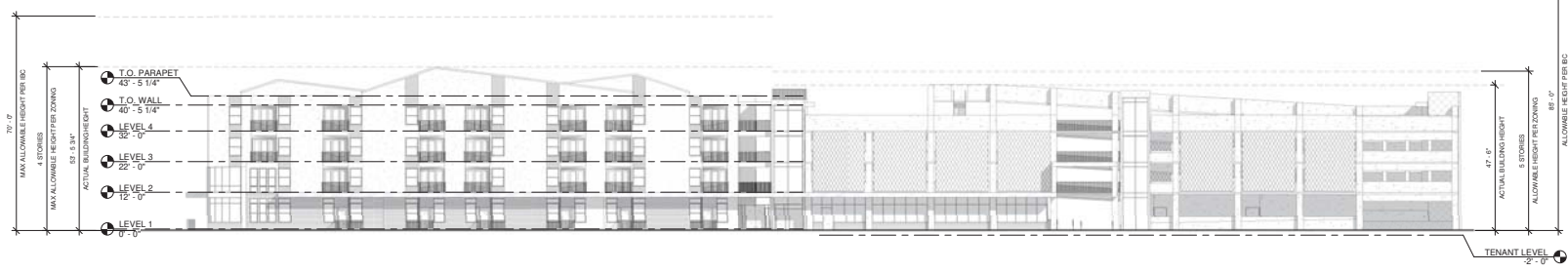
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DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019
SCALE:	As Indicated	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

GRADE PLANE & FIRE COMPARTMENTS DIAGRAM

**A0.32**



**1ST LEVEL FIRE COMPARTMENTS DIAGRAM**  
SCALE: 1" = 40'-0" **2**



**GRADE PLANE DIAGRAM**  
SCALE: 1/16" = 1'-0" **1**



**LIFE SAFETY LEGEND**

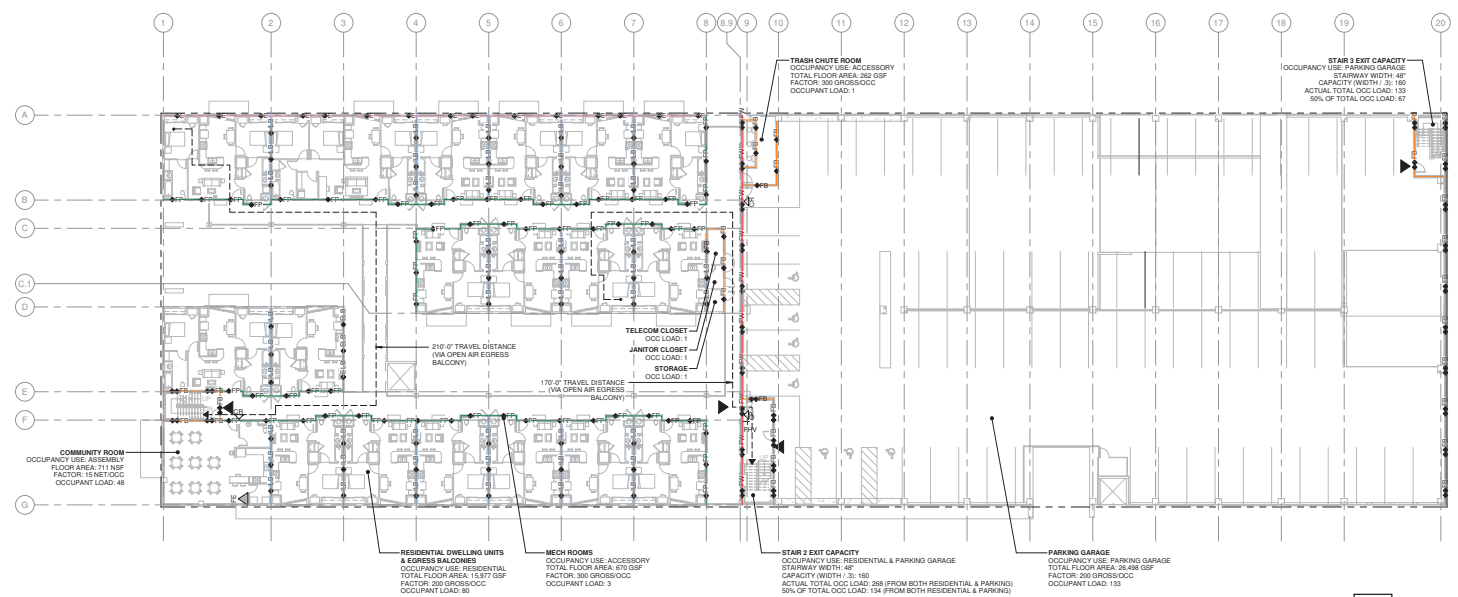
	SMOKE PARTITION: 90-MINUTE WALL THAT RESTRICTS THE PASSAGE OF SMOKE. CONTAINS FROM TOP OF SLAB OR FLOOR ASSEMBLY TO UNDERSIDE OF RATED CEILING ASSEMBLY OR TO ROOF/FLOOR ASSEMBLY ABOVE. DOORS TO BE SELF-CLOSING WITHOUT AIR TRANSFER CLOSURE.
	30-MINUTE SMOKE AND GAS CONTROL CURTAIN, ELEVATOR OPENINGS AT CORRIDOR.
	1-HR FIRE PARTITION: 20-MINUTE SMOKE AND GAS CONTROL CURTAIN, ASSEMBLY AT CORRIDOR SHUTTERS AT OTHER LOCATIONS U.N.D.
	1-HR FIRE BARRIER: 90-MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	2-HR FIRE BARRIER: 90-MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	3-HR FIRE BARRIER: 90-MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	2-HR FIRE WALL: 90-MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	1-HR LOAD BEARING INTERIOR FIRE RESISTANCE RATED WALL.
	1-HR LOAD BEARING EXTERIOR FIRE RESISTANCE RATED WALL FOR FIRE EXPOSURE FROM BOTH SIDES WHERE FIRE SEPARATION DISTANCE IS LESS THAN OR EQUAL TO 10 FT AND FOR INTERIOR ONLY FIRE EXPOSURE WHERE FIRE SEPARATION DISTANCE IS GREATER THAN 10 FT.
	1-HR FIRE RESISTANCE RATED ROOF OR HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION.
	2-HR FIRE RESISTANCE RATED HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION.
	3-HR FIRE RESISTANCE RATED HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION.
	1-HR EXTERIOR FIRE RESISTANCE RATED WALL FOR FIRE EXPOSURE FROM BOTH SIDES WHERE FIRE SEPARATION DISTANCE IS LESS THAN OR EQUAL TO 10 FT AND FOR INTERIOR ONLY FIRE EXPOSURE WHERE FIRE SEPARATION DISTANCE IS GREATER THAN 10 FT. OR IS OR IS RATED WINDOWS.
	TRAVEL DISTANCE (R-2, R-2P OR R-2P-1) MAX VIA OPEN AIR EGRESS BALCONIES).
	FIRE EXTINGUISHER CABINET: COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT.
	FIRE EXTINGUISHER.
	MANUAL FIRE PULL.
	FIRE ALARM CONTROL PANEL.
	ACCESSIBLE ENTRY / EXIT.
	EXIT.
	CREDENTIAL READER.
	DOOR OPERATOR ACTUATOR.
	FIRE DEPARTMENT CONNECTION.
	FIRE HOSE VALVE.
	RMOX BOX.
	ASSUMED PROPERTY LINE: RE: CIVIL & SURVEY DRAWINGS FOR SPECIFIC LOCATION OF BUILDING RELATIVE TO PROPERTY LINE.
	ASSUMED PUBLIC RIGHT OF WAY (R.O.W.): RE: CIVIL & SURVEY DRAWINGS FOR EXACT LOCATION.
	3-HR FIRE RESISTANCE RATED FLOOR/CEILING ASSEMBLY ABOVE TRANSFORMERS.
	2-HR FIRE RESISTANCE RATED FLOOR/CEILING ASSEMBLY ABOVE.

NOTE: ALL HORIZONTAL ROOF AND FLOOR ASSEMBLIES TO HAVE A 1-HOUR FIRE RESISTANCE RATING UNLESS INDICATED OTHERWISE.

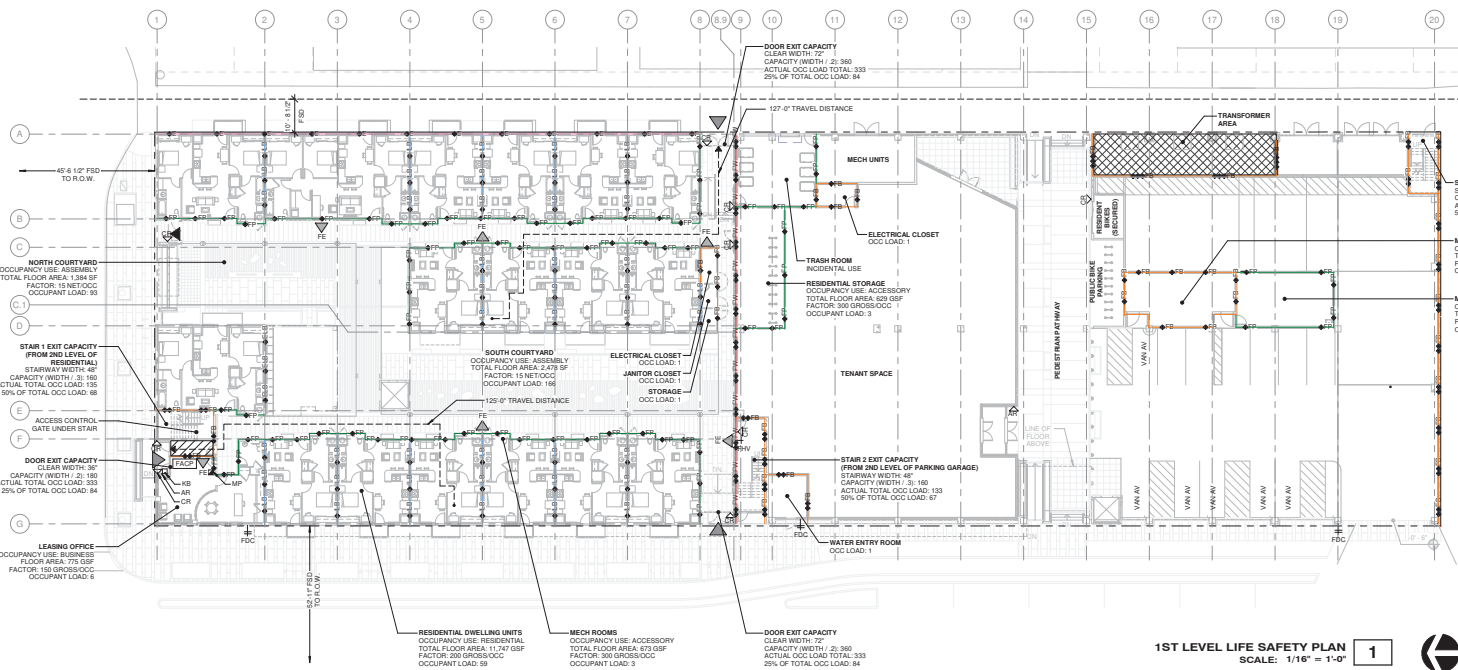
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SD SUBMITAL		06.29.2018
DD SUBMITAL 50%		09.24.2018
DD SUBMITAL 100%		12.19.2018
DD REVISIONS		01.11.2019
SCALE:		1/16" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

LIFE SAFETY PLANS & FIRE SEPARATION DISTANCES LEVELS 1 & 2

**A0.40**



**2ND LEVEL LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0" **2**



**1ST LEVEL LIFE SAFETY PLAN**  
SCALE: 1/16" = 1'-0" **1**



LIFE SAFETY LEGEND

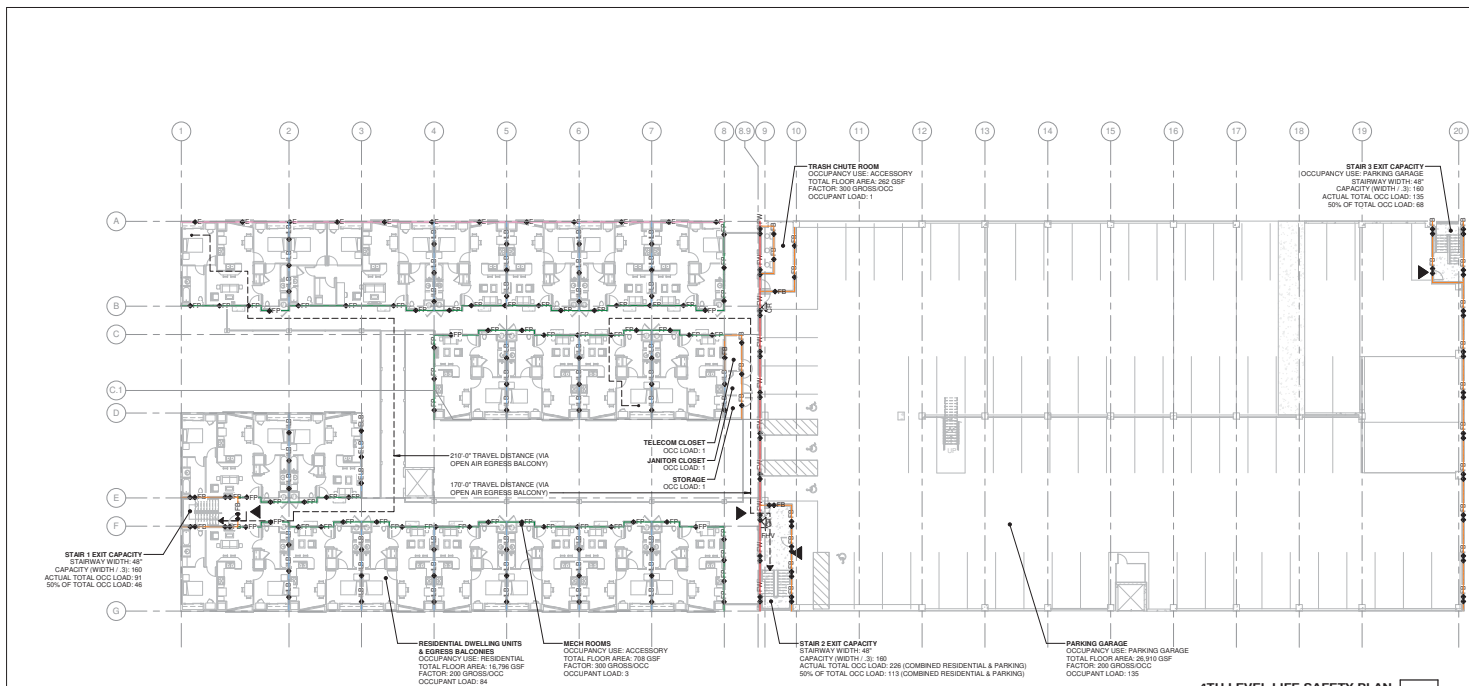
	SMOKE PARTITION: NON-RATED WALL THAT RESTRICTS THE PASSAGE OF SMOKE. CONTAINS FROM TOP OF BALCONY FLOOR ASSEMBLY TO UNDERSIDE OF RATED CEILING ASSEMBLY FOR TO ROOF/FLOOR ASSEMBLY ABOVE. DOORS TO BE SELF-CLOSING WITHOUT AIR TRANSFER LOWER.
	30 MINUTE SMOKE AND DRAFT CONTROL CURTAIN, ELEVATOR OPENINGS AT CORRIDOR
	1 HR FIRE PARTITION, 30 MINUTE SMOKE AND DRAFT CONTROL ASSEMBLY AT CORRIDOR OPENING, 90 MINUTE FIRE DOORS AND SHUTTERS AT OTHER LOCATIONS U.N.D.
	1 HR FIRE BARRIER, 90 MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	2 HR FIRE BARRIER, 90 MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	3 HR FIRE BARRIER, 90 MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	2 HR FIRE WALL, 90 MINUTE FIRE DOORS AND SHUTTERS U.N.D.
	1 HR LOAD BEARING INTERIOR FIRE RESISTANCE RATED WALL
	1 HR LOAD BEARING EXTERIOR FIRE RESISTANCE RATED WALL FOR FIRE EXPOSURE FROM BOTH SIDES WHERE FIRE SEPARATION DISTANCE IS LESS THAN OR EQUAL TO 10 FT AND FOR INTERIOR ONLY FIRE EXPOSURE WHERE FIRE SEPARATION DISTANCE IS GREATER THAN 10 FT
	1 HR FIRE RESISTANCE RATED ROOF OR HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION
	2 HR FIRE RESISTANCE RATED HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION
	3 HR FIRE RESISTANCE RATED HORIZONTAL FLOOR/CEILING ASSEMBLY, AS SHOWN IN LIFE SAFETY BUILDING SECTION
	1 HR EXTERIOR FIRE RESISTANCE RATED WALL FOR FIRE EXPOSURE FROM BOTH SIDES WHERE FIRE SEPARATION DISTANCE IS LESS THAN OR EQUAL TO 10 FT AND FOR INTERIOR ONLY FIRE EXPOSURE WHERE FIRE SEPARATION DISTANCE IS GREATER THAN 10 FT OR IS OR IS RATED WINDOWS
	TRAVEL DISTANCE (R-2, 25' OR 35' 0" MAX VIA OPEN AIR EGRESS BALCONIES)
	FIRE EXTINGUISHER CABINET, COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT
	FIRE EXTINGUISHER
	MANUAL FIRE PULL
	FIRE ALARM CONTROL PANEL
	ACCESSIBLE ENTRY / EXIT
	CREDENTIAL READER
	DOOR OPERATOR ACTUATOR
	FIRE DEPARTMENT CONNECTION
	FIRE HOSE VALVE
	RNOX BOX
	ASSUMED PROPERTY LINE- RE: CIVIL & SURVEY DRAWINGS FOR SPECIFIC LOCATION OF BUILDING RELATIVE TO PROPERTY LINE
	ASSUMED PUBLIC RIGHT OF WAY (R.O.W.); RE: CIVIL & SURVEY DRAWINGS FOR EXACT LOCATION
	3 HR FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY / ROOF TRANSFORMERS
	2 HR FIRE RESISTANCE RATED FLOOR / CEILING ASSEMBLY / ROOF TRANSFORMERS

NOTE: ALL HORIZONTAL ROOF AND FLOOR ASSEMBLIES TO HAVE A 1-HOUR FIRE RESISTANCE RATING UNLESS INDICATED OTHERWISE

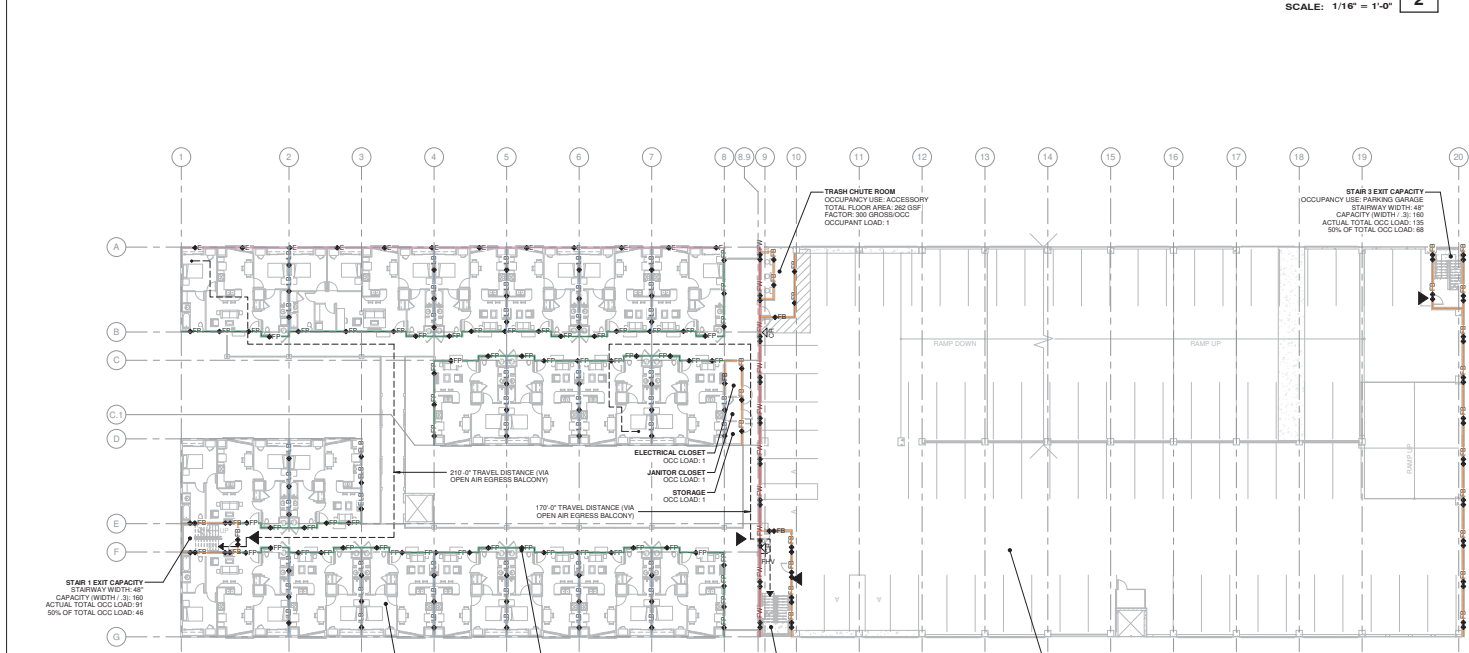
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DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019
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DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:		0907-16

LIFE SAFETY PLANS & FIRE SEPARATION DISTANCES LEVELS 3 & 4

A0.41

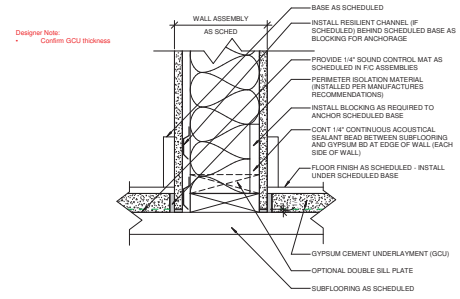


4TH LEVEL LIFE SAFETY PLAN  
SCALE: 1/16" = 1'-0" 2



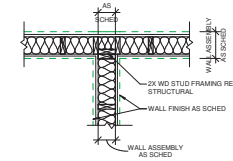
3RD LEVEL LIFE SAFETY PLAN  
SCALE: 1/16" = 1'-0" 1





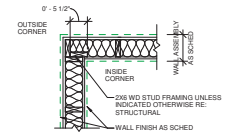
**DETAIL-SECTION-WD-GCU-WALL-INTERSECTION** 3  
SCALE: 3" = 1'-0"

Designer Note:  
• Intersection detail is only compliant FRR no greater than one hour



**DETAIL-PLAN-WD-INTERSECTION-FRAMING-1HR-FRR** 2  
SCALE: 3/4" = 1'-0"

Designer Note:  
• Confirm detail is compliant with energy star requirements  
• Confirm stud wall size



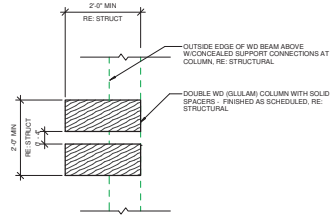
**DETAIL-PLAN-WD-CORNER-FRAMING-TYP** 1  
SCALE: 3/4" = 1'-0"

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:	As Indicated	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

ASSEMBLY DETAILS  
**A0.80B**



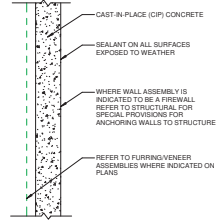
Designer Note:  
 - Coordinate with Structural/MEP Engineers  
 - Evaluate column loads and provide more specific FRR requirements, coordinate with Chapter 7 tables and structural engineer



DETAIL PLAN EXTERIOR WOOD COLUMN  
1HR FRR

WALL ASSEMBLY	A	B	C
ASSEMBLY TYPE (MARK)	A	B	C
FFR	N/A	1 HR	1HR
ASSEMBLY DESIGN NUMBER	N/A	UL U356	UL V331
STC RATING	50 MIN	50 MIN	50 MIN
OTHER (TEST NUMBER)	-	-	-

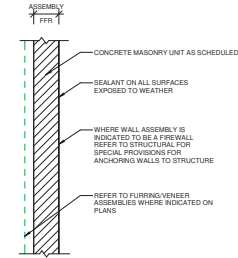
Designer Note:  
 - Identify project specific tag number in wall tags (Mark)



- 8A4 EXTERIOR WALL - CIP CONCRETE (ACTUAL 6" THICKNESS)  
NON-BEARING/BEARING
- 8B4 EXTERIOR WALL - CIP CONCRETE (ACTUAL 6" THICKNESS)  
NON-BEARING/BEARING
- 8C4 EXTERIOR WALL - CIP CONCRETE (ACTUAL 10" THICKNESS)  
NON-BEARING/BEARING

WALL ASSEMBLY	A (6" CIP CONC)			B (6" CIP CONC)			C (6" CIP CONC)				
	A	A1	A2	B	B1	B2	B3	C	C1	C2	C3
FFR	N/A	1 HR	2HR	N/A	1 HR	2HR	3HR	N/A	1 HR	2HR	3HR
ASSEMBLY DESIGN NUMBER	N/A	IBC 722.2.1.1	N/A	IBC 722.2.1.1	N/A	IBC 722.2.1.1	N/A	IBC 722.2.1.1	N/A	IBC 722.2.1.1	N/A
STC RATING	-	-	-	-	-	-	-	-	-	-	-
OTHER	-	-	-	-	-	-	-	-	-	-	-

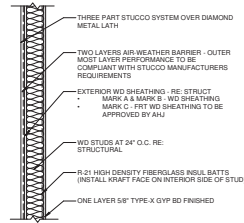
Designer Note:  
 - Identify project specific tag number in wall tags (Mark)



- 8A4 EXTERIOR WALL - CMU (NOMINAL 6"x8"x16")  
NON-BEARING/BEARING
- 8B4 EXTERIOR WALL - CMU (NOMINAL 6"x8"x16")  
NON-BEARING/BEARING

WALL ASSEMBLY	A (6X8X16 CMU)			B (6X8X16 CMU)			
	A	A1	A2	B	B1	B2	B3
FFR	N/A	1 HR	2HR	N/A	1 HR	2HR	3HR
ASSEMBLY DESIGN NUMBER	N/A	IBC 722.2 ITEM (2)	N/A	IBC 722.2 ITEM (2)	N/A	IBC 722.2 ITEM (2)	N/A
STC RATING	-	-	-	-	-	-	-
OTHER	-	-	-	-	-	-	-

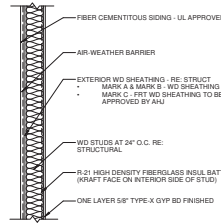
Designer Note:  
 - Confirm if vapor retarder or kraft face insulation is required  
 - Identify project specific tag number in wall tags (Mark)



- 8A4 EXTERIOR WALL - 2X6 WOOD STUDS - STUCCO  
NON-BEARING/BEARING
- 8B4 EXTERIOR WALL - 2X6 WOOD STUDS - STUCCO  
NON-BEARING/BEARING - FIRE EXPOSURE INT ONLY - 1HR FRR
- 8C4 EXTERIOR WALL - 2X6 WOOD STUDS - STUCCO  
NON-BEARING/BEARING - 1 HR FRR

WALL ASSEMBLY EXTERIOR WOOD WITH STUCCO	A	B	C
FFR	N/A	1 HR	1HR
ASSEMBLY DESIGN NUMBER	N/A	UL U356	UL V331
STC RATING	50 MIN	50 MIN	50 MIN
OTHER (TEST NUMBER)	-	-	-

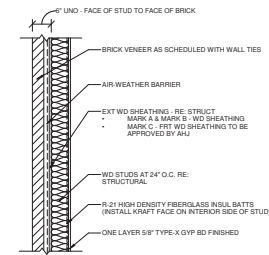
Designer Note:  
 - Confirm if vapor retarder or kraft face insulation is required  
 - Identify project specific tag number in wall tags (Mark)



- 8A4 EXTERIOR WALL - 2X6 WOOD STUDS - FIBER CEMENTITIOUS SIDING  
NON-BEARING/BEARING
- 8B4 EXTERIOR WALL - 2X6 WOOD STUDS - FIBER CEMENTITIOUS SIDING  
NON-BEARING/BEARING - FIRE EXPOSURE INT ONLY - 1HR FRR
- 8C4 EXTERIOR WALL - 2X6 WOOD STUDS - FIBER CEMENTITIOUS SIDING  
NON-BEARING/BEARING - 1 HR FRR

WALL ASSEMBLY EXTERIOR WOOD WITH FIBER CEMENTITIOUS SIDING	A	B	C
FFR	N/A	1 HR	1HR
ASSEMBLY DESIGN NUMBER	N/A	UL U356	UL V331
STC RATING	50 MIN	50 MIN	50 MIN
OTHER (TEST NUMBER)	-	-	JNWA 80-04

Designer Note:  
 - Confirm if vapor retarder or kraft face insulation is required  
 - Identify project specific tag number in wall tags (Mark)



- 8A4 EXTERIOR WALL - 2X6 WOOD STUDS - BRICK VENEER  
NON-BEARING/BEARING
- 8B4 EXTERIOR WALL 2X6 WOOD STUDS - BRICK VENEER  
NON-BEARING/BEARING - FIRE EXPOSURE INT ONLY - 1HR FRR
- 8C4 EXTERIOR WALL 2X6 WOOD STUDS - BRICK VENEER  
NON-BEARING/BEARING - 1HR FRR

WALL ASSEMBLY EXTERIOR WOOD WITH BRICK VENEER	A	B	C
FFR	N/A	1 HR	1HR
ASSEMBLY DESIGN NUMBER	N/A	UL U356	UL V331
STC RATING	50 MIN	50 MIN	50 MIN
OTHER	-	-	-

ISSUE:	Δ	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:	3/4" = 1'-0"	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

EXTERIOR WALL ASSEMBLIES

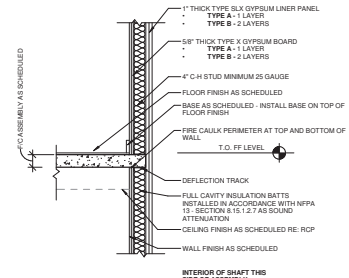
A0.81

ISSUE:	Δ	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		3/4" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

INTERIOR WALL ASSEMBLIES

A0.82

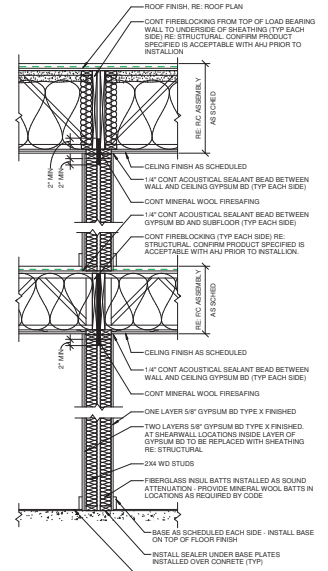
Designer Note:  
Identify project specific tag number in wall tags (Mark)



- ♦ INTERIOR FIRE BARRIER-SHAFT WALL METAL FRAMING -1HR FFR, NON-BEARING
- ♦ INTERIOR FIRE BARRIER-SHAFT WALL METAL FRAMING -2HR FFR, NON-BEARING

ASSEMBLY TYPE (MARK)	A	B
FFR	1 HR	2 HR
ASSEMBLY DESIGN NUMBER	UL L415 - SYSTEM A	UL L415 - SYSTEM B OR C
STC RATING		
OTHER		

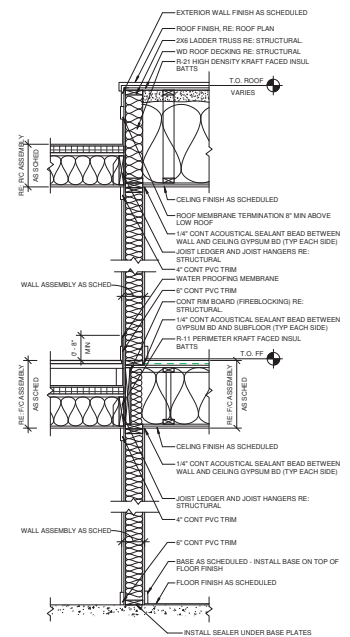
Designer Note:  
Identify project specific tag number in wall tags (Mark)  
Per BC 718.2.2 Concealed Wall Spaces - Provide fireblocking horizontally and vertically. Confirm use with And the Mineral Wool Fireproofing identified in the specification.  
NOTE: INSTALL MINERAL WOOL FIREPROOFING FULL HEIGHT OF WALL AS FIREBLOCKING AT HORIZ SPACING OF NO GREATER THAN 10' O.C.



- ♦ INTERIOR DEMISING WALL PARTITION WD (2) 2X4 @ 16\"/>

ASSEMBLY TYPE (MARK)	A	B
FFR	1 HR	
ASSEMBLY DESIGN NUMBER	UL L341	
STC RATING	62-64	
OTHER		

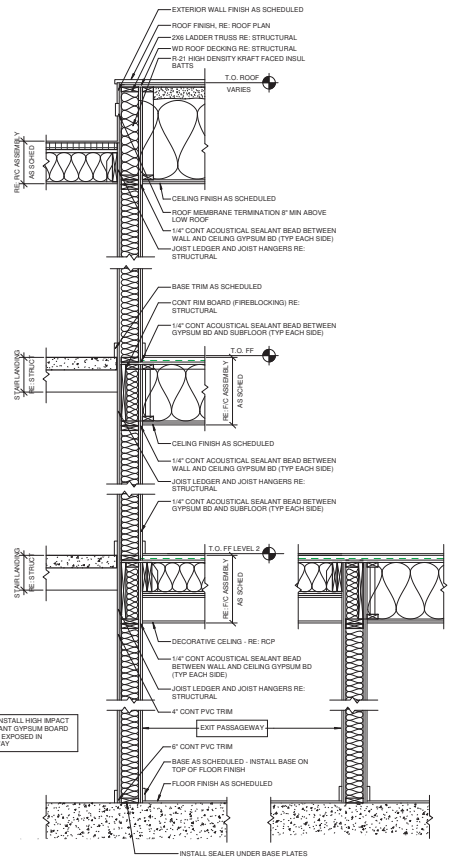
Designer Note:  
Identify project specific tag number in wall tags (Mark)



- ♦ EXTERIOR WALL WD 2X6 @ 24\"/>

ASSEMBLY TYPE (MARK)	A	B
FFR	1 HR	
ASSEMBLY DESIGN NUMBER	UL U356	
STC RATING	50 MN	
OTHER		

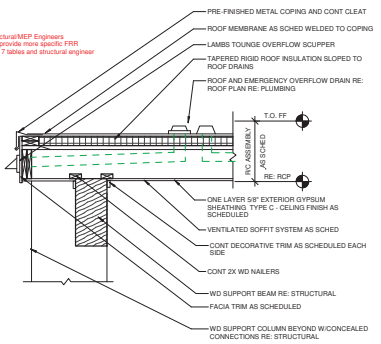
Designer Note:  
Identify project specific tag number in wall tags (Mark)



- ♦ INTERIOR FIRE BARRIER-PASSAGWAY WD 2X6 STUDS AT 16\"/>

ASSEMBLY TYPE (MARK)	A	B
FFR	2 HR	
ASSEMBLY DESIGN NUMBER	UL L301	
STC RATING	90 MN	
OTHER		

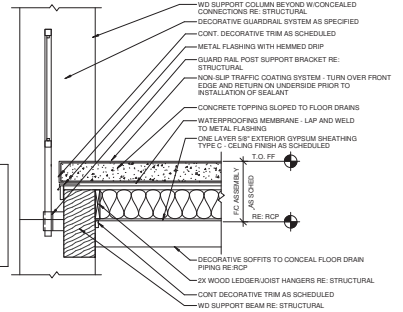
**Designer Note:**  
• Coordinate beam/col. depth with Structural/MEP Engineers  
• Evaluate beam and column sizes and provide more specific FFR requirements, coordinate with Chapter 7 tables and structural engineer



**FR EXTERIOR WD SUPPORT BEAM/COLUMN - EDGE OF EGRESS BALCONY - 1HR FFR**

WD BEAM AND COLUMN FFR	1 HR
ASSEMBLY DESIGN NUMBER	IBC CHAPTER 7 (SPECIFICS TBD)
STC RATING	-
IC RATING	-
OTHER	-

**Designer Note:**  
• Coordinate beam/col. depth with Structural/MEP Engineers  
• Evaluate beam and column sizes and provide more specific FFR requirements, coordinate with Chapter 7 tables and structural engineer

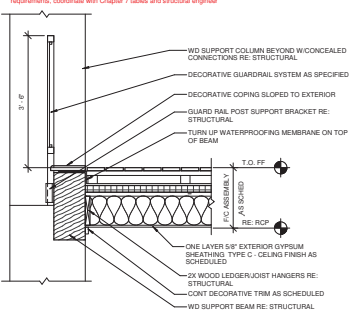


**DD PRICING NOTE:**  
THIS ALTERNATIVE DETAIL FOR EGRESS BALCONIES WILL REQUIRE ADDITIONAL FLOOR DRAINS AND DECORATIVE SOFFITS TO CONCEAL DRAIN PIPING. RECOMMENDED MINIMUM SPACING OF FLOOR DRAINS IS 8'-0" O.C.

**PRICING OPTION 2 DETAIL - WD SUPPORT BEAM/COLUMN - EDGE OF EGRESS BALCONY - 1HR FFR**

WD BEAM AND COLUMN FFR	1 HR
ASSEMBLY DESIGN NUMBER	IBC CHAPTER 7 (SPECIFICS TBD)
STC RATING	-
IC RATING	-
OTHER	-

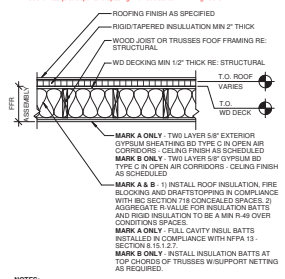
**Designer Note:**  
• Coordinate beam/col. depth with Structural/MEP Engineers  
• Evaluate beam and column sizes and provide more specific FFR requirements, coordinate with Chapter 7 tables and structural engineer



**WD SUPPORT BEAM/COLUMN - EDGE OF EGRESS BALCONY - 1HR FFR**

WD BEAM AND COLUMN FFR	1 HR
ASSEMBLY DESIGN NUMBER	IBC CHAPTER 7 (SPECIFICS TBD)
STC RATING	-
IC RATING	-
OTHER	-

**Designer Note:**  
• Coordinate joint depth and spacing with Structural/MEP Engineers

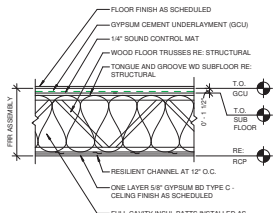


**NOTES:**  
1. PROVIDE INSTALL DRAFTSTOPPING IN COMPLIANCE WITH IBC SECTION 718.3 SUSPENDED CEILING AND SOFFITS ARE TO BE INSTALLED BELOW THE FFR ASSEMBLY IN LOCATIONS INDICATED ON RCP.  
2. ROOF/CEILING (R/C) EXTERIOR ASSEMBLY (EXTERIOR EGRESS BALCONIES) WOOD JOISTS 2X10 MIN AT 16\"/>

**FR ROOF/CEILING (R/C) EXTERIOR ASSEMBLY (EXTERIOR EGRESS BALCONIES) WOOD JOISTS 2X10 MIN AT 16\"/>**

FFR	1 HR
ASSEMBLY DESIGN NUMBER	IBC TABLE 721.1 (2) ITEM 21-1.1
STC RATING	50 MIN
IC RATING	-
OTHER	-

**Designer Note:**  
• Coordinate joint depth and spacing with Structural/MEP Engineers  
• Confirm indicated STC/IC Ratings

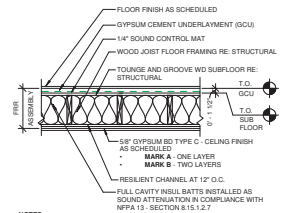


**NOTES:**  
1. PROVIDE INSTALL DRAFTSTOPPING IN COMPLIANCE WITH IBC SECTION 718.3 SUSPENDED CEILING AND SOFFITS ARE TO BE INSTALLED BELOW THE FFR ASSEMBLY IN LOCATIONS INDICATED ON RCP.  
2. FLOOR/CEILING (F/C) INTERIOR ASSEMBLY - OPEN WEB FLOOR TRUSSES

**FLOOR/CEILING (F/C) INTERIOR ASSEMBLY - OPEN WEB FLOOR TRUSSES**

FFR	1 HR
ASSEMBLY DESIGN NUMBER	UL L569
STC RATING	60
IC RATING	55.58
OTHER	-

**Designer Note:**  
• Coordinate joint depth and spacing with Structural/MEP Engineers  
• Confirm indicated STC/IC Ratings

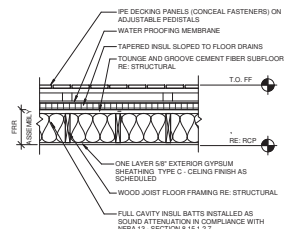


**NOTES:**  
1. PROVIDE INSTALL DRAFTSTOPPING IN COMPLIANCE WITH IBC SECTION 718.3 SUSPENDED CEILING AND SOFFITS ARE TO BE INSTALLED BELOW THE FFR ASSEMBLY IN LOCATIONS INDICATED ON RCP.  
2. FLOOR/CEILING (F/C) INTERIOR ASSEMBLY - 1 HR FFR WOOD JOISTS 2X10 MIN AT 16\"/>

**FLOOR/CEILING (F/C) INTERIOR ASSEMBLY - 1 HR FFR WOOD JOISTS 2X10 MIN AT 16\"/>**

ASSEMBLY TYPE (MARK)	A (1 HR FFR)	B (2 HR FFR)
ASSEMBLY DESIGN NUMBER	UL L569 - SYSTEM NO 2	UL L541 - SYSTEM NO 7
STC RATING	50 MIN	50 MIN
IC RATING	50 MIN	50 MIN
OTHER	-	-

**Designer Note:**  
• Coordinate joint depth and spacing with Structural/MEP Engineers  
• Coordinate STC/IC Ratings

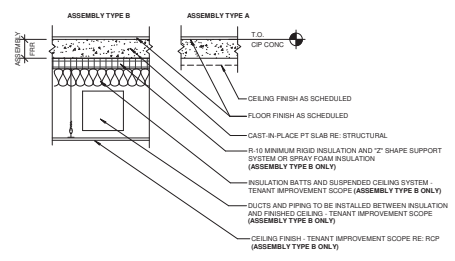


**NOTES:**  
1. PROVIDE INSTALL DRAFTSTOPPING IN COMPLIANCE WITH IBC SECTION 718.3 SUSPENDED CEILING AND SOFFITS ARE TO BE INSTALLED BELOW THE FFR ASSEMBLY IN LOCATIONS INDICATED ON RCP.  
2. FLOOR/CEILING (F/C) EXTERIOR ASSEMBLY WOOD JOISTS 2X10 MIN AT 16\"/>

**FLOOR/CEILING (F/C) EXTERIOR ASSEMBLY WOOD JOISTS 2X10 MIN AT 16\"/>**

FFR	1 HR
ASSEMBLY DESIGN NUMBER	UL L501 - SYSTEM NO 18
STC RATING	-
IC RATING	-
OTHER	-

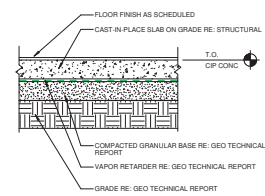
**Designer Note:**  
• Coordinate assembly design to be in compliance with Geo Tech and structural engineer recommendations  
• Confirm required thickness of insulation and indicate in detail  
• Confirm thickness of CIP Conc with Structural



**FR FLOOR/CEILING ASSEMBLY - CIP CONC**  
**FR FLOOR/CEILING ASSEMBLY - CIP CONC - INSULATION BATTS**

F/C ASSEMBLY TYPE	A (NON-INSULATED)			B (INSULATION BATTS)				
	A1	A2	A3	B1	B2	B3		
FFR	NA	1 HR	2 HR	3 HR	NA	1 HR	2 HR	3 HR
ASSEMBLY DESIGN NUMBER	-	-	IBC 721.1 (3) ITEM 1.1.1	-	-	IBC 721.1 (3) ITEM 1.1.1	-	-
STC RATING	-	-	-	-	-	-	-	-
IC RATING	-	-	-	-	-	-	-	-
OTHER	-	-	-	-	-	-	-	-

**Designer Note:**  
• Coordinate assembly design to be in compliance with Geo Tech and structural engineer recommendations



**NOTES:**  
1. GENERAL CONTRACTOR TO BRING TO THE ATTENTION ARCHITECT OF RECORD ANY DISCREPANCIES BETWEEN GEO TECH REPORT AND INDICATED DESIGN INTENT

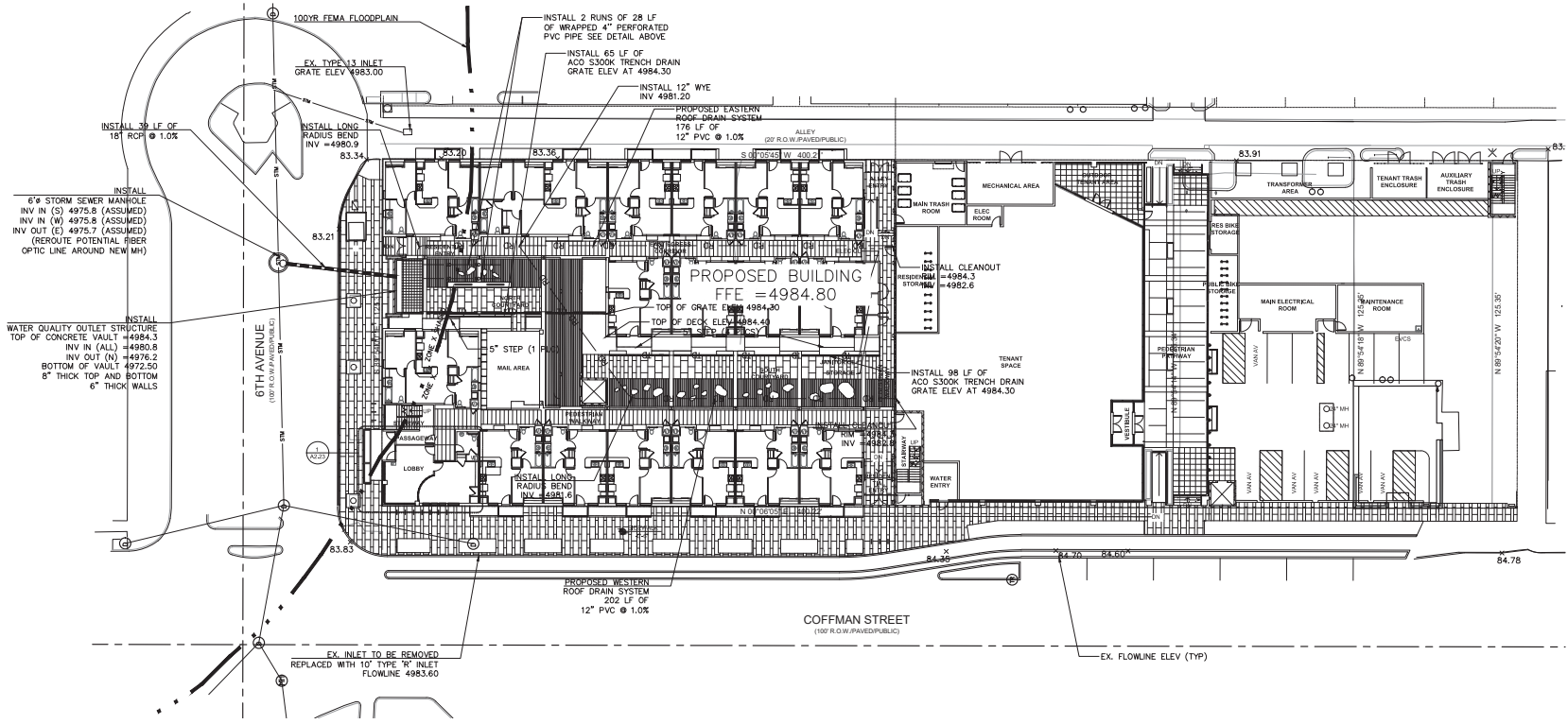
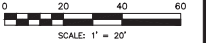
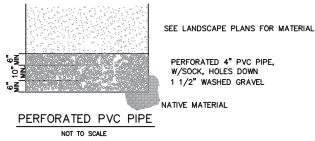
**SLAB ON GRADE (SOG) ASSEMBLY**

FFR	NA
ASSEMBLY DESIGN NUMBER	-
STC RATING	-
IC RATING	-
OTHER	-

ISSUE:	Δ	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITAL		05.29.2018
DD SUBMITAL 50%		09.24.2018
DD SUBMITAL 100%		12.19.2018
SCALE:		3/4\"/>
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:		0907-16

FLOOR / CEILING & ROOF / CEILING ASSEMBLIES





NO.	DATE	DESCRIPTION	BY

**Rocky Ridge Civil Engineering**

10000 E. 10th Avenue, Suite 200  
Denver, CO 80231  
303.751.1666  
www.rockyridgecivil.com

PROJECT	BCMA - COFFMAN ST. REDEVELOPMENT
DATE	01/01/19
CDR NO.	699-1
PROJECT NO.	699-1
DATE	01/01/19
PROJECT NO.	699-1

- NOTES:
1. FINISHED FLOOR ELEVATION IS PRELIMINARY AND SUBJECT TO CHANGE WITH ENTRY LOCATIONS.
  2. ACC TRENCH DRAIN IS RECOMMENDED BY THE ENGINEER, BUT, APPROVED EQUAL CAN BE USED PENDING ENGINEER APPROVAL.

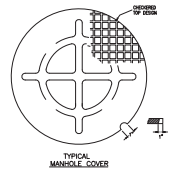
SHEET NO. **2**

Z:\2019\20190101\BCMA ST. REDEV\DWG\190101 BCMA ST. REDEV.DWG TO PLOT.PCL

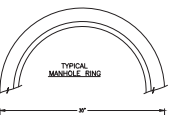


TABLE ONE - BAR LIST FOR CURB INLETS, TYPE "R"

WALKWAY	INLET SPACING	TYPE	ALL METERS			INLETS, 4'-0"			INLETS, 6'-0"		
			INLET LENGTH	INLET WIDTH	INLET DEPTH	INLET LENGTH	INLET WIDTH	INLET DEPTH	INLET LENGTH	INLET WIDTH	INLET DEPTH
400	12"	1	15	31	36	11	11	11	11	11	
401	12"	2	7	19	24	7	7	7	7	7	
402	12"	3	4	10	12	4	4	4	4	4	
403	12"	4	2	5	6	2	2	2	2	2	
404	12"	5	1	3	4	1	1	1	1	1	
405	12"	6	0	0	0	0	0	0	0	0	
406	12"	7	0	0	0	0	0	0	0	0	
407	12"	8	0	0	0	0	0	0	0	0	
408	12"	9	0	0	0	0	0	0	0	0	
409	12"	10	0	0	0	0	0	0	0	0	
410	12"	11	0	0	0	0	0	0	0	0	
411	12"	12	0	0	0	0	0	0	0	0	
412	12"	13	0	0	0	0	0	0	0	0	
413	12"	14	0	0	0	0	0	0	0	0	
414	12"	15	0	0	0	0	0	0	0	0	
415	12"	16	0	0	0	0	0	0	0	0	
416	12"	17	0	0	0	0	0	0	0	0	
417	12"	18	0	0	0	0	0	0	0	0	
418	12"	19	0	0	0	0	0	0	0	0	
419	12"	20	0	0	0	0	0	0	0	0	
420	12"	21	0	0	0	0	0	0	0	0	
421	12"	22	0	0	0	0	0	0	0	0	
422	12"	23	0	0	0	0	0	0	0	0	
423	12"	24	0	0	0	0	0	0	0	0	
424	12"	25	0	0	0	0	0	0	0	0	
425	12"	26	0	0	0	0	0	0	0	0	
426	12"	27	0	0	0	0	0	0	0	0	
427	12"	28	0	0	0	0	0	0	0	0	
428	12"	29	0	0	0	0	0	0	0	0	
429	12"	30	0	0	0	0	0	0	0	0	
430	12"	31	0	0	0	0	0	0	0	0	
431	12"	32	0	0	0	0	0	0	0	0	
432	12"	33	0	0	0	0	0	0	0	0	
433	12"	34	0	0	0	0	0	0	0	0	
434	12"	35	0	0	0	0	0	0	0	0	
435	12"	36	0	0	0	0	0	0	0	0	
436	12"	37	0	0	0	0	0	0	0	0	
437	12"	38	0	0	0	0	0	0	0	0	
438	12"	39	0	0	0	0	0	0	0	0	
439	12"	40	0	0	0	0	0	0	0	0	
440	12"	41	0	0	0	0	0	0	0	0	
441	12"	42	0	0	0	0	0	0	0	0	
442	12"	43	0	0	0	0	0	0	0	0	
443	12"	44	0	0	0	0	0	0	0	0	
444	12"	45	0	0	0	0	0	0	0	0	
445	12"	46	0	0	0	0	0	0	0	0	
446	12"	47	0	0	0	0	0	0	0	0	
447	12"	48	0	0	0	0	0	0	0	0	
448	12"	49	0	0	0	0	0	0	0	0	
449	12"	50	0	0	0	0	0	0	0	0	
450	12"	51	0	0	0	0	0	0	0	0	
451	12"	52	0	0	0	0	0	0	0	0	
452	12"	53	0	0	0	0	0	0	0	0	
453	12"	54	0	0	0	0	0	0	0	0	
454	12"	55	0	0	0	0	0	0	0	0	
455	12"	56	0	0	0	0	0	0	0	0	
456	12"	57	0	0	0	0	0	0	0	0	
457	12"	58	0	0	0	0	0	0	0	0	
458	12"	59	0	0	0	0	0	0	0	0	
459	12"	60	0	0	0	0	0	0	0	0	
460	12"	61	0	0	0	0	0	0	0	0	
461	12"	62	0	0	0	0	0	0	0	0	
462	12"	63	0	0	0	0	0	0	0	0	
463	12"	64	0	0	0	0	0	0	0	0	
464	12"	65	0	0	0	0	0	0	0	0	
465	12"	66	0	0	0	0	0	0	0	0	
466	12"	67	0	0	0	0	0	0	0	0	
467	12"	68	0	0	0	0	0	0	0	0	
468	12"	69	0	0	0	0	0	0	0	0	
469	12"	70	0	0	0	0	0	0	0	0	
470	12"	71	0	0	0	0	0	0	0	0	
471	12"	72	0	0	0	0	0	0	0	0	
472	12"	73	0	0	0	0	0	0	0	0	
473	12"	74	0	0	0	0	0	0	0	0	
474	12"	75	0	0	0	0	0	0	0	0	
475	12"	76	0	0	0	0	0	0	0	0	
476	12"	77	0	0	0	0	0	0	0	0	
477	12"	78	0	0	0	0	0	0	0	0	
478	12"	79	0	0	0	0	0	0	0	0	
479	12"	80	0	0	0	0	0	0	0	0	
480	12"	81	0	0	0	0	0	0	0	0	
481	12"	82	0	0	0	0	0	0	0	0	
482	12"	83	0	0	0	0	0	0	0	0	
483	12"	84	0	0	0	0	0	0	0	0	
484	12"	85	0	0	0	0	0	0	0	0	
485	12"	86	0	0	0	0	0	0	0	0	
486	12"	87	0	0	0	0	0	0	0	0	
487	12"	88	0	0	0	0	0	0	0	0	
488	12"	89	0	0	0	0	0	0	0	0	
489	12"	90	0	0	0	0	0	0	0	0	
490	12"	91	0	0	0	0	0	0	0	0	
491	12"	92	0	0	0	0	0	0	0	0	
492	12"	93	0	0	0	0	0	0	0	0	
493	12"	94	0	0	0	0	0	0	0	0	
494	12"	95	0	0	0	0	0	0	0	0	
495	12"	96	0	0	0	0	0	0	0	0	
496	12"	97	0	0	0	0	0	0	0	0	
497	12"	98	0	0	0	0	0	0	0	0	
498	12"	99	0	0	0	0	0	0	0	0	
499	12"	100	0	0	0	0	0	0	0	0	

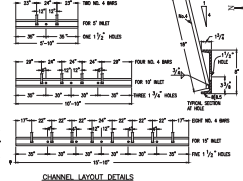


TYPICAL MANHOLE COVER



TYPICAL MANHOLE RING

- GENERAL NOTES
1. ALL CONCRETE SHALL BE CLASS B.
  2. CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES AND SHALL BE 8 IN. THICK.
  3. REINFORCING SHALL BE IN ACCORDANCE WITH NOTES IN THIS SPECIFICATION.
  4. CURB FACE ASSEMBLY SHALL BE FINISHED AFTER SETTING.
  5. EXPOSED CONCRETE SURFACES SHALL BE FINISHED TO MATCH THE EXISTING CURB AND GUTTER SURFACES.
  6. REINFORCING BARS SHALL BE SPACED AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE ALL AROUND THE BARS SHALL BE SPACED TO MATCH THE EXISTING CURB AND GUTTER SURFACES.
  7. CHANNELING AND RESULTS OF TYPICAL MANHOLE RING AND COVER ARE SHOWN.
  8. MATERIAL FOR MANHOLE RINGS AND COVERS SHALL BE GRAY OR DUCKLE CAST PORTLAND CEMENT CONCRETE.
  9. FINISH PIPE ENDS INTO THE INLET ARE UNPAID. THE EMPLOYEE SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INLET AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INLET.
  10. PROTECTING STEEL SHALL BE GALVANIZED AND SHALL CONFORM TO THE REQUIREMENTS OF THIS SPECIFICATION.



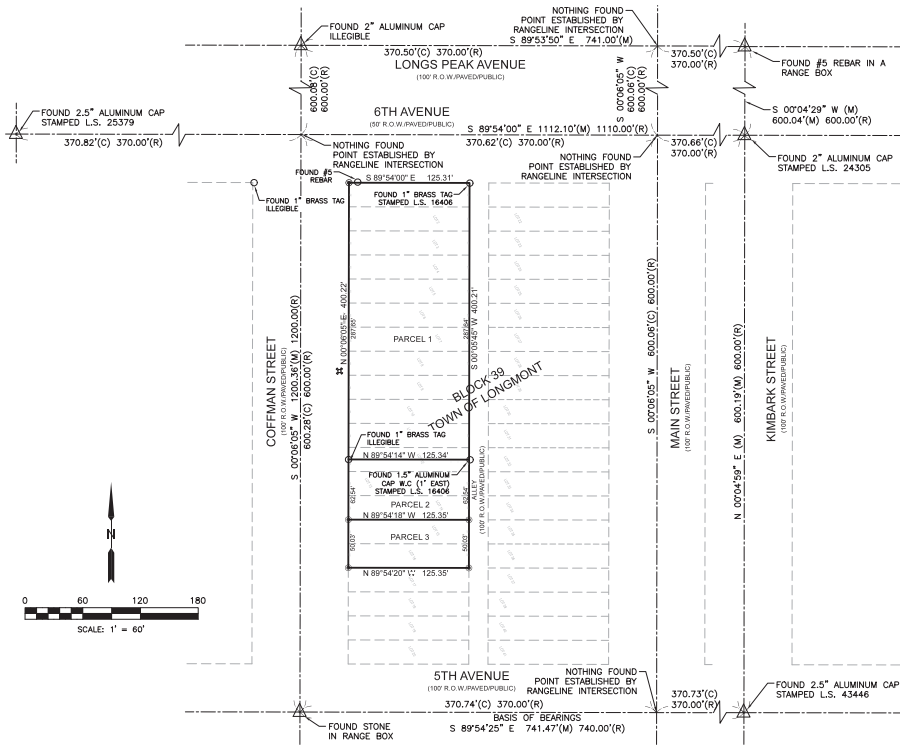
CHANNEL LAYOUT DETAILS

TABLE TWO - BARS AND QUANTITIES VARIABLE WITH "L"

WALKWAY	INLET SPACING	TYPE	INLET LENGTH	INLET WIDTH	INLET DEPTH	INLET LENGTH	INLET WIDTH	INLET DEPTH	INLET LENGTH	INLET WIDTH	INLET DEPTH
400	12"	1	15	31	36	11	11	11	11	11	11
401	12"	2	7	19	24	7	7	7	7	7	7
402	12"	3	4	10	12	4	4	4	4	4	4
403	12"	4	2	5	6	2	2	2	2	2	2
404	12"	5	1	3	4	1	1	1	1	1	1
405	12"	6	0	0	0	0	0	0	0	0	0
406	12"	7	0	0	0	0	0	0	0	0	0
407	12"	8	0	0	0	0	0	0	0	0	0
408	12"	9	0	0	0	0	0	0	0	0	0
409	12"	10	0	0	0	0	0	0	0	0	0
410	12"	11	0	0	0	0	0	0	0	0	0
411	12"	12	0	0	0	0	0	0	0	0	0
412	12"	13	0	0	0	0	0	0	0	0	0
413	12"	14	0	0	0	0	0	0	0	0	0
414	12"	15	0	0	0	0	0	0	0	0	0
415	12"	16	0	0	0	0	0	0	0	0	0
416	12"	17	0	0	0	0	0	0	0	0	0
417	12"	18	0	0	0	0	0	0	0	0	0
418	12"	19	0	0	0	0	0	0	0	0	0
419	12"	20	0	0	0	0	0	0	0	0	0
420	12"	21	0	0	0	0	0	0	0	0	0
421	12"	22	0	0	0	0	0	0	0	0	0
422	12"	23	0	0	0	0	0	0	0	0	0
423	12"	24	0	0	0	0	0	0	0	0	0
424	12"	25	0	0	0	0	0	0	0	0	0
425	12"	26	0	0	0	0</					

# A.L.T.A./N.S.P.S. Land Title Survey

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT AND COUNTY OF BOULDER, STATE OF COLORADO



VICINITY MAP  
Not to scale

## SURVEYOR'S NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING, INC. FOR INFORMATION REGARDING BOUNDARY, EASEMENTS AND TITLE. POWER SURVEYING, INC. RELIED UPON THE FOLLOWING TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NO. NCS-904456-CO DATED MAY 3, 2018 AT 5:00 P.M.
3. FLOOD ZONE DESIGNATION: THE NORTHERLY PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X SHADING (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH GRASSY AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM ANNUAL CHANCE FLOOD) AS SHOWN ON FEMA FIRM MAP #0801302286L WITH AN EFFECTIVE DATE OF DECEMBER 18, 2012. THE REMAINDER LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
4. FIELD SURVEY COMPLETION DATE: MAY 11, 2018.
5. THIS ALTA/N.S.P.S. LAND TITLE SURVEY CONSISTS OF 2 SHEETS, AND SHOULD NOT BE CONSIDERED COMPLETE UNLESS BOTH SHEETS ARE INCLUDED AS A SET.
6. UNIT OF MEASUREMENT: U.S. SURVEY FOOT.
7. OBSERVED PARKING SPACES: THERE ARE, AS OF THE DATE OF MAY 11, 2018, 64 REGULAR PARKING SPACES AND 4 HANDICAPPED PARKING SPACES. FOR A TOTAL OF 68 PARKING SPACES ON THE SUBJECT PROPERTY.
8. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTHMOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THE FIELD SURVEY.
9. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT THE TIME OF THE FIELD SURVEY.
10. THE SUBJECT PROPERTY CONTAINS 450,160 TOTAL SQUARE FEET OR ±1.151 ACRES OF LAND, MORE OR LESS.
11. THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM COFFMAN STREET, BEING A PAVED, PUBLIC RIGHT-OF-WAY.

## TITLE COMMITMENT EXCEPTIONS

- THE FOLLOWING SCHEDULED B ITEMS WERE TAKEN FROM FIRST AMERICAN TITLE INSURANCE COMPANY, A TITLE COMMITMENT NO. NCS-904456-CO DATED MAY 3, 2018 AT 5:00 P.M.
- ITEMS 1 THROUGH 5 AND 11 ARE GENERAL IN NATURE AND NOT SURVEY RELATED AND ARE NOT SHOWN HERETO.
6. ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE LONGMONT GENERAL IMPROVEMENT DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED AUGUST 16, 1966 AT RECEPTION NO. 824453 (BLANKET IN NATURE)
  7. ORDINANCE NO. 0-82-76, FOR DOWNTOWN DEVELOPMENT AUTHORITY, RECORDED MARCH 26, 1985 AT RECEPTION NO. 678972. (BLANKET IN NATURE)
  8. STATEMENT AND NOTICE REGARDING PUBLIC MALL RECORDED AUGUST 12, 1988 AT RECEPTION NO. 835667. (AFFECTS PARCEL 1) (BLANKET IN NATURE)
  9. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE REVOCABLE USE OF PUBLIC PLACES AGREEMENT RECORDED JANUARY 23, 1996 AT RECEPTION NO. 1578401. (AFFECTS PARCEL 1). (BLANKET IN NATURE)
  10. ORDINANCE NO. 0-2009-104, FOR AMENDING THE BOUNDARIES OF THE LONGMONT DOWNTOWN DEVELOPMENT AUTHORITY, RECORDED FEBRUARY 5, 2009 AT RECEPTION NO. 297224. (BLANKET IN NATURE)

## SURVEYOR'S CERTIFICATE

TO : ROCKY RIDGE CIVIL ENGINEERING; AND TO FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/N.S.P.S. LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 11, 2018.

RICHARD B. GABRIEL, P.L.S.  
Colorado License No. 37929  
For and on behalf of Power Surveying Company, Inc.  
720 W. 84th Avenue, Unit 240  
Thornton, CO 80260  
(303) 702-1617  
www.powersurveying.com



## PROPERTY DESCRIPTION

PARCEL 1:  
LOTS 1 THROUGH 11, INCLUSIVE, AND THE NORTH 1/2 OF LOT 12, BLOCK 39, LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO.  
FOR INFORMATIONAL PURPOSES ONLY: APN: 130153221002

PARCEL 2:  
LOTS 13 AND 14, AND THE SOUTH 1/2 OF LOT 12, BLOCK 39, LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO.  
FOR INFORMATIONAL PURPOSES ONLY: APN: 130153221003

PARCEL 3:  
LOTS 15, AND 16, BLOCK 39, LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO.  
FOR INFORMATIONAL PURPOSES ONLY: APN: 130153221004

ALSO KNOWN AS 500 - 518 COFFMAN STREET, LONGMONT, COLORADO, 80501

## UNDERGROUND UTILITIES

THE UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED FROM SURFACE EVIDENCE, VISIBLE PIN FLAGS AND PAINT MARKINGS SUPPLIED BY ACCURATE UNDERGROUND UTILITY FIELD SERVICES ON MAY 5, 2018. SAID UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE IN NATURE. FOR EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES, POT-HOLING IS RECOMMENDED. THIS SURVEYOR HAS NOT PHYSICALLY OR ACTUALLY LOCATED ANY UNDERGROUND UTILITIES SHOWN HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN NATURE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. CALL THE UNDERGROUND UTILITY NOTIFICATION CENTER OF COLORADO, DIAL 811 OR 800.922.1987 FOR ALL LOCATE REQUESTS AT LEAST THREE BUSINESS DAYS PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

## BASIS OF BEARINGS

BEARINGS ARE BASED ON A RANGE LINE LOCATED IN 4TH AVENUE BETWEEN COFFMAN STREET AND KIMBARK STREET, BEING MONUMENTED AT THE INTERSECTION OF 4TH AVENUE AND COFFMAN STREET BY A FOUND STONE IN A RANGE BOX AND AT THE INTERSECTION OF 4TH AVENUE AND KIMBARK STREET BY A FOUND 2.5" ALUMINUM CAP STAMPED L.S. 43446, WHICH BEARS SOUTH 89°54'25" EAST A DISTANCE OF 741.47 FEET WITH ALL BEARINGS HEREON BEING RELATIVE THEREON.

## SITE BENCHMARK

SITE BENCHMARK "LONGMONT BENCHMARK #30" BEING A BRASS CAP, IS LOCATED AT THE SOUTHWEST CORNER OF 5TH AVENUE AND MAIN STREET ON THE TOP OF THE CURB AT A TYPE R INLET.

NW80 88 DATUM: 4995.25'

## AREAS OF CONCERN

THERE APPEARS TO BE ADDITIONAL PARKING TO THE SOUTH OF BUILDING NOT INCLUDED IN THIS SURVEY

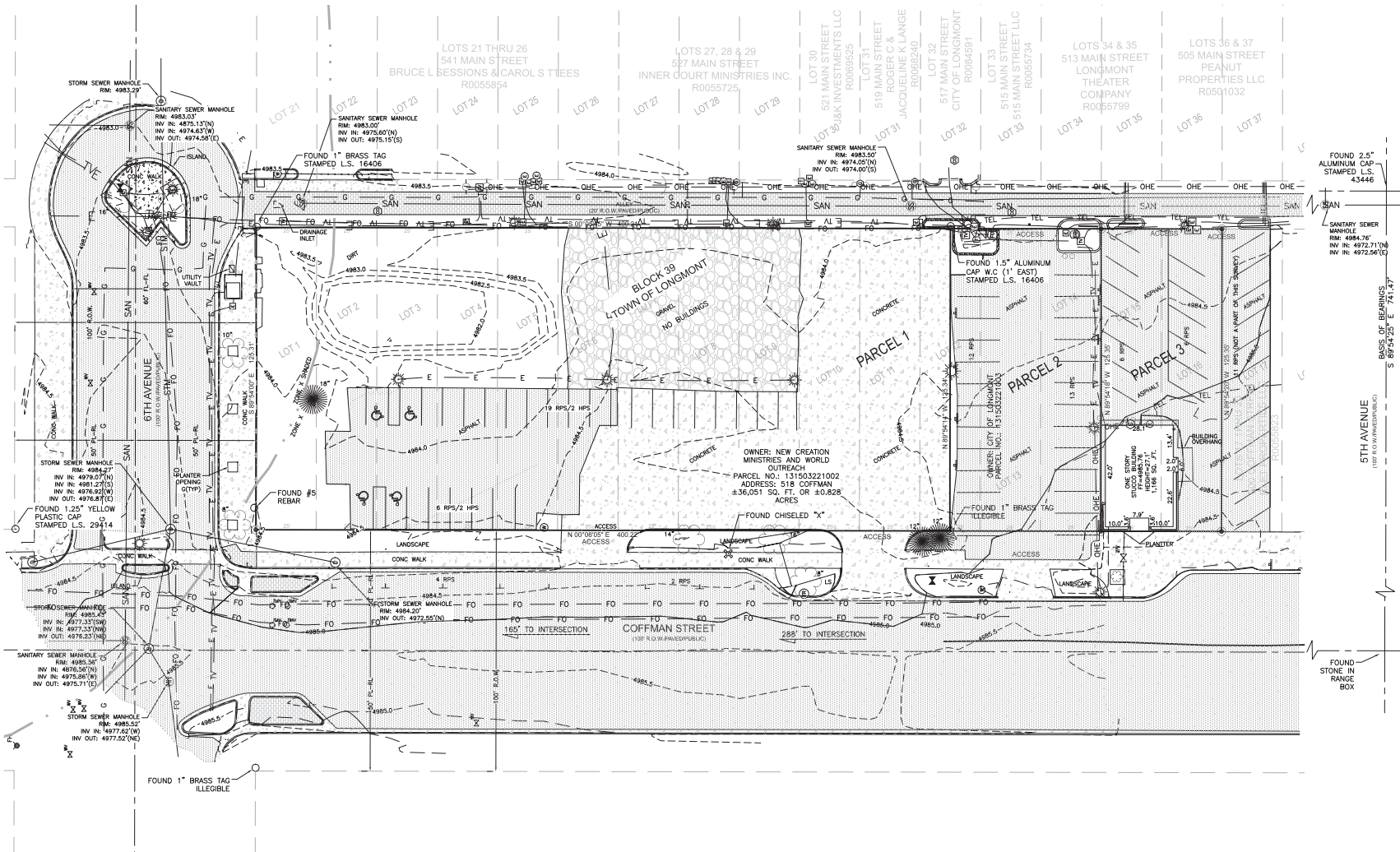
## ZONING DATA

NO ZONING REPORT WAS PROVIDED.



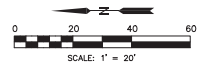
# A.L.T.A./N.S.P.S. Land Title Survey

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONGMONT AND COUNTY OF BOULDER, STATE OF COLORADO



## LEGEND

- MONUMENT FOUND, AS NOTED
- ⊙ SET REBAR & PLASTIC CAP, MARKED "T.S. 37929" TYPICAL, UNLESS NOTED OTHERWISE
- △ RANGE POINT INTERSECTION LOCATION (MONUMENT TO BE SET AT A LATER DATE)
- (C) CALCULATED
- (R) RECORDED
- (M) MEASURED
- R-L FLOWLINE TO FLOWLINE
- R-H PROPERTY LINE TO RANGE LINE
- ⊕ TELEPHONE PEDESTAL
- ⊙ FIBER OPTIC BOX
- ⊙ TELEPHONE MANHOLE
- ⊙ TRAFFIC BOX
- ⊙ MANHOLE (UNKNOWN TYPE)
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE BOX
- ⊙ BOLLARD
- ⊙ GAS METER
- ⊙ GUY WIRE
- ⊙ ELECTRICAL TRANSFORMER
- ⊙ CLEANOUT
- ⊙ ELECTRIC METER
- ⊙ UTILITY POLE
- ⊙ CABLE T.V. BOX
- ⊙ SIGN
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ LIGHT POLE
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ ELECTRIC BOX
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ HANDICAPPED PARKING SPACES
- ⊙ TREE W/ CALIPER
- FIBER OPTIC LINE
- OVERHEAD UTILITY LINE
- BURIED GAS LINE
- BURIED TELEVISION LINE
- WATER LINE
- BURIED TELEPHONE LINE
- BURIED ELECTRIC LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- ADJACENT PROPERTY LINE
- F.I.R.M. ZONE LINE DESIGNATION
- - - - - RANGE LINE
- - - - - PROPERTY BOUNDARY
- ▨ ASPHALT
- ▨ BRICK PAVERS
- ▨ GRAVEL
- ▨ CONCRETE

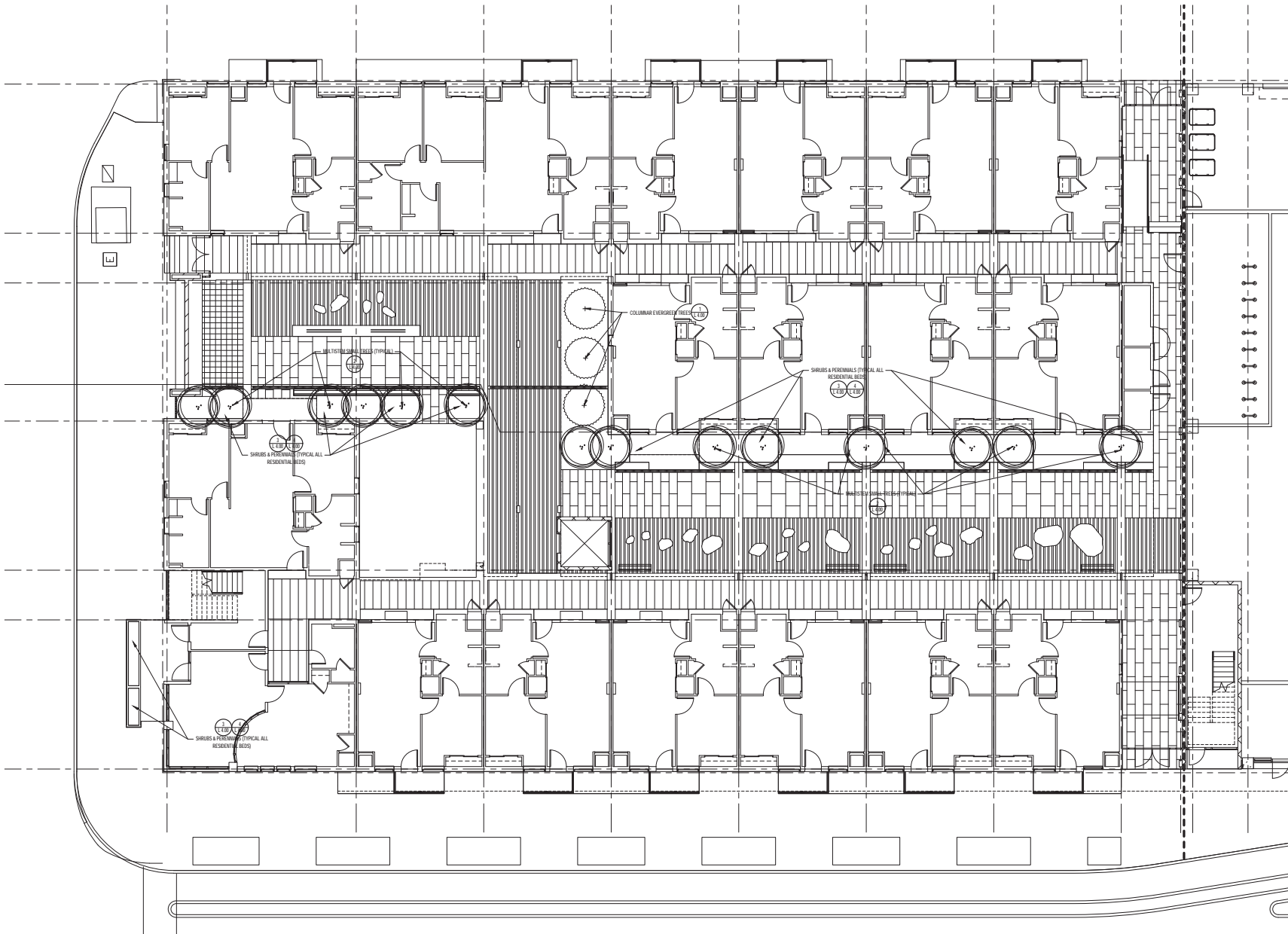


1225 1/2 8TH AVENUE, SUITE 204  
THORNTON, COLORADO 80260  
PH: 303.278.1888  
WWW.POWERSURVEYING.COM

TYPE OF SUBMITTAL:	ALTA/NSPS SURVEY
PREPARATION DATE:	MAY 21, 2018
REVISION DATE:	JULY 5, 2018
REVISION DATE:	
REVISION DATE:	
JOB NO. 501-17-005(A)	501-17-005(A) ALTA.dwg
SHEET 2 OF 2	







883 SANTA FE DRIVE  
DENVER, CO 80202  
PHONE: 303.569.9914  
www.rnnarchitects.com



LEG INTERNATIONAL LLC  
Landscape Architecture  
1885 Speer Blvd, Suite 2000  
Denver, CO 80202  
Phone: 303.733.1111  
www.legintl.com

**BCHA - COFFMAN ST.  
REDEVELOPMENT**  
LONGMONT, CO 80501

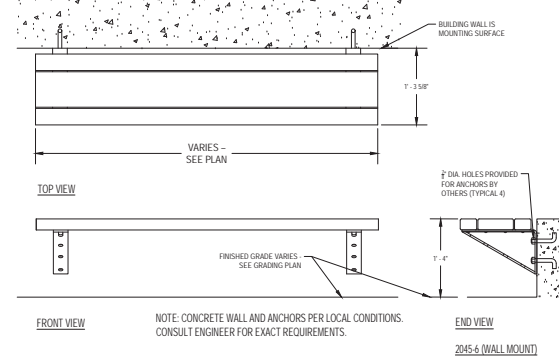
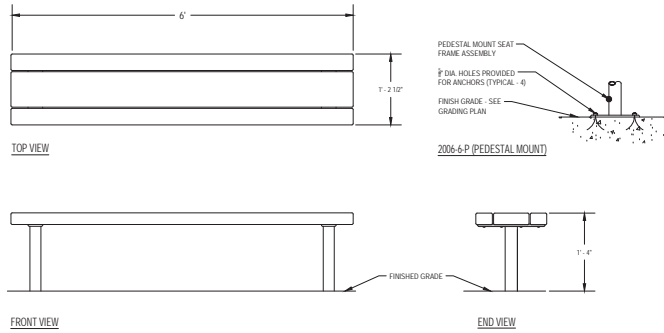
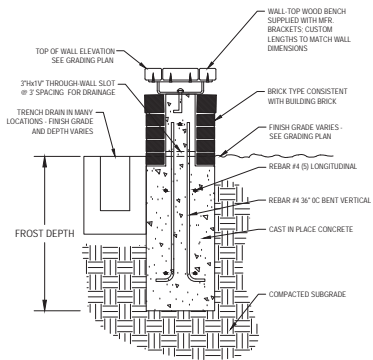
ISSUE:	DATE:
PRE-APP MEETING	06.06.2018
SD SUBMITTAL	06.29.2018
DD SUBMITTAL 50%	09.24.2018
DD SUBMITTAL 100%	12.19.2018
DD REVISIONS	01.11.2019

SCALE:	As indicated
DRAWN BY:	DRW
CHECKED BY:	CHK
JOB NUMBER:	0907-16

RESIDENTIAL SITE  
PLANTING PLAN

**L 3.00**

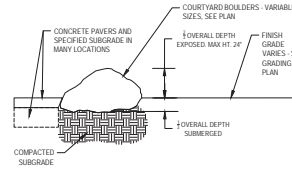
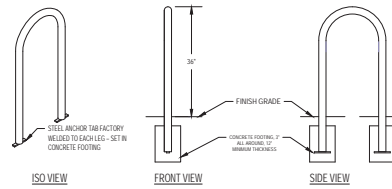
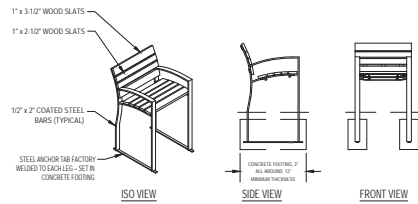




**1** BRICK SEAT WALL WITH WOOD BENCH @ CTYDS.  
NOT TO SCALE

**2** FREESTANDING WOOD & METAL BENCH @ COURTYARD  
NOT TO SCALE

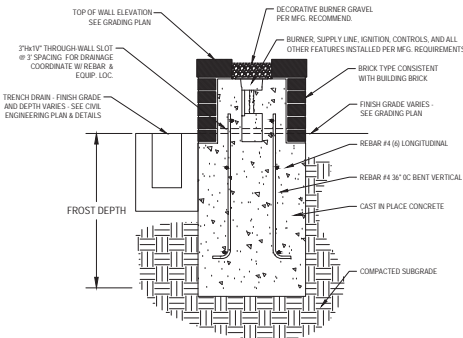
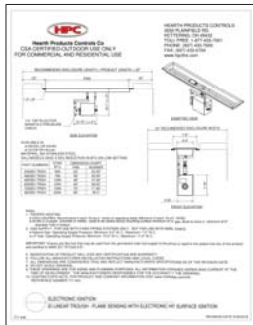
**3** BUILDING MOUNTED WOOD & METAL BENCH @ 1ST FLR DOORS  
NOT TO SCALE



**4** EVA 20-W STREET CHAIR - 2' WIDTH  
NOT TO SCALE

**5** BRWS-101 CYCLE SENTRY STD. IN GRND. MOUNT  
NOT TO SCALE

**6** COURTYARD BOULDER  
NOT TO SCALE



**7** GAS FIREPIT BURNER W/ REMOTE ELECTRONIC IGNITION (PAIR)  
NOT TO SCALE

**8** BRICK FIREPLACE WALL  
NOT TO SCALE

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-811-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR DISMANTLE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

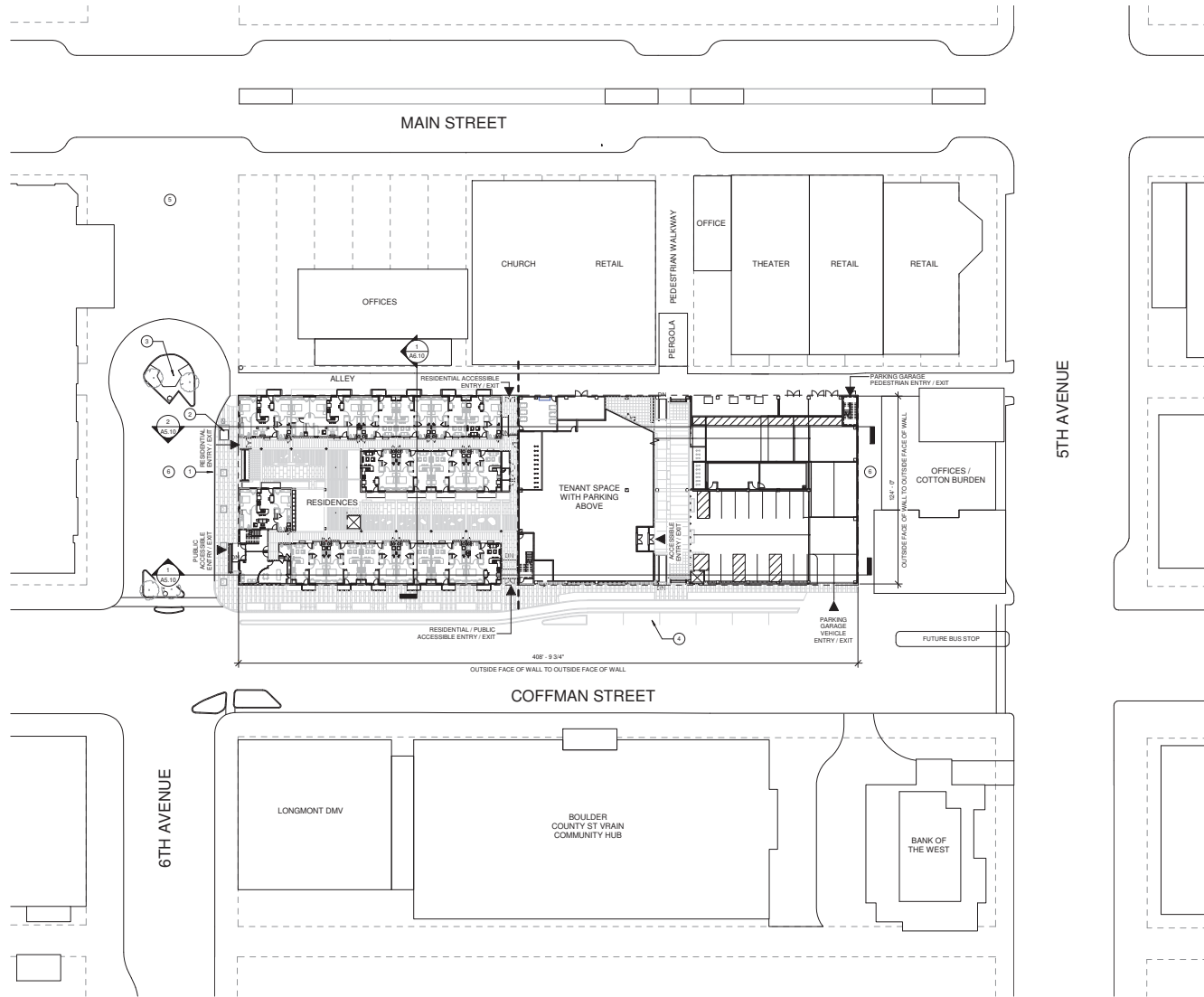


ISSUE:	DATE:
PRE-APP MEETING	06.06.2018
SD SUBMITTAL	06.29.2018
DD SUBMITTAL 50%	09.24.2018
DD SUBMITTAL 100%	12.19.2018
DD REVISIONS	01.11.2019

SCALE:	As indicated
DRAWN BY:	DRW
CHECKED BY:	CHK
JOB NUMBER:	0907-16

SITE DETAILS

**L 5.00**



**GENERAL NOTES**  
 1. REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION RELATIVE TO PROPERTY LINE



**SHEET NOTES**

1. COMMON LVFT / USER DROP-OFF AREA
2. EXISTING TRANSFORMER
3. EXISTING PAVILION
4. PARKING LANE
5. EXISTING SCULPTURE
6. EXISTING PARKING

**BCHA - COFFMAN STREET REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

**LEGEND**  
 - - - - - MATCHLINE

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2019
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019

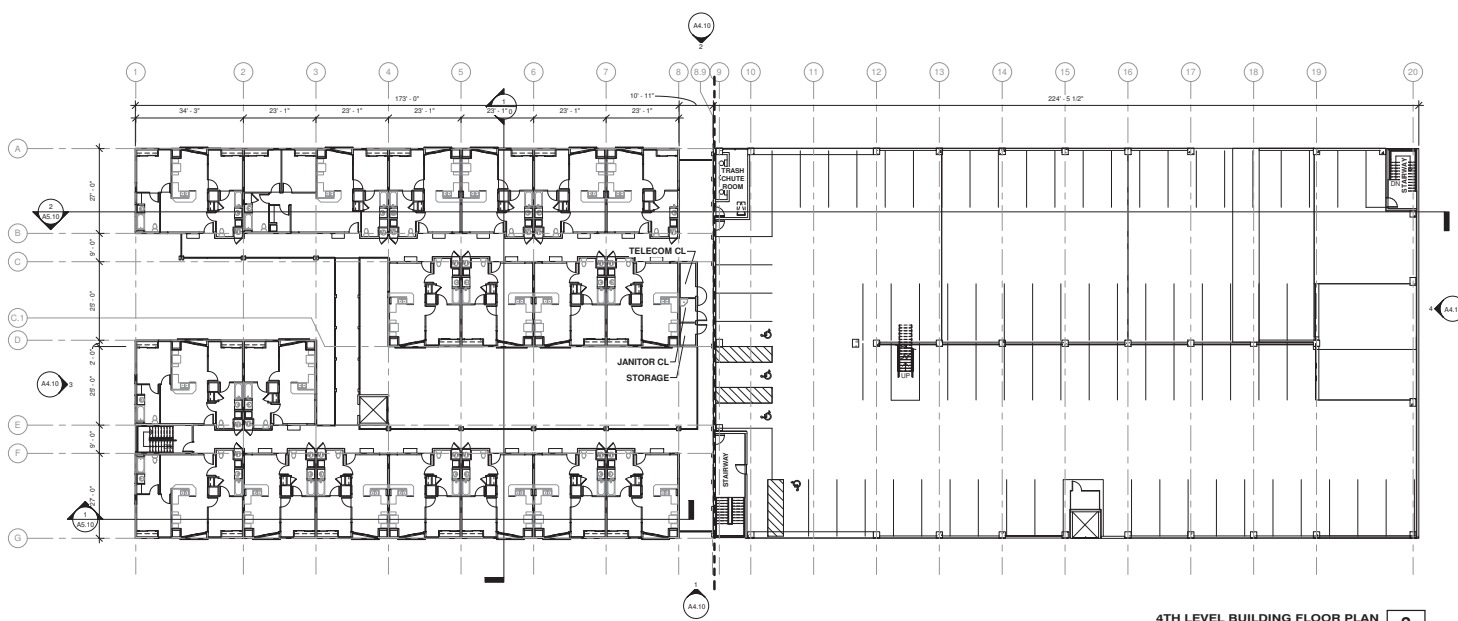
SCALE: 1" = 30'-0"  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 JOB NUMBER: 0907-16

**ARCHITECTURAL SITE PLAN** 1  
 SCALE: 1" = 30'-0"

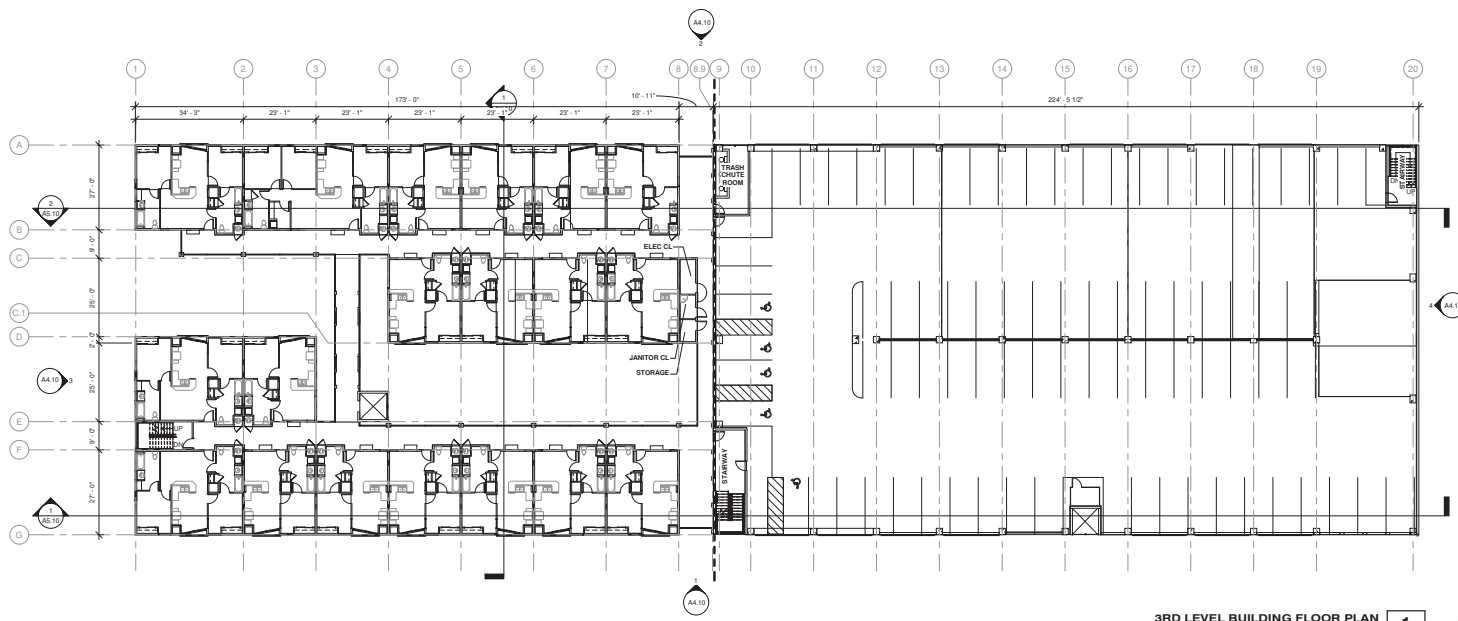
**ARCHITECTURAL SITE PLAN**  
**A1.10**







4TH LEVEL BUILDING FLOOR PLAN  
SCALE: 1/16" = 1'-0" **2**



3RD LEVEL BUILDING FLOOR PLAN  
SCALE: 1/16" = 1'-0" **1**



GENERAL NOTES

SHEET NOTES

LEGEND

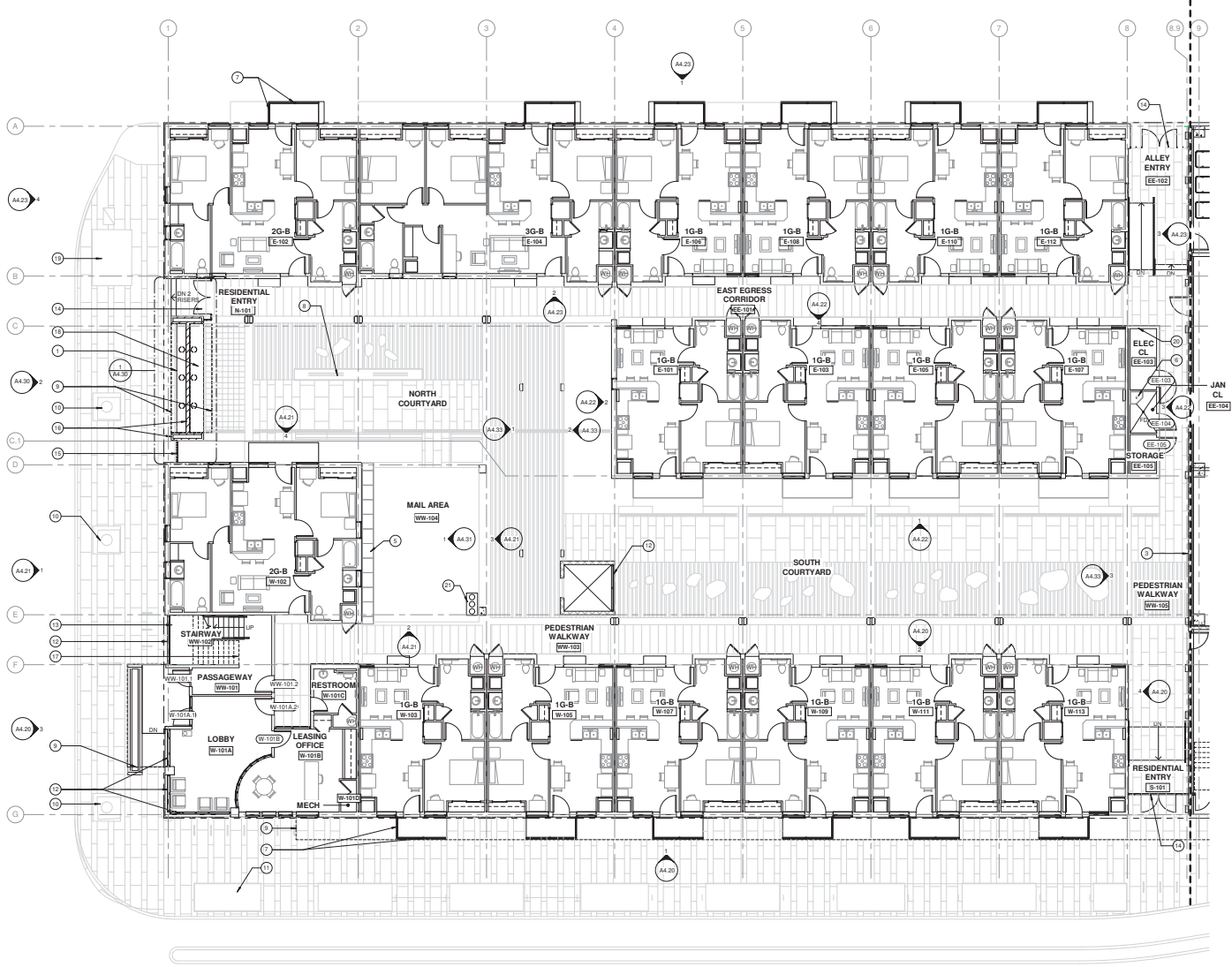


BCHA - COFFMAN STREET  
REDEVELOPMENT  
COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	DATE:
PRE-APP MEETING	06.06.2018
SD SUBMITTAL	06.29.2018
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DD SUBMITTAL 100%	12.19.2018
DD REVISIONS	01.11.2019

BUILDING FLOOR PLANS  
LEVELS 3 & 4

**A2.11**



ENLARGED 1ST LEVEL RESIDENTIAL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES**



980 SANTA FE DRIVE  
DENVER, CO 80204  
PHONE 303.589.9994  
WWW.RNNARCHITECTS.COM

- SHEET NOTES**
- 1 BENCH
  - 2 SPIES WITH METAL GUARDRAIL
  - 3 RATED FIRE WALL 2 HR
  - 4 OPEN WALKWAY WITH METAL GUARDRAIL, TYP
  - 5 MAILBOX CENTER WITH RECEPTACLES FOR TRASH & RECYCLING
  - 6 MOP BIN
  - 7 RESIDENTIAL ENTRY STOOP WITH METAL RAILING & 4" ROUND STEEL POST
  - 8 LINEAR GAS FIREFIT TROUGH
  - 9 LINE OF CANDY OVERHEAD, TYP
  - 10 EXISTING TREE GRATE
  - 11 PLANTINGS & BENCHES, RE: LANDSCAPE
  - 12 STOREFRONT
  - 13 METAL SHUTTERBALL
  - 14 METAL ENTRY DOOR / GATE
  - 15 METAL FENCE
  - 16 BREAK WALL
  - 17 SELF-CLOSING METAL GATE UNDER STAIR
  - 18 OUTDOOR RAIL T IN GAS GRILLS
  - 19 EXISTING TRANSFORMER
  - 20 DOOR ACCESS CONTROL PANEL
  - 21 THREE BIN RECEPTACLE FOR TRASH, RECYCLING, AND COMPOST

**BCHA - COFFMAN STREET  
REDEVELOPMENT**

COFFMAN STREET, LONGMONT, CO 80501

**LEGEND**

----- MATCHLINE


ISSUE:	DATE:
PRE-APP MEETING	06.06.2018
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DD SUBMITTAL 50%	09.24.2018
DD SUBMITTAL 100%	12.19.2018
DD REVISIONS	01.11.2019

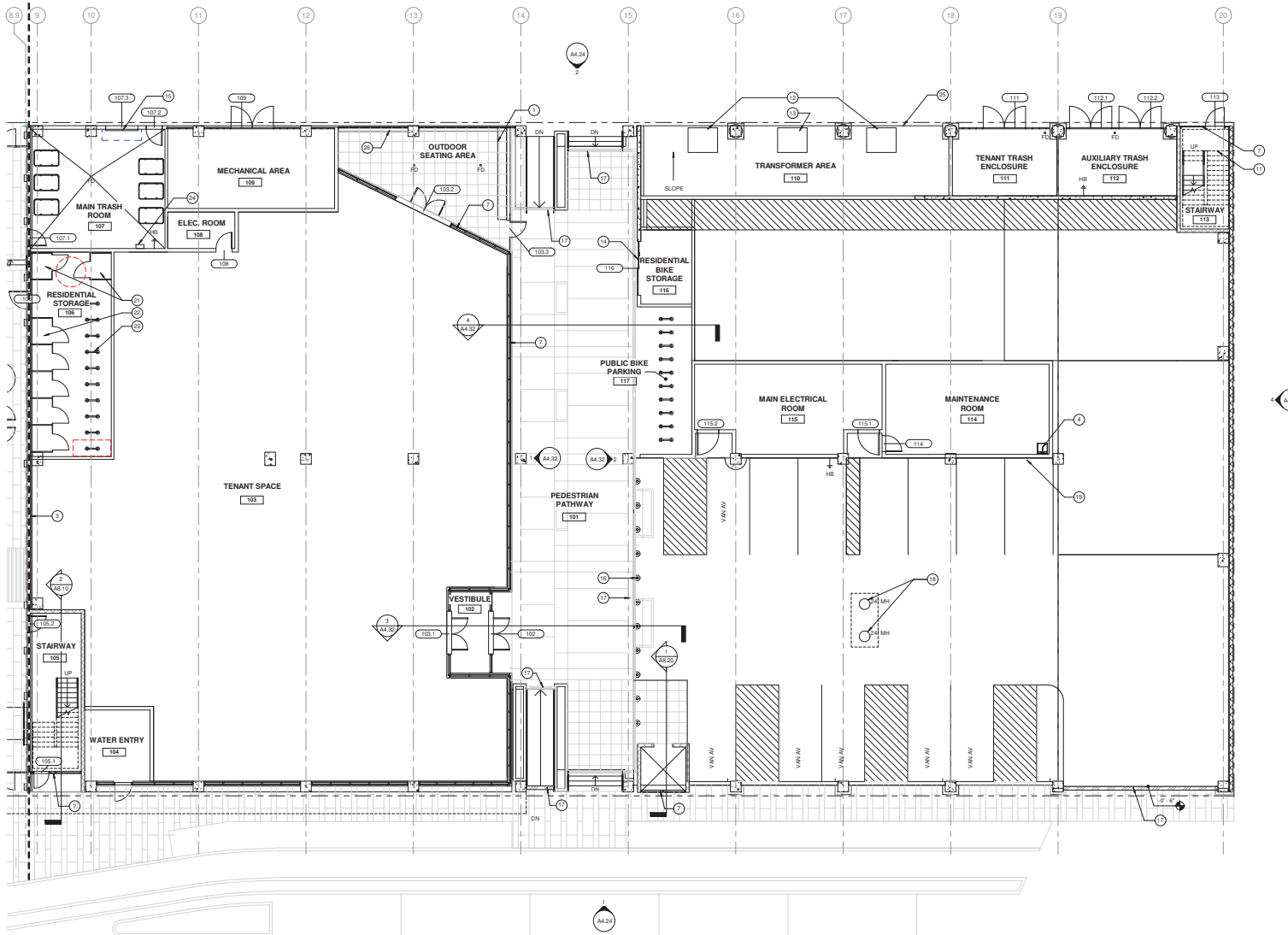
**KEY PLAN**

SCALE:	As Indicated
DRAWN BY:	Author
CHECKED BY:	Checker
JOB NUMBER:	0907-16

ENLARGED LEVEL 1  
RESIDENTIAL FLOOR PLAN

**A2.12**






ENLARGED 1ST LEVEL PARKING FLOOR PLAN  
SCALE: 1/8" = 1'-0"

1



**GENERAL NOTES**

1. OUTDOOR BENCH BUILT INTO WALL
2. OPEN WITH METAL GUARDRAIL
3. RATED FIRE WALL (2 HRS)
4. RATED FIRE WALL (2 HRS)
5. RATED FIRE WALL (2 HRS)
6. LINE OF CANOPY OVERHEAD, TYP
7. PLANTING & BENCHES, RE LANDSCAPE
8. STOREFRONT
9. METAL GUARDRAIL
10. METAL ENTRY DOOR / GATE
11. BENCH WALL
12. SELF-CLOSING METAL GATE UNDER STAIR
13. EXISTING TRANSFORMER
14. NEW TRANSFORMER ON PAD, RE. ELECT.
15. SLIDING DOOR INTO RESIDENT BIKE STORAGE
16. OVERHEAD COILING DOOR
17. SOLLARD POST TYP
18. TRENCH GRANCOVER, RE. PLUMBING/CIVIL
19. GIL INTERCEPTOR, RE. PLUMBING/CIVIL
20. ELECTRIC VEHICLE CHARGING STATION AREA DRUM, RE. PLUMBING/CIVIL
21. (3) ACCESSIBLE STORAGE LOCKERS
22. (3) ACCESSIBLE STORAGE LOCKERS
23. RESIDENTIAL BIKE STORAGE
24. WALL MOUNTED HOSE REEL
25. CONCRETE TRANSFORMER PAD
26. GROUND FACE RETAINING WALL



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**SHEET NOTES**

**BCHA - COFFMAN STREET REDEVELOPMENT**

COFFMAN STREET, LONGMONT, CO 80501

---

**LEGEND**

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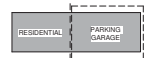
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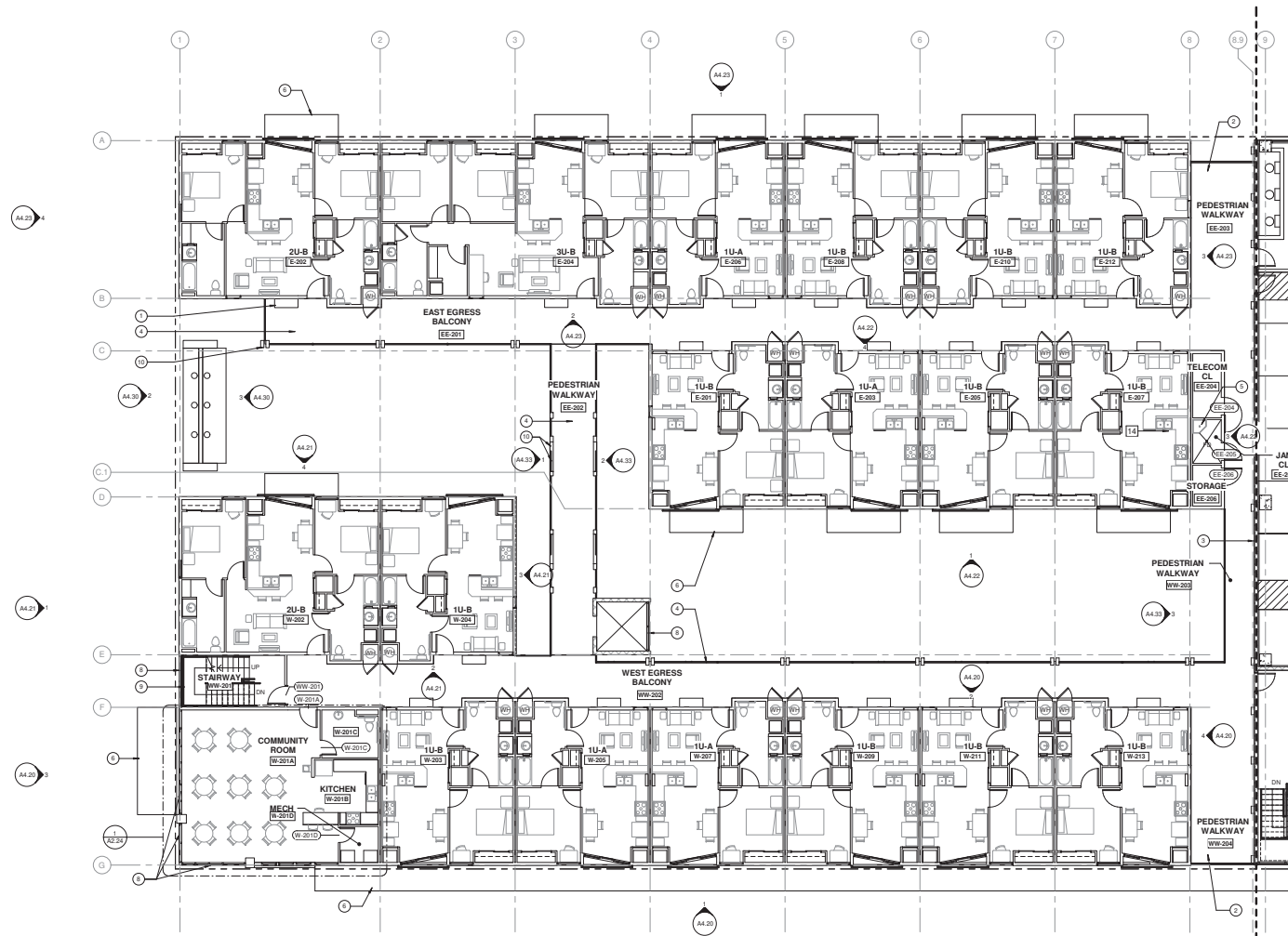
SCALE: As Indicated

DRAWN BY: Author

CHECKED BY: Checker

JOB NUMBER: 090716


<p>ENLARGED LEVEL 1 PARKING FLOOR PLAN</p> <p><b>A2.13</b></p>



ENLARGED 2ND LEVEL RESIDENTIAL FLOOR PLAN  
SCALE: 1/8" = 1'-0" 1



GENERAL NOTES



SHEET NOTES

- 1 BENCH
- 2 OPEN WITH METAL GUARDRAIL
- 3 RATED FIRE WALL (2 HR)
- 4 OPEN WALKWAY WITH METAL GUARDRAIL, TYP
- 5 MOP SINK
- 6 LINE OF CANDOPY BELOW, TYP
- 7 LINE OF CANDOPY OVERHEAD, TYP
- 8 STOREFRONT
- 9 METAL GUARDRAIL
- 10 GLULAM MEMBERS, RE: STRUCT

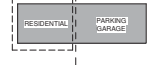
BCHA - COFFMAN STREET REDEVELOPMENT  
 COFFMAN STREET, LONGMONT, CO 80501

LEGEND



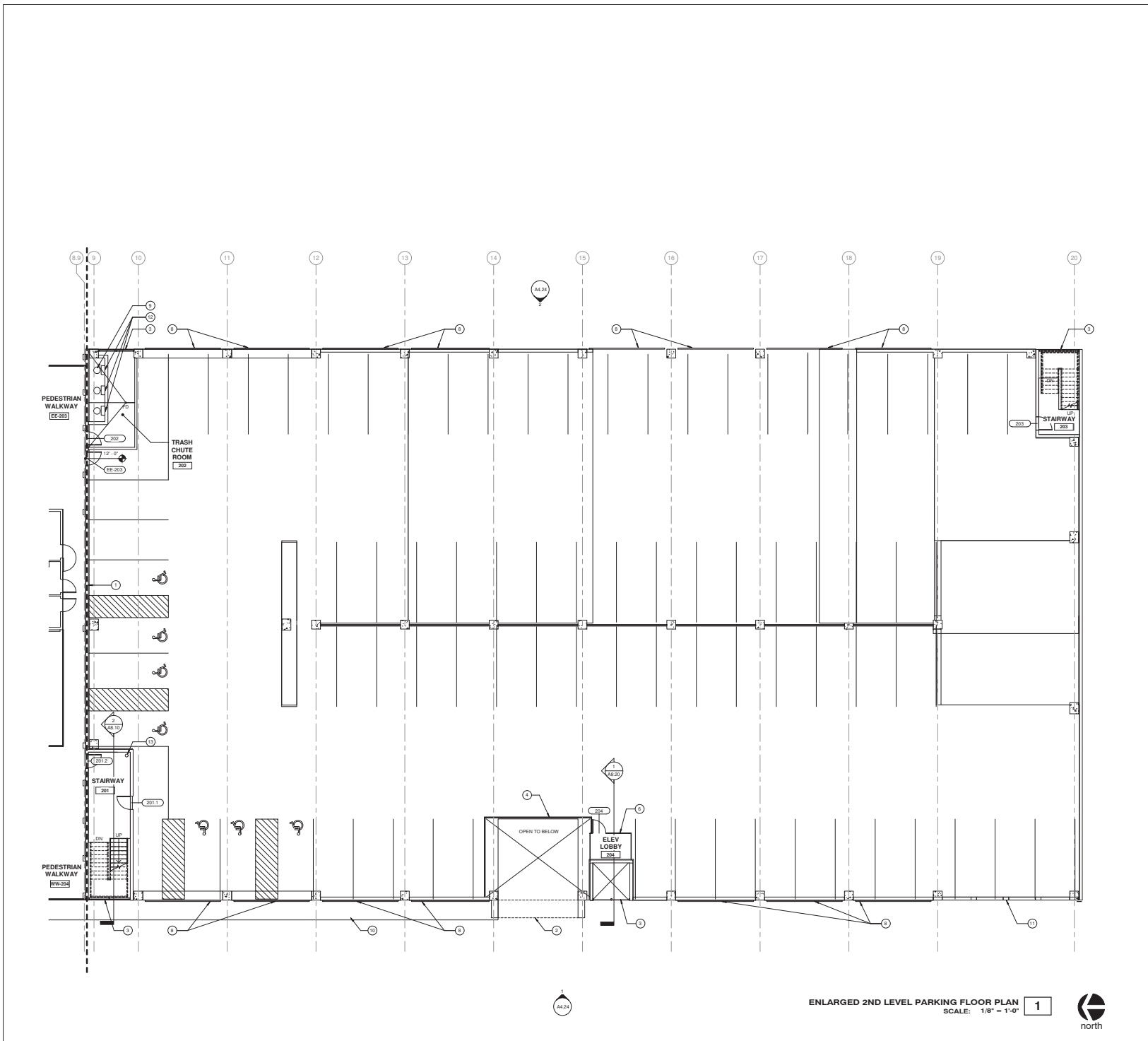
KEY PLAN

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JOB NUMBER:	0907-16



ENLARGED LEVEL 2  
RESIDENTIAL FLOOR PLAN

A2.14



GENERAL NOTES

- 1 RATED FIRE WALL (2 HR)
- 2 LINE OF CANOPY OVERHEAD
- 3 STONE FRONT
- 4 METAL GUARDRAIL
- 5 AREA DRAIN, RE: PLUMBING CIVIL
- 6 ELEVATOR LOBBY WITH GLASS SURROUND
- 7 LINE OF CANOPY BELOW
- 8 METAL SCREENS RE: ELEVATIONS
- 9 TRASH CHUTE SYSTEM WITH (3) CHUTES
- 10 TOTAL FOR TRASH, COMPOST, AND RECYCLING
- 11 LINE OF CANOPY BELOW
- 12 CONCRETE FACADE WITH OPENNESS
- 13 (5) TRASH CHUTE DOORS WITH 90MINUTE FIRE RATING
- 14 STAND PIPE (FIRE RISER)

SHEET NOTES

- 1 RATED FIRE WALL (2 HR)
- 2 LINE OF CANOPY OVERHEAD
- 3 STONE FRONT
- 4 METAL GUARDRAIL
- 5 AREA DRAIN, RE: PLUMBING CIVIL
- 6 ELEVATOR LOBBY WITH GLASS SURROUND
- 7 LINE OF CANOPY BELOW
- 8 METAL SCREENS RE: ELEVATIONS
- 9 TRASH CHUTE SYSTEM WITH (3) CHUTES
- 10 TOTAL FOR TRASH, COMPOST, AND RECYCLING
- 11 LINE OF CANOPY BELOW
- 12 CONCRETE FACADE WITH OPENNESS
- 13 (5) TRASH CHUTE DOORS WITH 90MINUTE FIRE RATING
- 14 STAND PIPE (FIRE RISER)

LEGEND



KEY PLAN

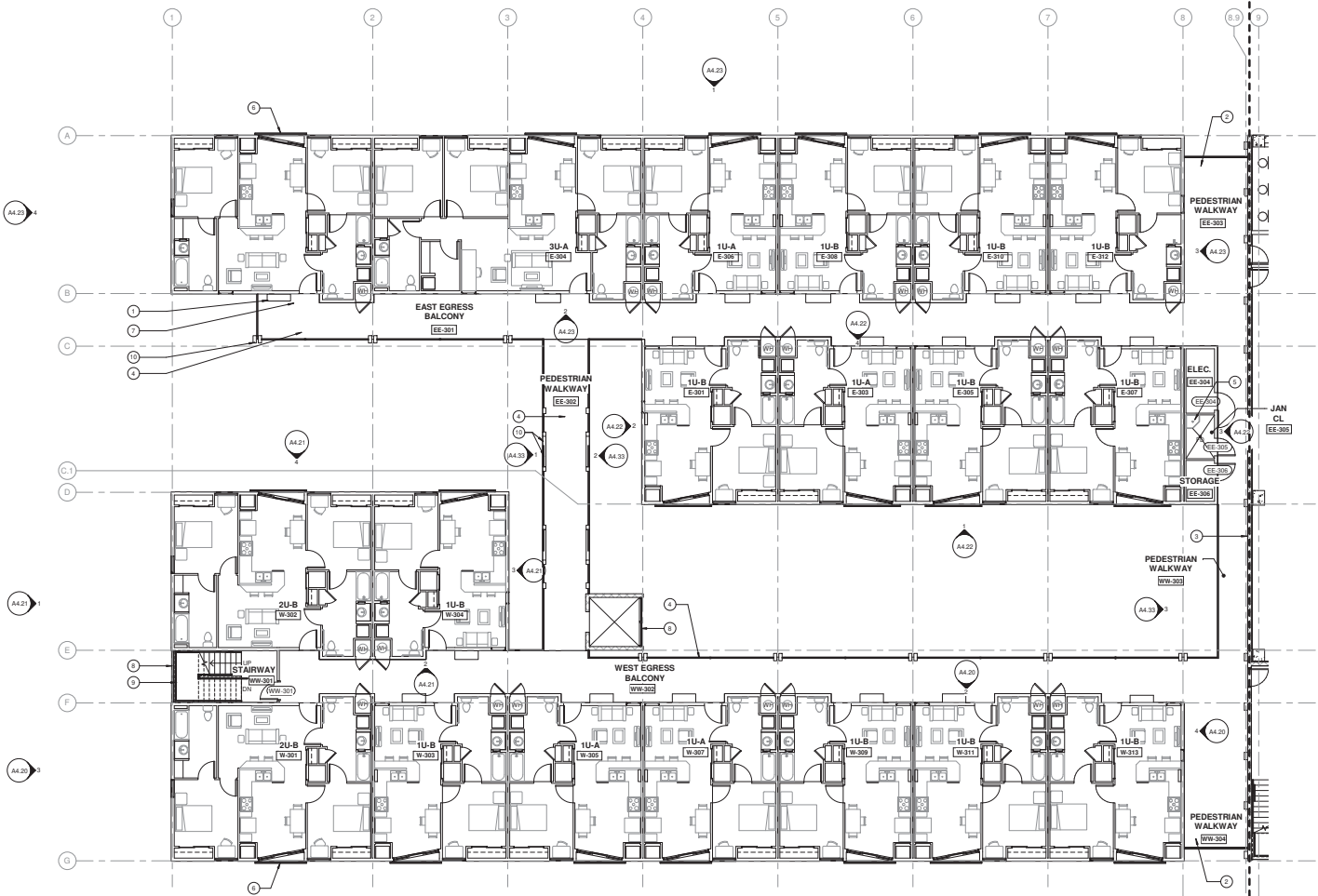


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COFFMAN STREET, LONGMONT, CO 80501

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ENLARGED LEVEL 2 PARKING FLOOR PLAN  
**A2.15**



ENLARGED 3RD LEVEL RESIDENTIAL FLOOR PLAN  
SCALE: 1/8" = 1'-0" **1**



GENERAL NOTES



SHEET NOTES

- 1 BENCH
- 2 OPEN WITH METAL GUARDRAIL
- 3 RATED FIRE WALL (2 HR)
- 4 OPEN WALKWAY WITH METAL GUARDRAIL TYP
- 5 MOP SINK
- 6 WALL MOUNTED JULIET BALCONY TYP
- 7 LINE OF CANDY OVERHEAD TYP
- 8 STOREFRONT
- 9 METAL GUARDRAIL
- 10 GLULAM MEMBERS, RE. STRUCT

**BCHA - COFFMAN STREET REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

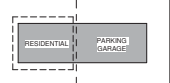
LEGEND



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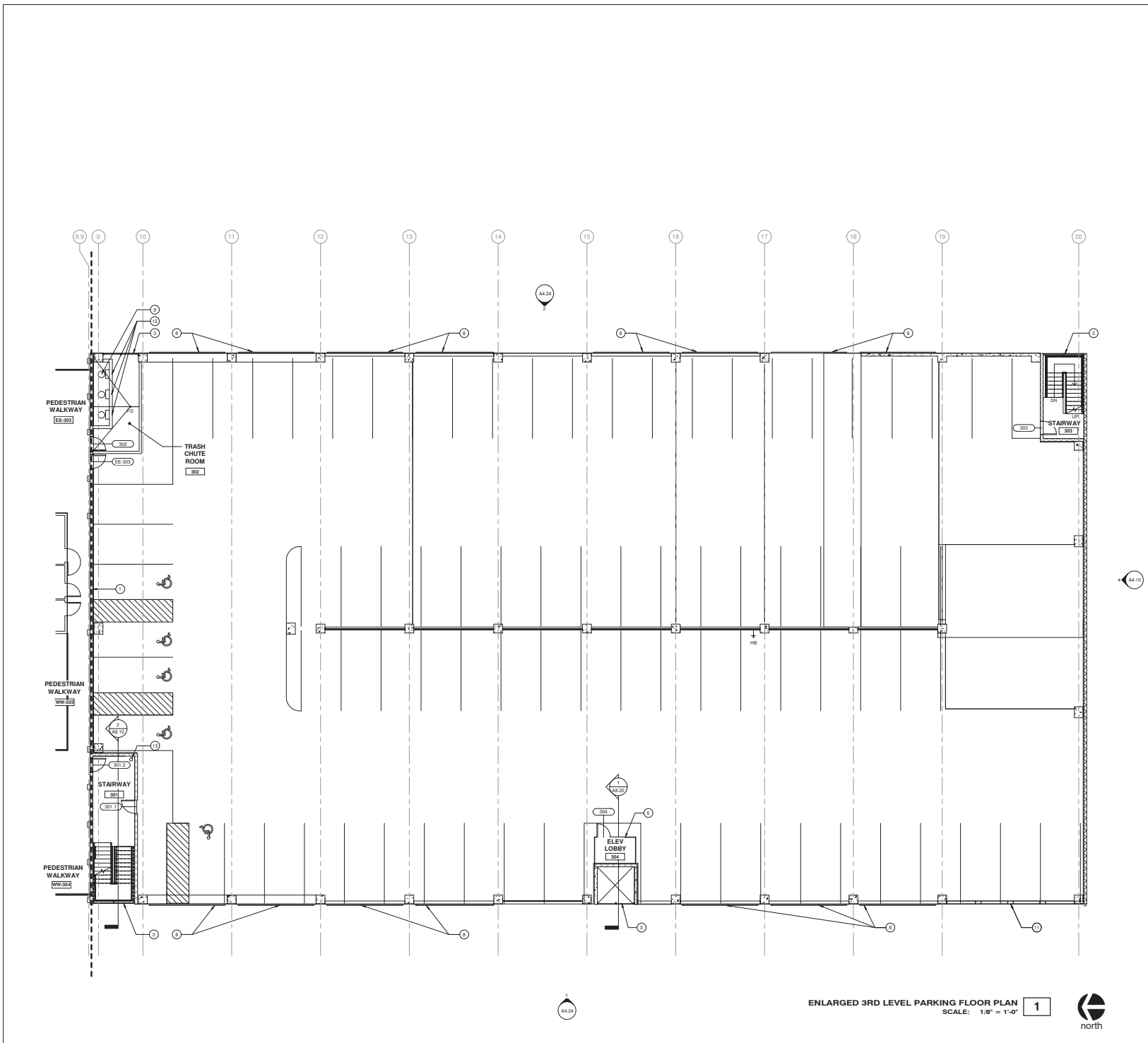
KEY PLAN

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ENLARGED LEVEL 3  
RESIDENTIAL FLOOR PLAN

**A2.16**



GENERAL NOTES

SHEET NOTES

- 1 RATED FIRE WALL (2 HR)
- 2 STOREFRONT
- 3 METAL GLAZED/FRONTAL AREA ORAM, RE: PLUMBING/CIVIL
- 4 ELEVATOR LOBBY WITH GLASS SURROUND
- 5 LINE OF CANOPY BELOW
- 6 METAL FRAME WITH PERFORATED METAL PANELS, REEL
- 7 TRASH CHUTE SYSTEM WITH (3) CHUTES TOTAL FOR TRASH, COMPOST AND RECYCLING
- 8 LINE OF CANOPY BELOW
- 9 CONCRETE FACADE WITH OPENNESS
- 10 TRASH CHUTE DOORS WITH 90MINUTE FIRE RATING
- 11 STAND PIPE (FIRE RISER)



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 COFFMAN STREET, LONGMONT, CO 80501

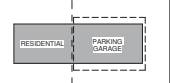
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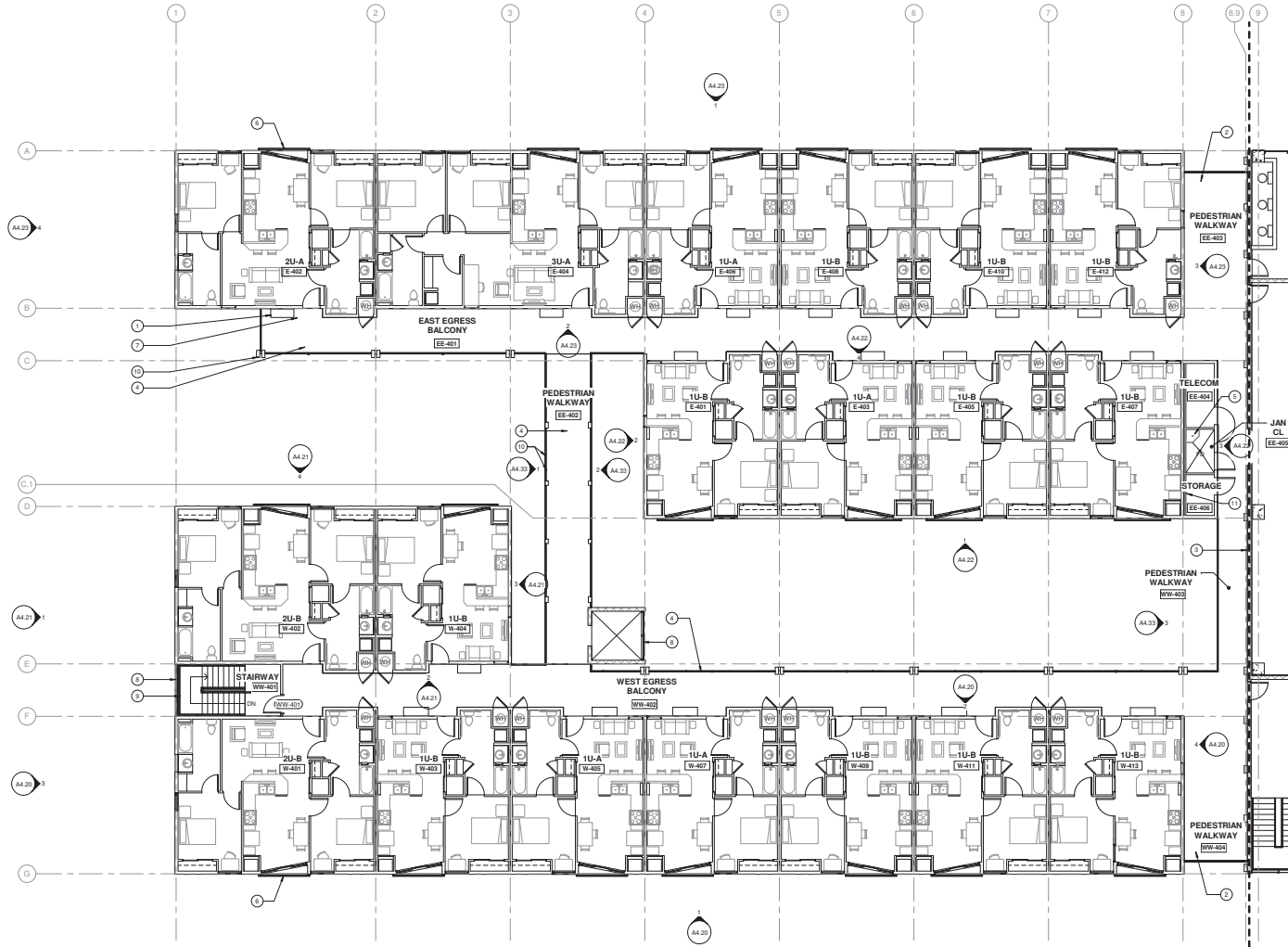


ENLARGED 3RD LEVEL PARKING FLOOR PLAN  
 SCALE: 1/8" = 1'-0" 1



ENLARGED LEVEL 3 PARKING FLOOR PLAN

**A2.17**



ENLARGED 4TH LEVEL RESIDENTIAL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



GENERAL NOTES



SHEET NOTES

- 1 BENCH
- 2 OPEN WITH METAL GUARDRAIL
- 3 RATED FIRE WALL 2 HR
- 4 OPEN WALKWAY WITH METAL GUARDRAIL TYP
- 5 MOP SINK
- 6 WALL MOUNTED JULET BALCONY TYP
- 7 LINE OF CANDY OVERHEAD TYP
- 8 STOREFRONT
- 9 METAL GUARDRAIL
- 10 GLULAM MEMBERS, RE STRUCT
- 11 ROOF ACCESS LADDER

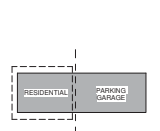
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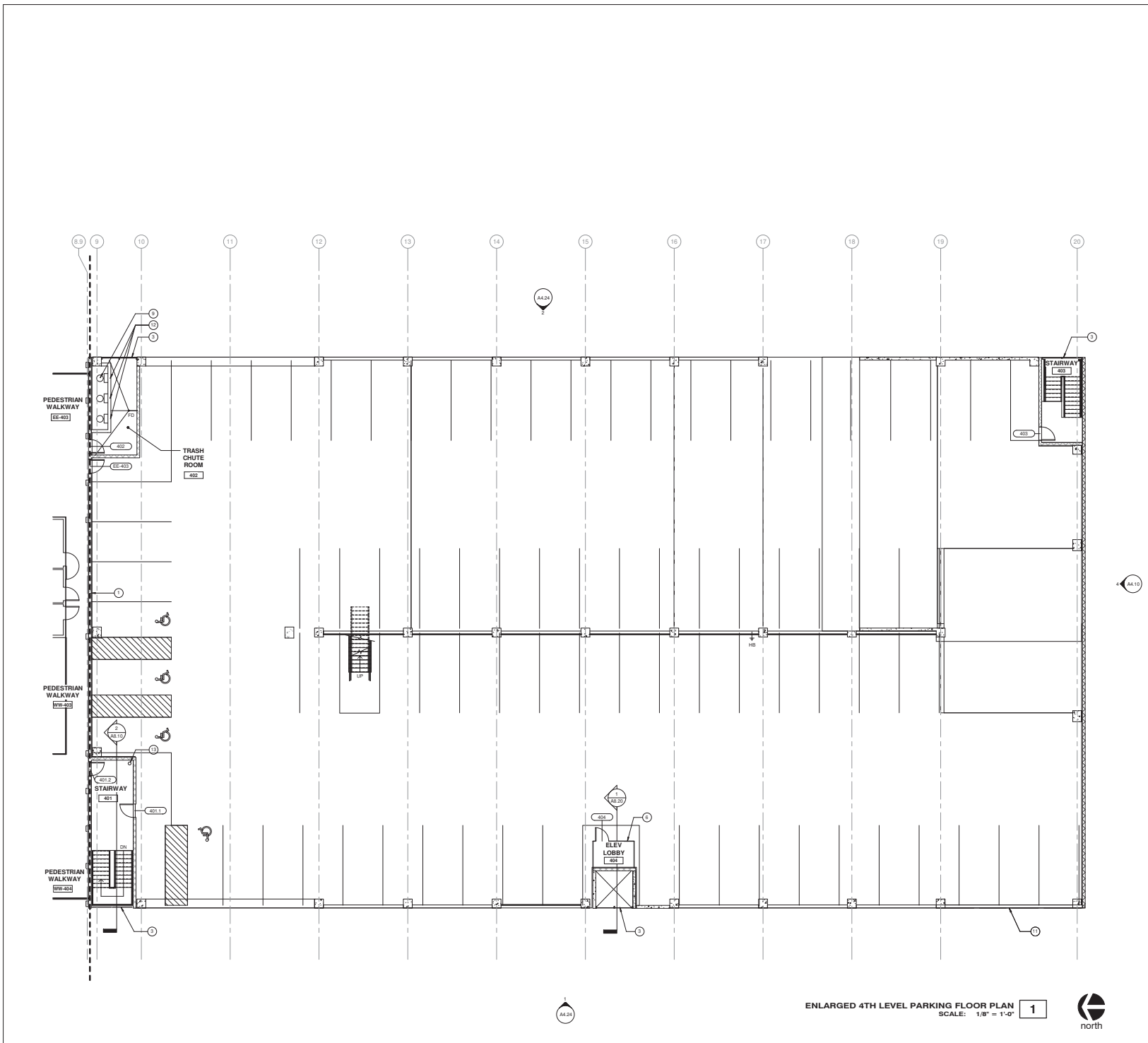
KEY PLAN



ENLARGED LEVEL 4 RESIDENTIAL FLOOR PLAN

**A2.18**





ENLARGED 4TH LEVEL PARKING FLOOR PLAN  
SCALE: 1/8" = 1'-0" 1



GENERAL NOTES

- SHEET NOTES
- 1 RATED FIRE WALL (2 HR)
  - 2 STOREFRONT
  - 3 METAL GLAZED AREA
  - 4 ELEVATOR LOBBY WITH GLASS SURROUND
  - 5 LINE OF CANOPY BELOW
  - 6 METAL FRAME WITH PERFORATED METAL PANEL W/ELL
  - 7 TRASH CHUTE SYSTEM WITH (3) CHUTES
  - 8 TOTAL FOR TRASH, COMPOST AND RECYCLING
  - 9 LINE OF CANOPY BELOW
  - 10 CONCRETE FACADE WITH OPENNESS
  - 11 CONCRETE CHUTE DOORS WITH 90 MINUTE FIRE RATING
  - 12 STAND PIPE (FIRE RISER)



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COFFMAN STREET, LONGMONT, CO 80501

LEGEND



KEY PLAN

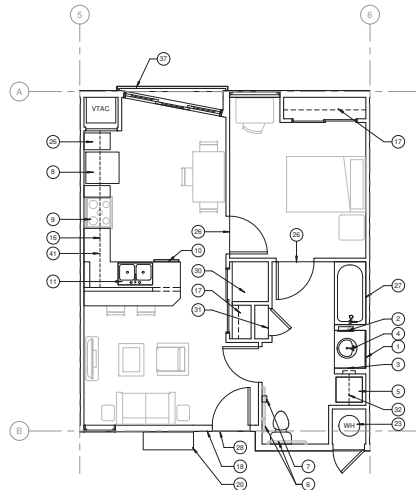


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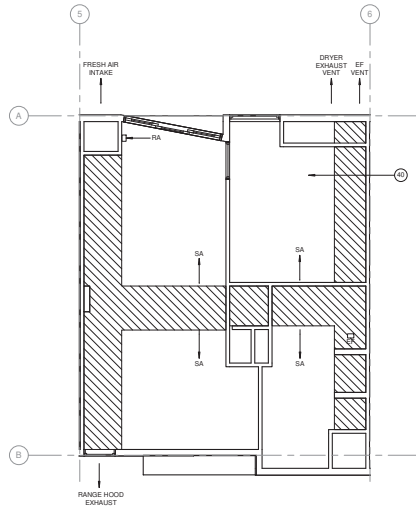
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ENLARGED LEVEL 4 PARKING FLOOR PLAN

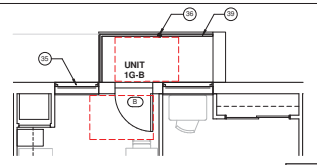
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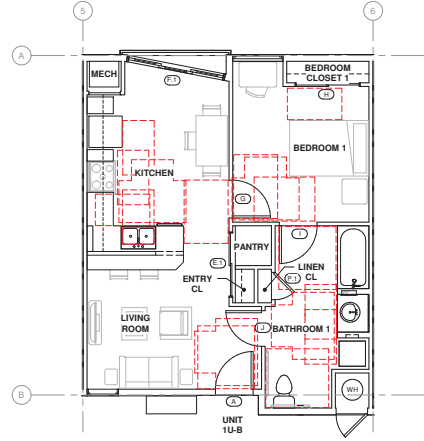
1-BED UNIT - ICC/ANSI TYPE A - FINISH PLAN  
SCALE: 1/4" = 1'-0" 3



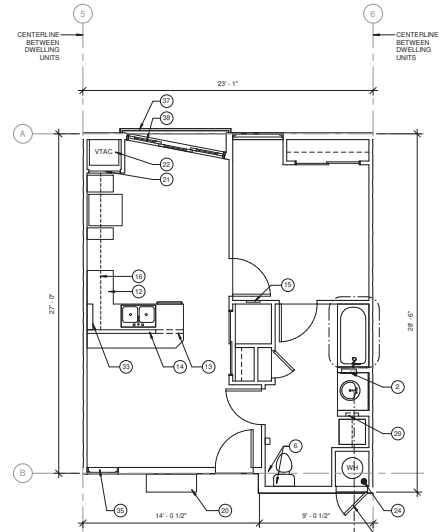
1-BED UNIT - ICC/ANSI TYPE A - RCP  
SCALE: 1/4" = 1'-0" 2



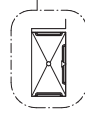
1-BED UNIT - GROUND LEVEL VARIATION  
SCALE: 1/4" = 1'-0" 5



1-BED UNIT - TYPICAL DOOR LAYOUT  
SCALE: 1/4" = 1'-0" 4



1-BED UNIT - ICC/ANSI TYPE A - FRAMING PLAN  
SCALE: 1/4" = 1'-0" 1



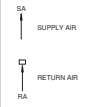
ROLL-IN SHOWER @ UFAS DWELLING UNITS  
SCALE: 1/4" = 1'-0" 6

GENERAL NOTES

SHEET NOTES

- 1 MIRROR
- 2 SEMI-RECESSED MEDICINE CABINET
- 3 TOWEL RING / BAR
- 4 COUNTERTOP WITH INTEGRAL SINK AND VANITY.
- 5 TYPE A UNITS OPEN BELOW WITH REMOVABLE PLUMBING SHIRT CABINET
- 6 ADA WASHER / DRYER COMBO
- 7 TOILET GRAB BARS
- 8 TOILET PAPER DISPENSER
- 9 REFRIGERATOR
- 10 RANGE AND RANGE HOOD
- 11 DISHWASHER
- 12 DOUBLE BURNER SINK (GARBAGE DISPOSAL WITH FORWARD APPROACH)
- 13 WORK COUNTERTOP OPEN BELOW.
- 14 MIN 3/4" WIDE
- 15 WORK COUNTERTOP OPEN BELOW.
- 16 DIVIDER ABOVE COUNTER, RE-KITCHEN ELEVATIONS
- 17 ELECTRICAL PANEL, RECESSED
- 18 LINE OF CABINETS ABOVE
- 19 FIXED SHELF AND ROD
- 20 MAIN ENTRY OSBANK & LIGHT FIXTURE
- 21 WATER HEATER ACCESS DOOR
- 22 BENCH W/ WOODEN SLATS
- 23 MECHANICAL UNIT ACCESS DOOR
- 24 VTAZ UNIT, RE: MEP
- 25 WATER HEATER, RE: MEP
- 26 FLOOR DRAIN
- 27 N/A
- 28 TRANSITION STRIP
- 29 FULL HT CERAMIC WALL TILE SURROUND
- 30 ALUMINUM DOOR THRESHOLD
- 31 WASHER / DRYER HOODING
- 32 (S) ADJUSTABLE SHELVES
- 33 (S) FIXED SHELVES
- 34 FIXED SHELF
- 35 2x6 PLUMBING WALL
- 36 SHOWER GRAB BARS
- 37 FIXED WINDOW
- 38 DECORATIVE 4" ROUND STEEL POST
- 39 JULIET BALCONY AT TYP UPPER LEVEL UNITS
- 40 SLIDING GLASS DOOR AT TYP UPPER LEVEL
- 41 UNITS FIXED PANEL WITHIN 4 FT OF VTAZ VENT
- 42 PRE-MANUFACTURED / PRE-FINISHED METAL FENCE WITH POSTS @ 4" O.C.
- 43 CEILING MATERIAL OVP AND SCHEDULED
- 44 PAINT, RE: FINISH SCHEDULE
- 45 CASEWORK W/ MAPLE HARDWOOD FRONTS

LEGEND



- LVT-# LUXURY VINYL TILE
- PL-# PLASTIC LAMINATE
- CPT-# CARPET
- SC-# SEALED CONCRETE
- SSC-# SOLID SURFACE COUNTERTOP
- CT-# CERAMIC TILE
- PT-# PAINT



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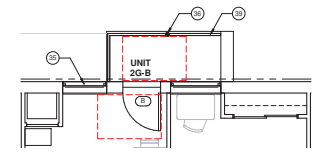
1-BED DWELLING UNIT FLOOR PLANS - ICC/ANSI TYPES A & B

A2.20

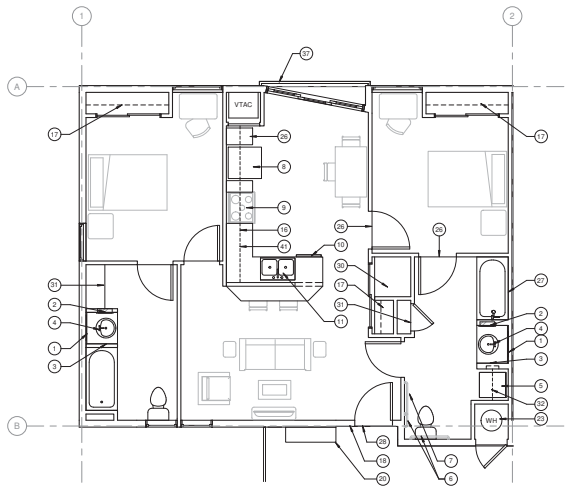
**GENERAL NOTES**

**SHEET NOTES**

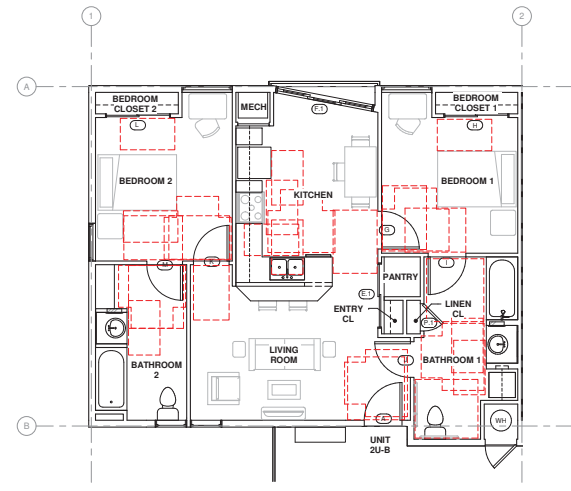
- 1 MIRROR
- 2 SEMI-RECESSED MEDICINE CABINET
- 3 TOWEL RING / BAR
- 4 COUNTERTOP WITH INTEGRAL SINK AND VANITY
- 5 TYPE A UNITS OPEN BELOW WITH REMOVABLE PLUMBING SHIRT CABINET
- 6 ADA WASHER / DRYER COMBO
- 7 TOILET BRUSH BARS
- 8 TOILET PAPER DISPENSER
- 9 REFRIGERATOR
- 10 RANGE AND RANGE HOOD
- 11 DISHWASHER
- 12 DOUBLE BURNER SINK / GARBAGE DISPOSAL WITH FORWARD APPROACH
- 13 WORK COUNTERTOP OPEN BELOW, MIN 30" WIDE
- 14 MINOR BELOW COUNTER, RE: KITCHEN ELEVATIONS
- 15 ELECTRICAL PANEL, RECESSED
- 16 LINE OF CABINETS ABOVE
- 17 FIXED SHELF AND ROD
- 18 MAIN ENTRY / STORAGE & LIGHT FIXTURE
- 19 WATER HEATER ACCESS DOOR
- 20 BENCH W/ WOODEN SLATS
- 21 MECHANICAL UNIT ACCESS DOOR
- 22 VTAC UNIT, RE: MEP
- 23 WATER HEATER, RE: MEP
- 24 FLOOR DRAIN
- 25 N/A
- 26 TRANSITION STRIP
- 27 FULL HT CERAMIC WALL TILE SURROUND
- 28 ALUMINUM DOOR THRESHOLD
- 29 WASHER / DRYER HOODS
- 30 (S) ADJUSTABLE SHELVES
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- 32 FIXED SHELF
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- 41 CEILING MATERIAL OVP AND SCHEDULED
- 42 PAINT, RE: FINISH SCHEDULE
- 43 CASEWORK W/ MAPLE HARDWOOD FRONTS



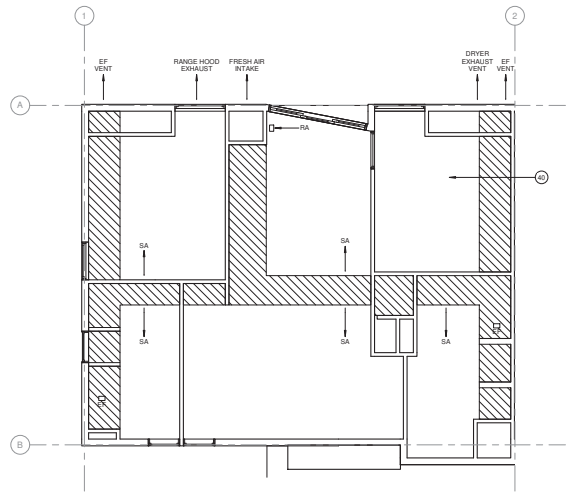
**2-BED UNIT - GROUND LEVEL VARIATION**  
SCALE: 1/4" = 1'-0" **5**



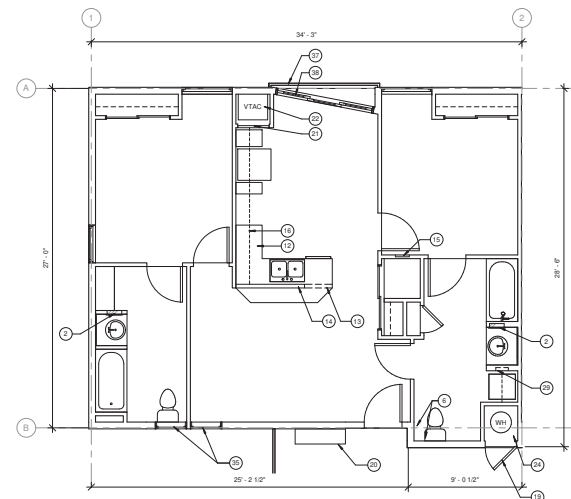
**2-BED DWELLING UNIT - FINISH PLAN**  
SCALE: 1/4" = 1'-0" **3**



**2-BED DWELLING UNIT - TYP DOOR TYPE LAYOUT**  
SCALE: 1/4" = 1'-0" **4**

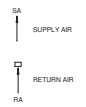


**2-BED DWELLING UNIT - REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0" **2**



**2-BED DWELLING UNIT - FRAMING PLAN**  
SCALE: 1/4" = 1'-0" **1**

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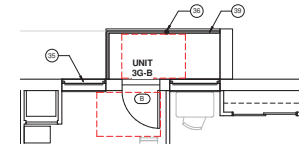
**2-BED DWELLING UNIT  
FLOOR PLANS - ICC/ANSI  
TYPES A & B**

**A2.21**

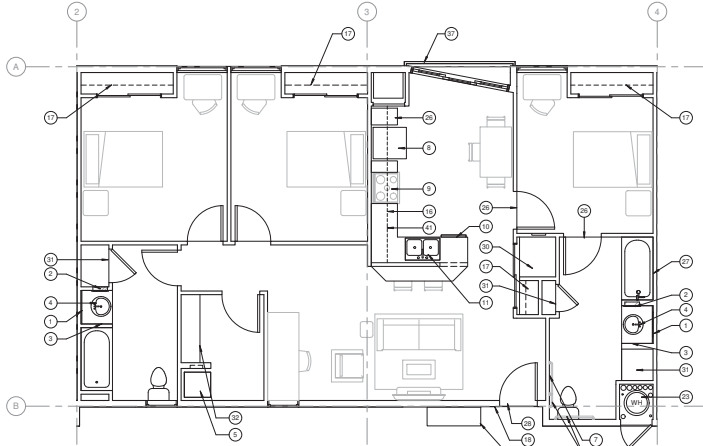
GENERAL NOTES

SHEET NOTES

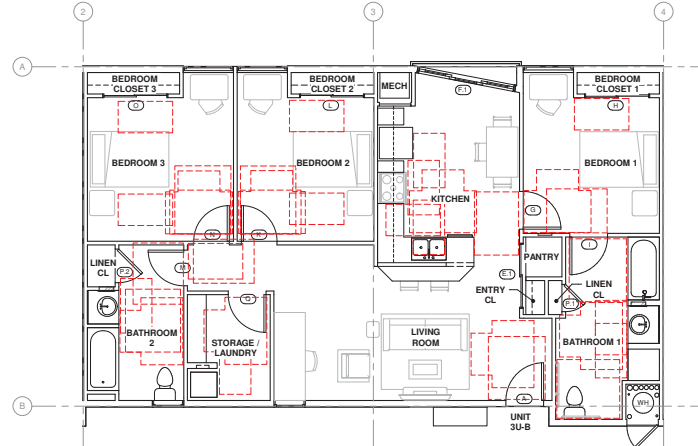
- 1 MIRROR
- 2 SEMI-RECESSED MEDICINE CABINET
- 3 TOWEL RING / BAR
- 4 COUNTERTOP WITH INTEGRAL SINK AND VANITY. TYPE A UNITS OPEN BELOW WITH REMOVABLE PLUMBING SHIRT CABINET
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- 6 TOILET PAPER DISPENSER
- 7 REFRIGERATOR
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- 13 ELECTRICAL PANEL, RECESSED
- 14 LINE OF CABINETS ABOVE
- 15 FIXED SHELF AND ROD
- 16 MAIN ENTRY ESSENCE & LIGHT FIXTURE
- 17 WATER HEATER ACCESS DOOR
- 18 BENCH W/ WOODEN SLATS
- 19 MECHANICAL UNIT ACCESS DOOR
- 20 VTAQ UNIT, RE: MEP
- 21 WATER HEATER, RE: MEP
- 22 FLOOR DRAIN
- 23 N/A
- 24 TRANSITION STRIP
- 25 FULL HT CERAMIC WALL TILE SURROUND
- 26 ALUMINUM DOOR THRESHOLD
- 27 WASHER / DRYER HOODS
- 28 (S) ADJUSTABLE SHELVES
- 29 (S) FIXED SHELVES
- 30 FIXED SHELF
- 31 2X PLUMBING WALL
- 32 SHOWER GRAB BARS
- 33 FIXED WINDOW
- 34 DECORATIVE 4" ROUND STEEL POST
- 35 JULIET BALCONY AT TYP UPPER LEVEL
- 36 SLIDING GLASS DOOR AT TYP UPPER LEVEL
- 37 UNITS: PANELED WITHIN 4 FT OF VTAQ VENT
- 38 PRE-MANUFACTURED / PRE-FINISHED METAL FENCE WITH POSTS @ 4" O.C.
- 39 CEILING MATERIAL OVP AND SCHEDULED
- 40 PAINT, RE: FINISH SCHEDULE
- 41 CASEWORK W/ MAPLE HARDWOOD FRONTS



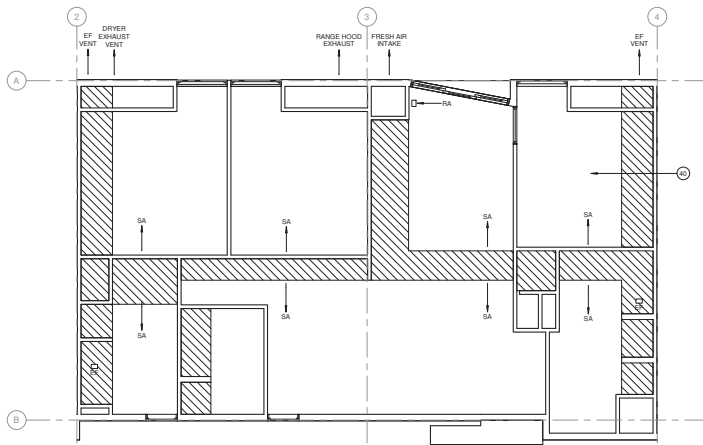
3-BED UNIT - GROUND LEVEL VARIATION  
SCALE: 1/4" = 1'-0" 5



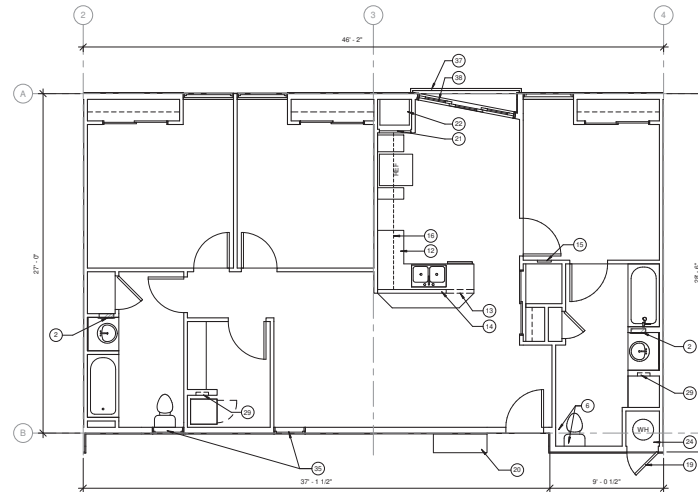
3-BED UNIT - ICC/ANSI TYPE A - FINISH PLAN  
SCALE: 1/4" = 1'-0" 3



3-BED DWELLING UNIT - NEW TYP DOOR LAYOUT  
SCALE: 1/4" = 1'-0" 4



3-BED UNIT - ICC/ANSI TYPE A - RCP  
SCALE: 1/4" = 1'-0" 2



3-BED UNIT - ICC/ANSI TYPE A - FRAMING PLAN  
SCALE: 1/4" = 1'-0" 1

LEGEND



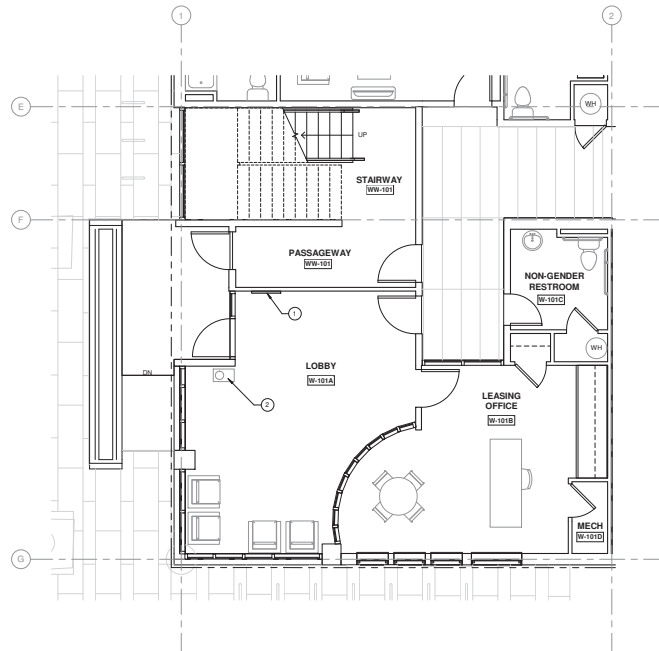
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SCALE:	1/4" = 1'-0"
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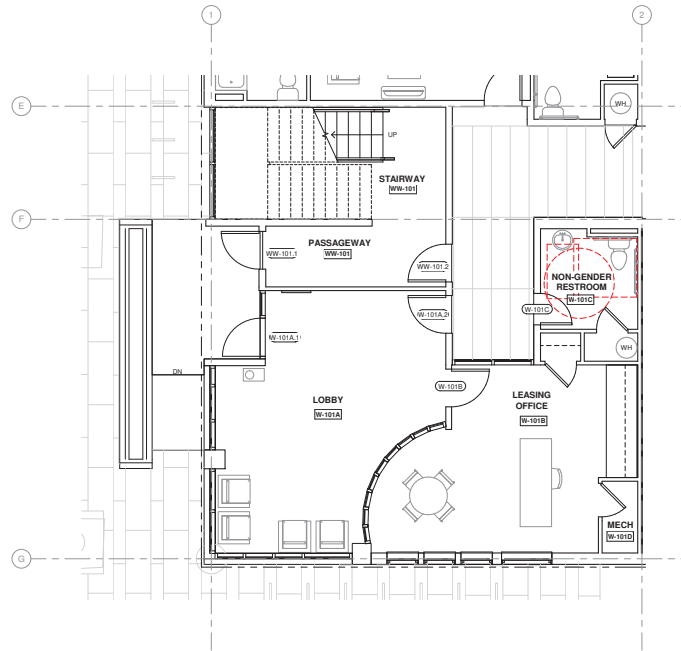
3-BED DWELLING UNIT  
FLOOR PLANS - ICC/ANSI  
TYPES A & B

A2.22

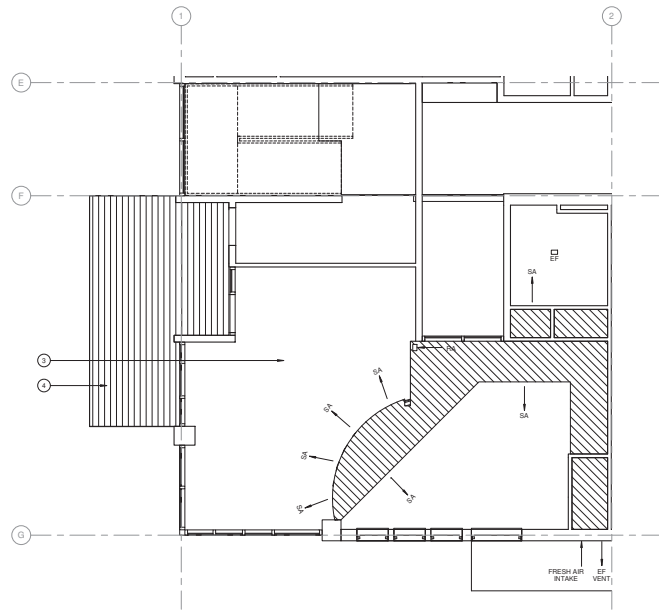
BCHA - COFFMAN STREET  
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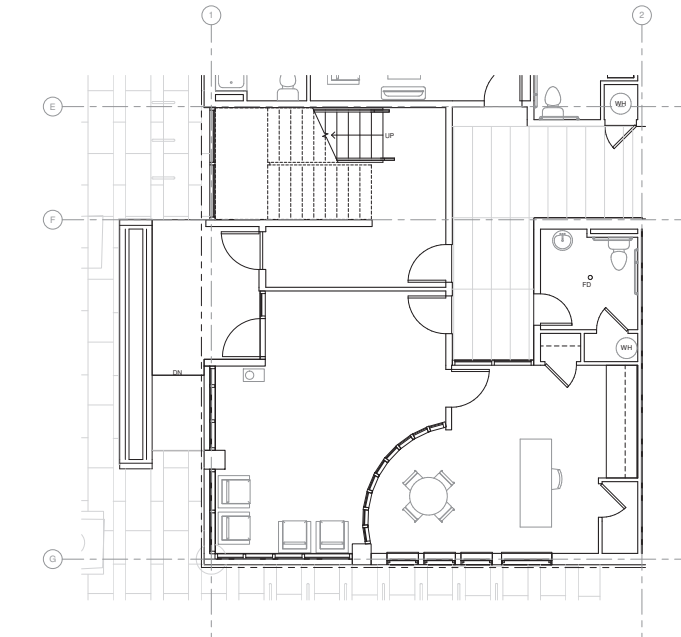
LOBBY / LEASING OFFICE PLAN - FINISH PLAN 3  
SCALE: 1/4" = 1'-0"



LOBBY / LEASING OFFICE PLAN - DOOR LAYOUT 4  
SCALE: 1/4" = 1'-0"



LOBBY / LEASING OFFICE - RCPC 2  
SCALE: 1/4" = 1'-0"



LOBBY / LEASING OFFICE PLAN - FRAMING PLAN 1  
SCALE: 1/4" = 1'-0"

GENERAL NOTES



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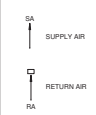
SHEET NOTES

- 1 ANNUNCIATOR PANEL, RE: ELECTRICAL
- 2 DRINKING FOUNTAIN, WATER BOTTLE FILLER
- 3 CEILING MATERIAL GYP BOARD AND SCHEDULED PAINT, RE: FINISH SCHEDULE
- 4 SOFFIT MATERIAL WOOD SIDING

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LEGEND

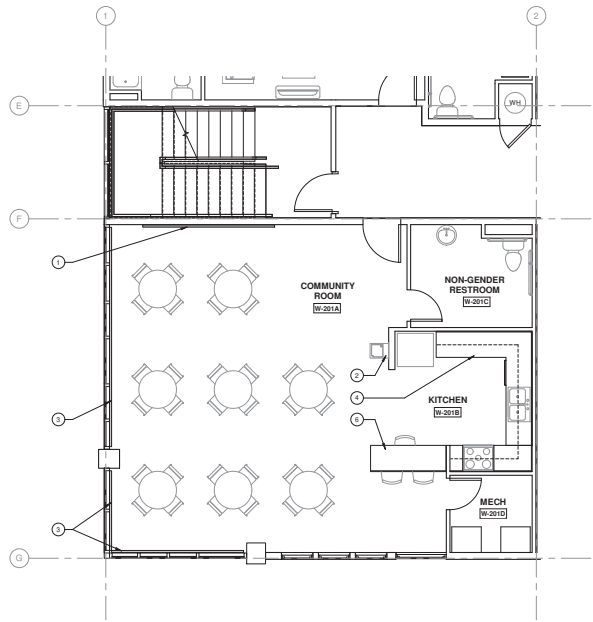


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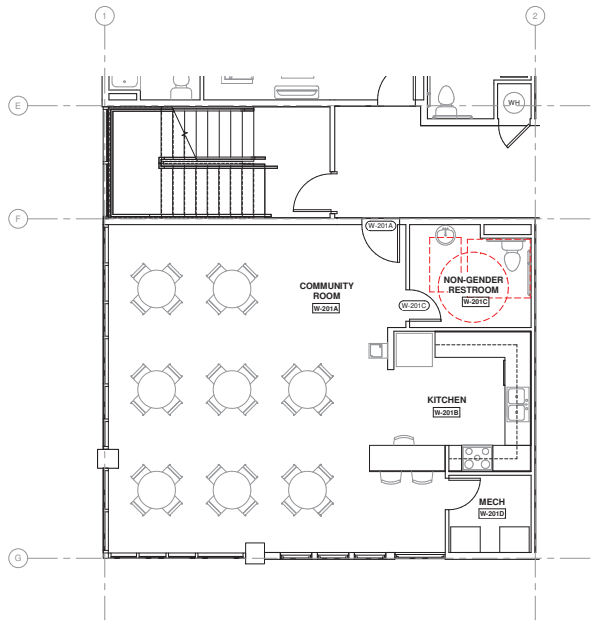
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ENLARGED LOBBY / LEASING OFFICE PLAN

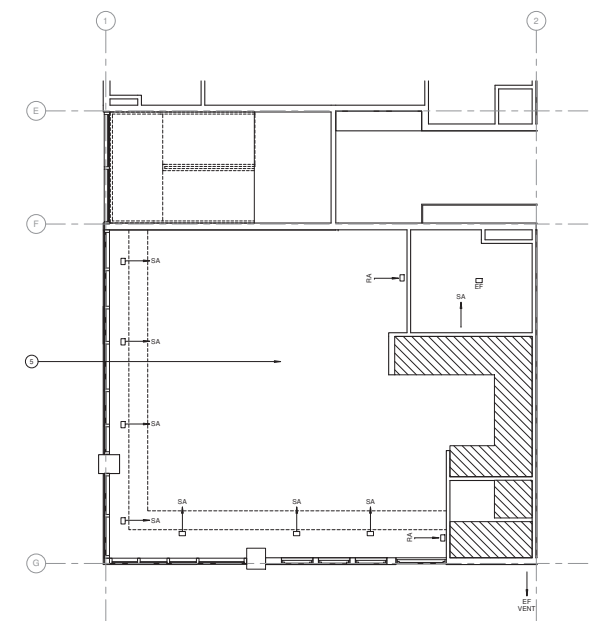
A2.23



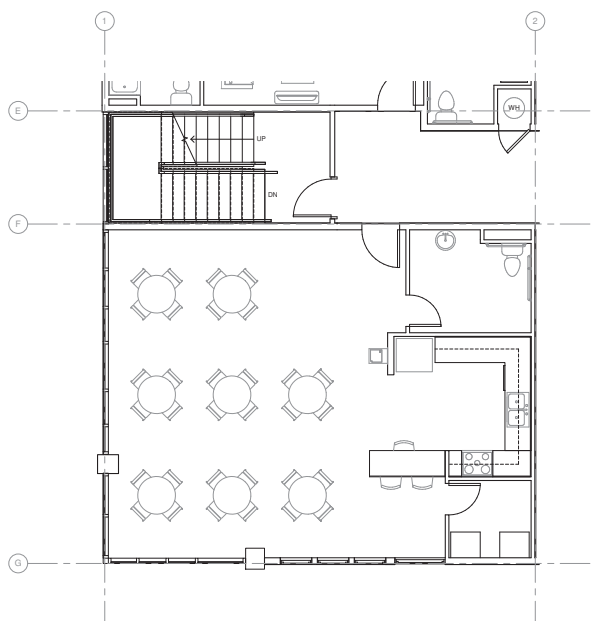
**COMMUNITY ROOM PLAN - FINISH PLAN**  
SCALE: 1/4" = 1'-0" **3**



**COMMUNITY ROOM PLAN - DOOR LAYOUT**  
SCALE: 1/4" = 1'-0" **4**



**COMMUNITY ROOM PLAN - RCP**  
SCALE: 1/4" = 1'-0" **2**



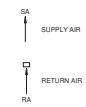
**COMMUNITY ROOM PLAN - FRAMING PLAN**  
SCALE: 1/4" = 1'-0" **1**

**GENERAL NOTES**

**SHEET NOTES**

- 1 WALL MOUNTED TV (OFC)
- 2 DRINKING FOUNTAIN WATER BOTTLE FILLER
- 3 MANUALLY OPERATED BLACKOUT SHADES
- 4 MICROWAVE IN BASE CABINET, RE. RTT
- 5 ELEVATIONS
- 6 CEILING MATERIAL GYP BOARD AND SCHEDULED
- 7 PAINT, RE. FINISH SCHEDULE
- 8 MOBILE WORK COUNTER

**LEGEND**

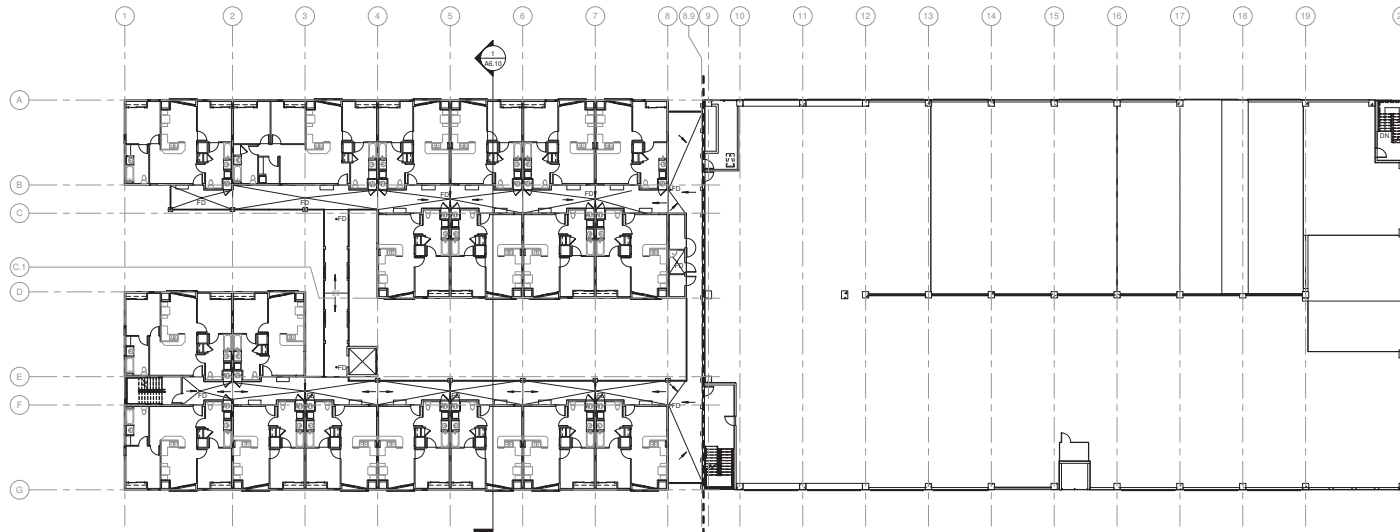


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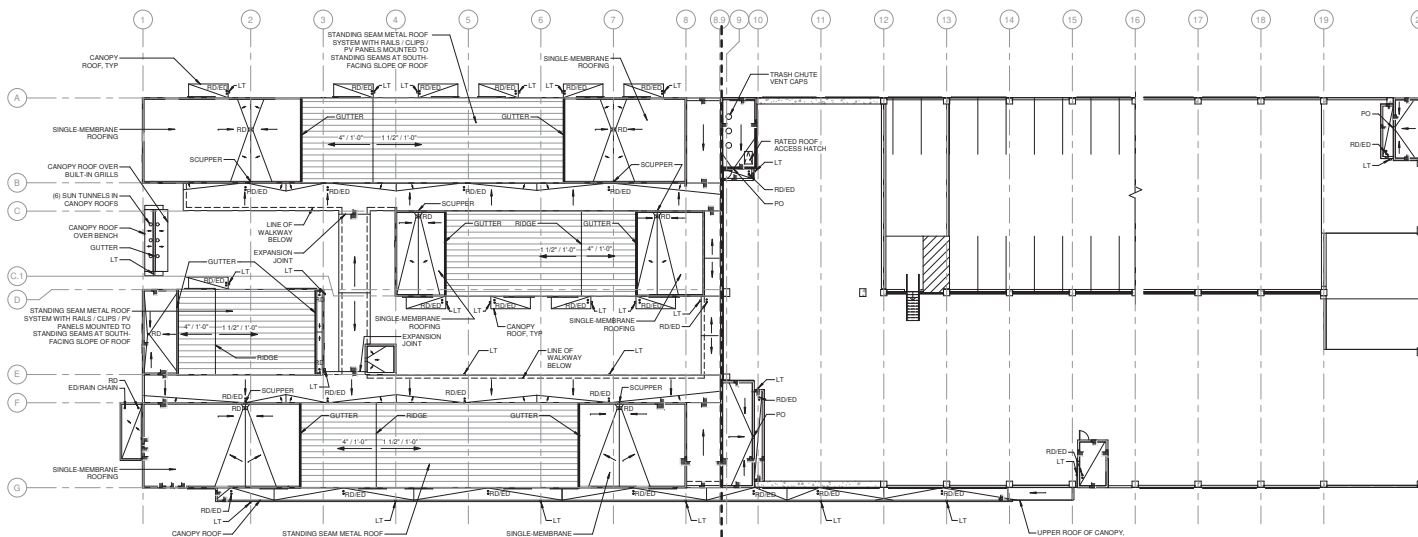
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ENLARGED COMMUNITY ROOM PLAN

**A2.24**



4TH LEVEL DRAINAGE PLAN 2  
SCALE: 1/16" = 1'-0"



BUILDING ROOF PLAN 1  
SCALE: 1/16" = 1'-0"



GENERAL NOTES

SHEET NOTES

LEGEND

- RD / ED = ROOF DRAIN / EMERGENCY DRAIN
- PV = PHOTOVOLTAC PANELS
- PO = PARAPET OPENING
- LT = LAMB'S TONGUE
- FD = FLOOR DRAIN

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SCALE: 1/16" = 1'-0"  
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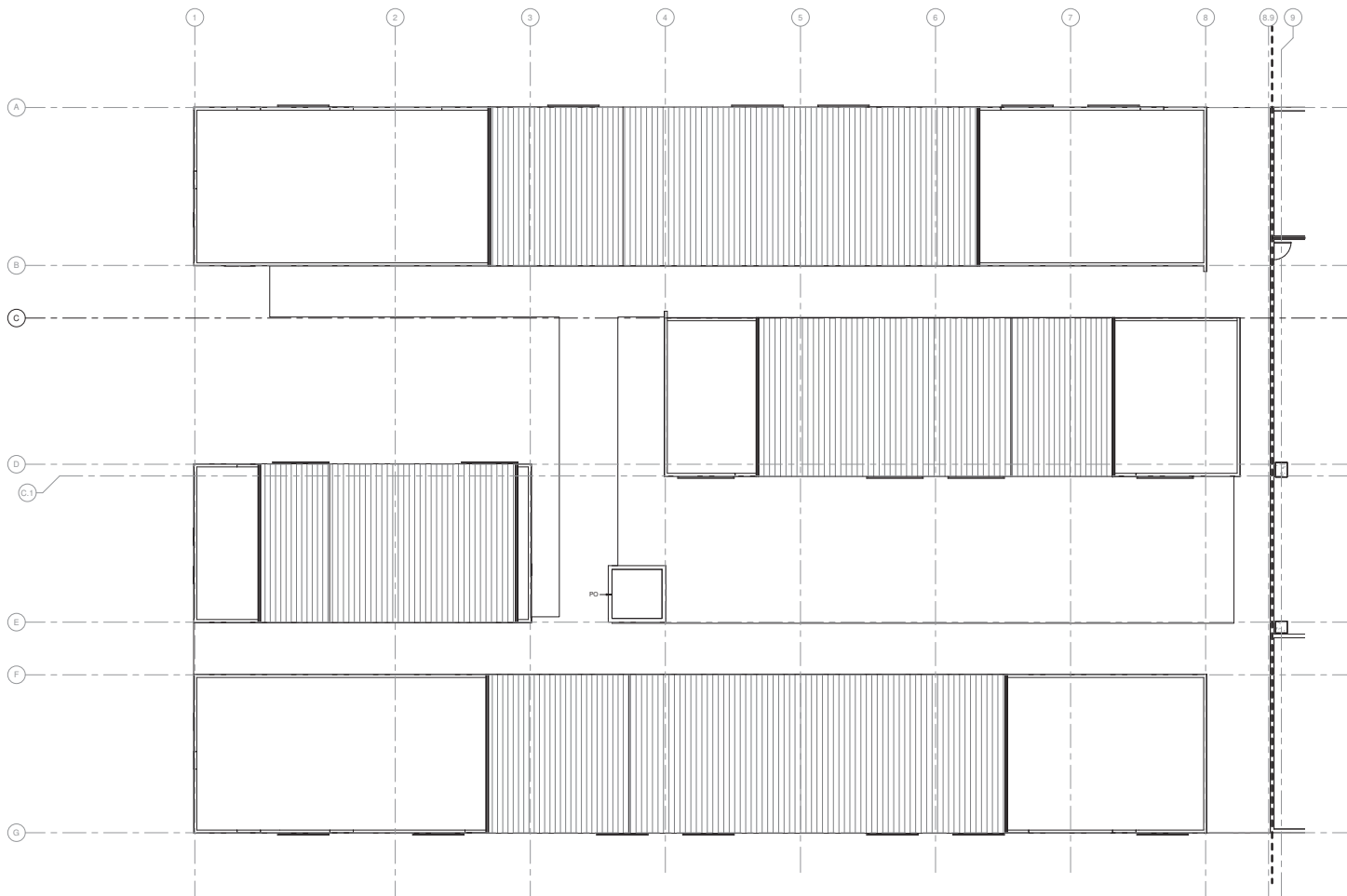
BUILDING ROOF PLAN

A2.30



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ROOF PLAN - RESIDENTIAL  
SCALE: 1/8" = 1'-0"

1



GENERAL NOTES



SHEET NOTES

- 1. ELEVATOR CAP / PENTHOUSE
- 2. LINE OF EGRESS BALCONY BELOW
- 3. EDGE OF FLAT ROOF

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LEGEND

- RD = ROOF DRAIN
- OF = OVERFLOW DRAIN
- PV = PHOTOVOLTAIC PANELS
- PO = PARAPET OPENING

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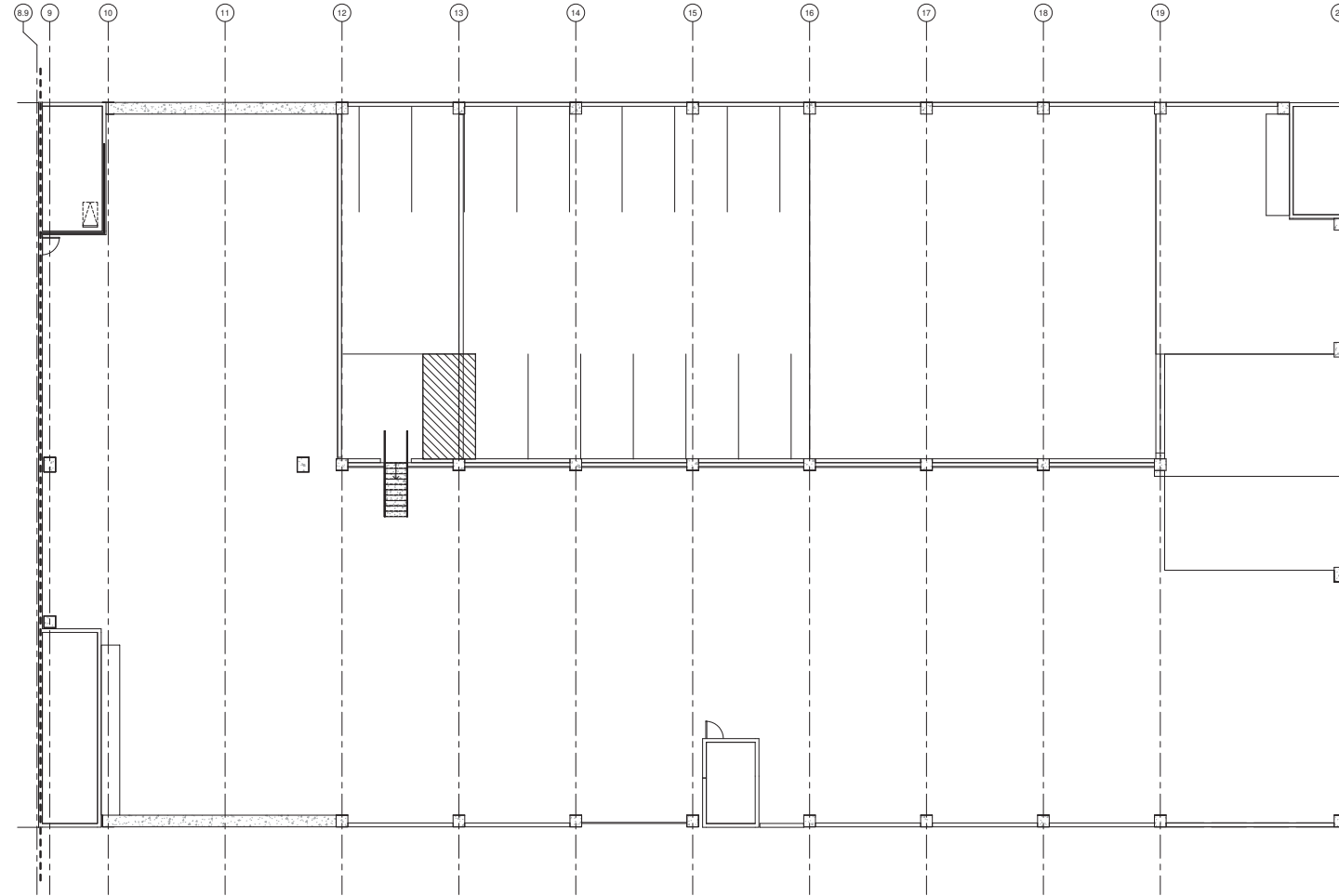
KEY PLAN

SCALE:	1/8" = 1'-0"
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ROOF PLAN - RESIDENTIAL

**A2.31**





ROOF PLAN - PARKING GARAGE 1  
SCALE: 1/8" = 1'-0"



GENERAL NOTES



SHEET NOTES

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LEGEND

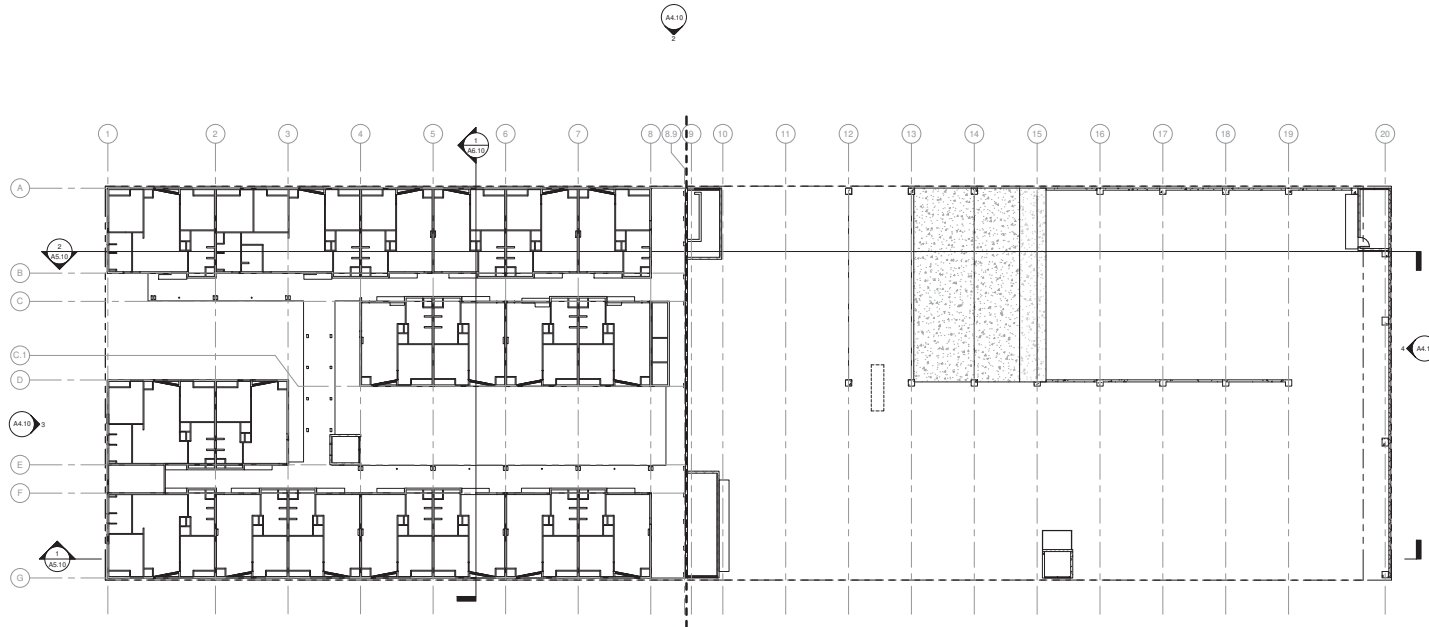
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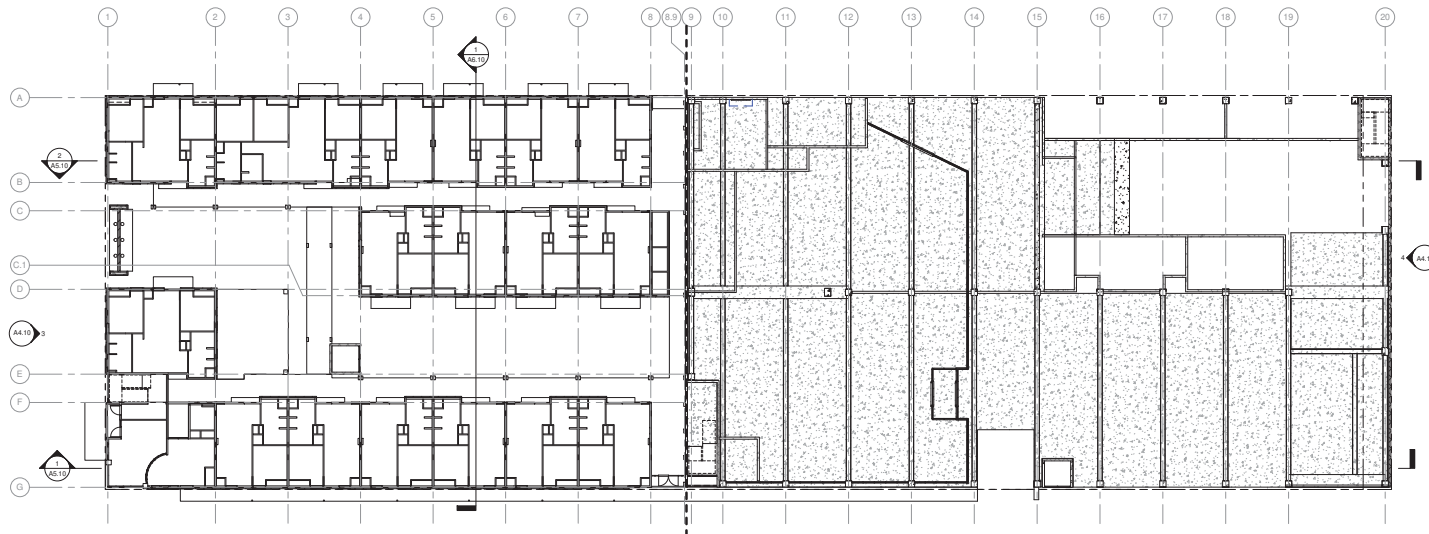
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ROOF PLAN - PARKING GARAGE

**A2.32**



LEVEL 4 BUILDING REFLECTED CEILING PLAN 2  
SCALE: 1/16" = 1'-0"



LEVEL 1 BUILDING REFLECTED CEILING PLAN 1  
SCALE: 1/16" = 1'-0"



GENERAL NOTES



SHEET NOTES

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LEGEND

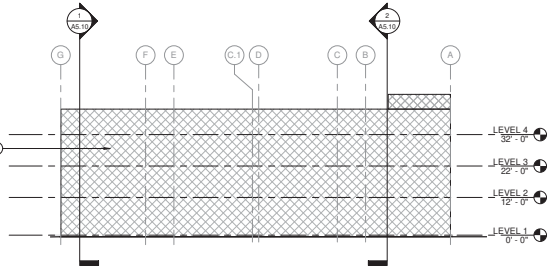
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KEY PLAN

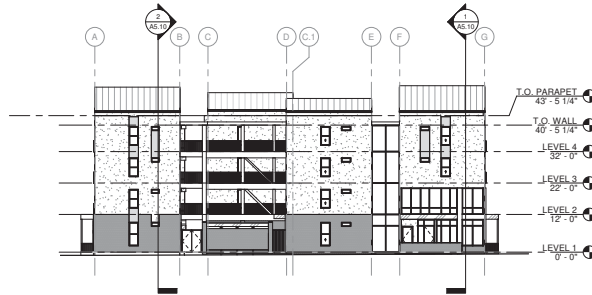
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BUILDING REFLECTED  
CEILING PLANS

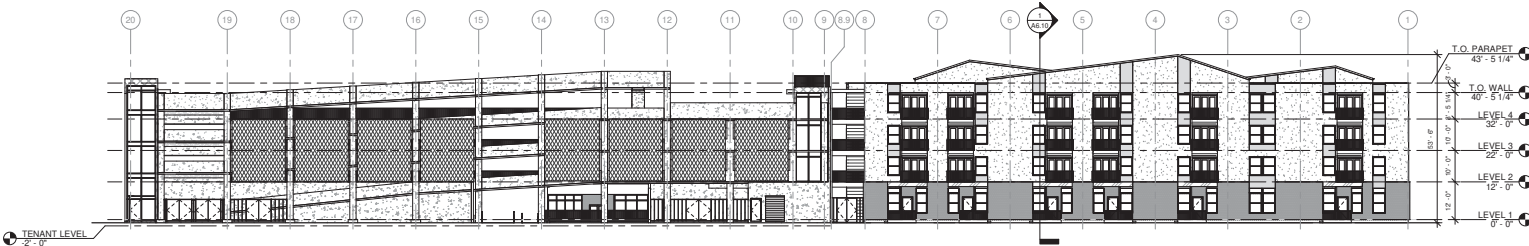
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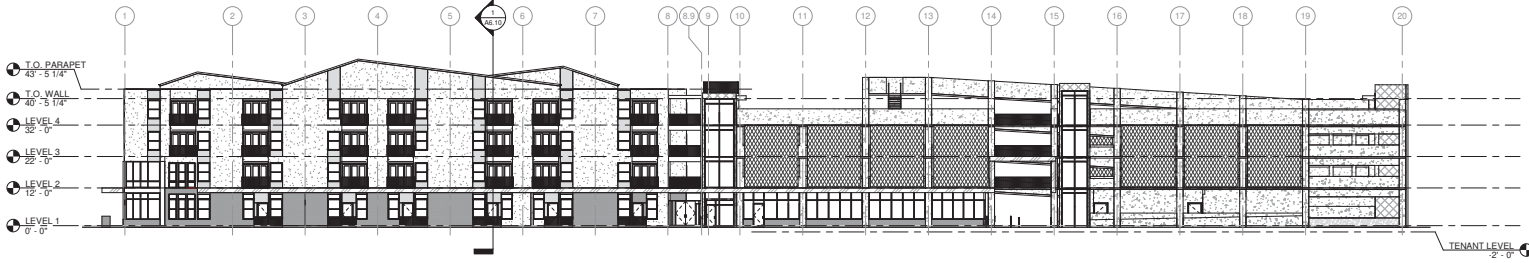
**SOUTH BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0" **4**



**NORTH BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0" **3**



**EAST BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0" **2**



**WEST BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0" **1**

GENERAL NOTES

SHEET NOTES

1 CMU WALL WITH OFFSET DESIGN

LEGEND

- CONCRETE
- HORIZONTAL WOOD SIDING
- FIBER CEMENT BOARD PANEL
- BRICK
- STUCCO
- METAL FRAME WITH EXPANDED METAL PANEL
- GROUND FACE CONCRETE MASONRY UNITS
- COMPOSITE METAL WALL PANEL

KEY PLAN



**BCHA - COFFMAN STREET  
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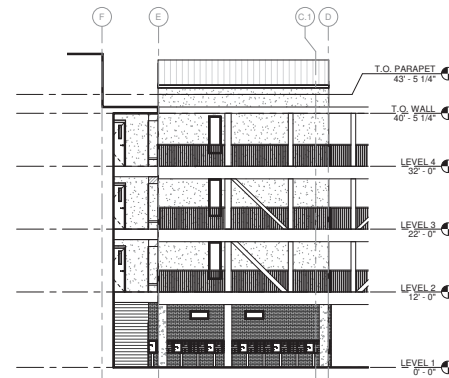
EXTERIOR BUILDING ELEVATIONS

**A4.10**

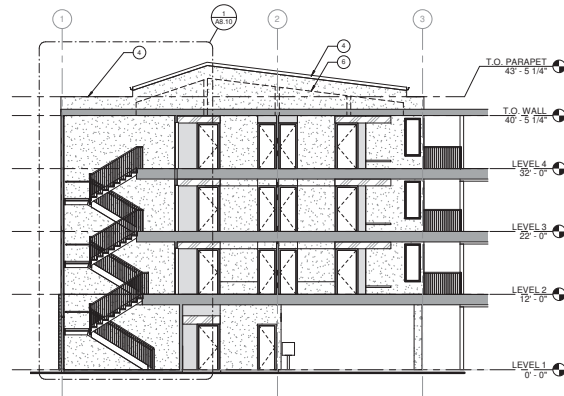




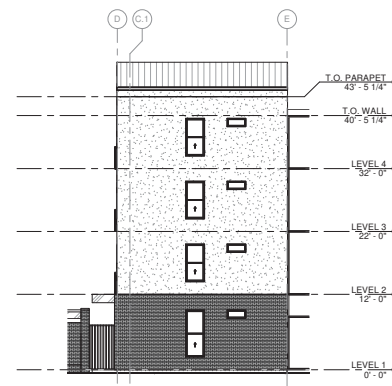
ENLARGED EAST ELEVATION OF VOLUME 2  
SCALE: 1/8" = 1'-0" **4**



ENLARGED SOUTH ELEVATION OF VOLUME 2  
SCALE: 1/8" = 1'-0" **3**



ENLARGED WEST ELEVATION OF VOLUME 2  
SCALE: 1/8" = 1'-0" **2**



ENLARGED NORTH ELEVATION OF VOLUME 2  
SCALE: 1/8" = 1'-0" **1**

GENERAL NOTES



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SHEET NOTES

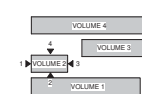
- 1 PRE-MANUFACTURED / PPRE FINISHED METAL FENCE WITH POSTS @ 4' O.C.
- 2 4" METAL PIPE COLUMN
- 3 1 1/2" SQUARE POST
- 4 METAL COPING AT PARAPETS & GABLE ROOFS TOP
- 5 LINE OF SLOPED CEILING BEYOND

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REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

LEGEND

- CONCRETE
- HORIZONTAL WOOD SIDING
- FIBER CEMENT BOARD PANEL
- BRICK
- STUCCO
- METAL FRAME WITH EXPANDED METAL PANEL
- GROUND FACE CONCRETE MASONRY UNITS
- COMPOSITE METAL WALL PANEL

KEY PLAN



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ENLARGED EXTERIOR  
ELEVATIONS -  
RESIDENTIAL

**A4.21**

GENERAL NOTES

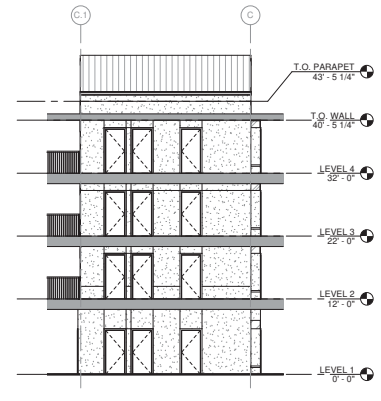
SHEET NOTES

- 1 PRE-MANUFACTURED / PRE-FINISHED METAL FENCE WITH POSTS @ 4' O.C.
- 2 4" METAL PIPE COLUMN
- 3 1 1/2" SQUARE POST
- 4 METAL COPING AT PARAPETS & GABLE ROOFS TYP
- 5 LINE OF SLOPED CEILING BEYOND

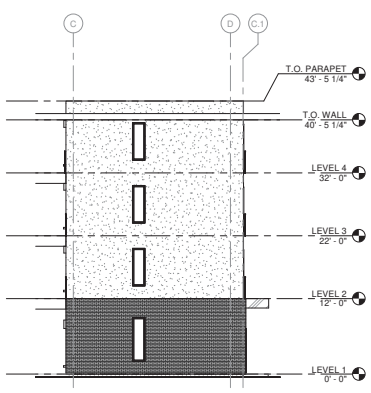
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ENLARGED EAST ELEVATION OF VOLUME 3  
SCALE: 1/8" = 1'-0" **4**



ENLARGED SOUTH ELEVATION OF VOLUME 3  
SCALE: 1/8" = 1'-0" **3**











ENLARGED NORTH ELEVATION OF VOLUME 3  
SCALE: 1/8" = 1'-0" **2**

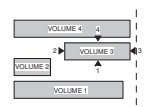


ENLARGED WEST ELEVATION OF VOLUME 3  
SCALE: 1/8" = 1'-0" **1**

LEGEND

-  CONCRETE
-  HORIZONTAL WOOD SIDING
-  FIBER CEMENT BOARD PANEL
-  BRICK
-  STUCCO
-  METAL FRAME WITH EXPANDED METAL PANEL
-  GROUND FACE CONCRETE MASONRY UNITS
-  COMPOSITE METAL WALL PANEL

KEY PLAN

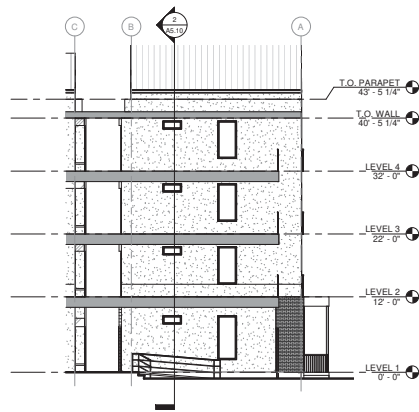


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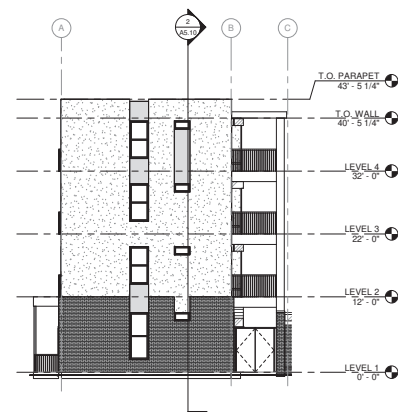
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ENLARGED EXTERIOR ELEVATIONS - RESIDENTIAL

**A4.22**



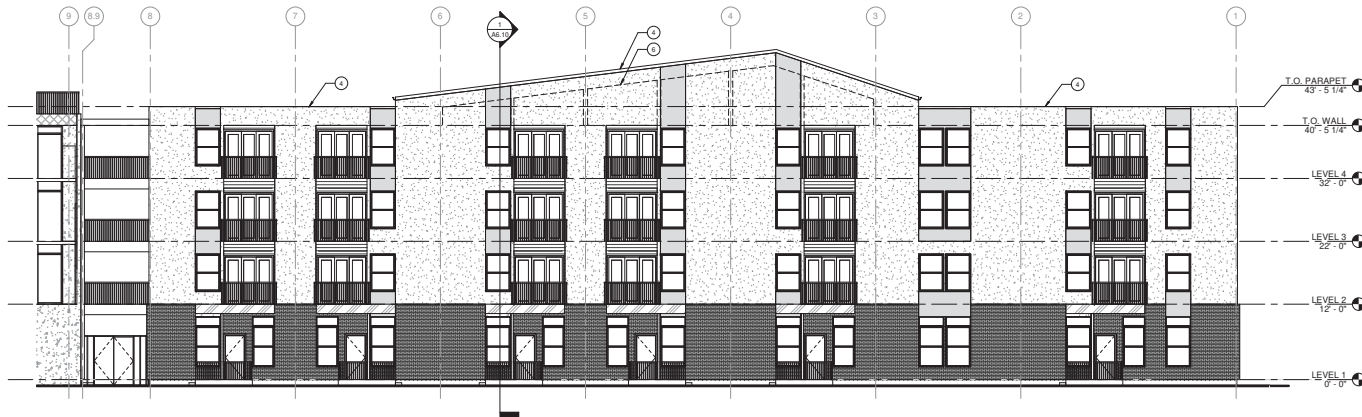
ENLARGED SOUTH ELEVATION OF VOLUME 4  
SCALE: 1/8" = 1'-0" **3**



ENLARGED NORTH ELEVATION OF VOLUME 4  
SCALE: 1/8" = 1'-0" **4**



ENLARGED WEST ELEVATION OF VOLUME 4  
SCALE: 1/8" = 1'-0" **2**



ENLARGED EAST ELEVATION OF VOLUME 4  
SCALE: 1/8" = 1'-0" **1**

GENERAL NOTES



SHEET NOTES

1. PRE-MANUFACTURED / PPE FINISHED METAL FENCE WITH POSTS @ 4' O.C.
2. 4" METAL PIPE COLUMN
3. 1" SQUARE POST
4. METAL COPING AT PARAPETS & GABLE ROOFS TOP
5. LINE OF SLOPED CEILING BEYOND

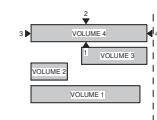
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LEGEND

- CONCRETE
- HORIZONTAL WOOD SIDING
- FIBER CEMENT BOARD PANEL
- BRICK
- STUCCO
- METAL FRAME WITH EXPANDED METAL PANEL
- GROUND FACE CONCRETE MASONRY UNITS
- COMPOSITE METAL WALL PANEL

KEY PLAN



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ENLARGED EXTERIOR ELEVATIONS - RESIDENTIAL

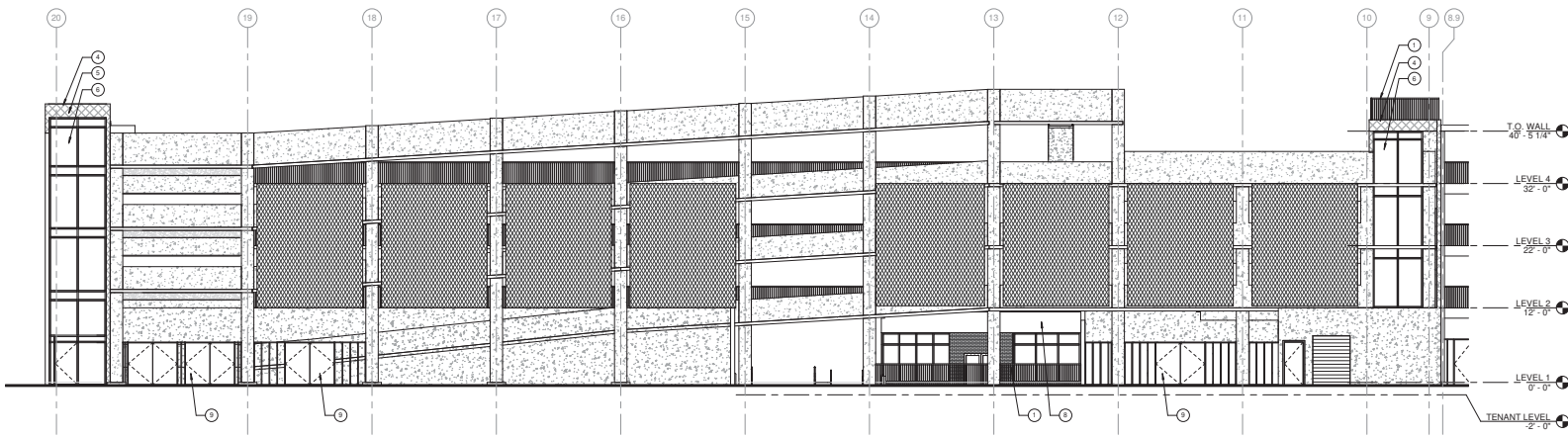
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GENERAL NOTES

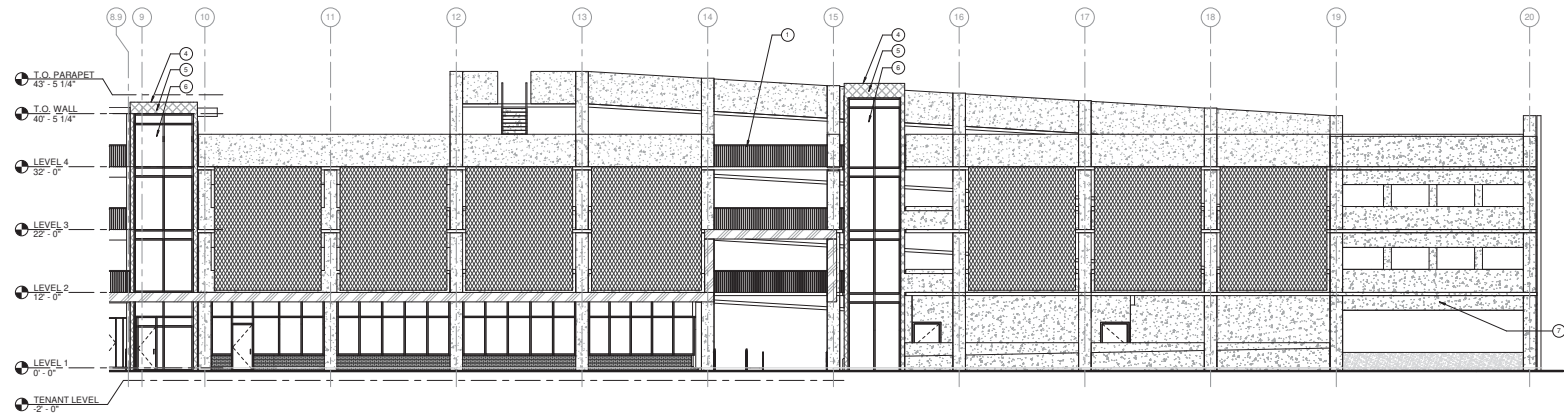
SHEET NOTES

- 1 PRE-MANUFACTURED / PRE-FINISHED METAL FINISH WITH POSTS @ 4' O.C.
- 2 4" METAL PIPE COLUMN
- 3 1" SQUARE ROOF
- 4 METAL COPING AT PARAPETS & GABLE ROOF TOP
- 5 GROUND FACE CMU AT ELEVATOR WALLS AND STAIR WALLS
- 6 STOREFRONT
- 7 PARKING GARAGE ENTRANCE SIGNAGE
- 8 LIGHT GAUGE STEEL FRAMING WITH PTD SYSTEM FINISH ABOVE STOREFRONT
- 9 CUSTOM WELDED STEEL GATE

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ENLARGED EAST ELEVATION - PARKING GARAGE  
SCALE: 1/8" = 1'-0" 2



ENLARGED WEST ELEVATION - PARKING GARAGE  
SCALE: 1/8" = 1'-0" 1

LEGEND

- CONCRETE
- HORIZONTAL WOOD SIDING
- FIBER CEMENT BOARD PANEL
- BRICK
- STUCCO
- METAL FRAME WITH EXPANDED METAL PANEL
- GROUND FACE CONCRETE MASONRY UNITS
- COMPOSITE METAL WALL PANEL

KEY PLAN

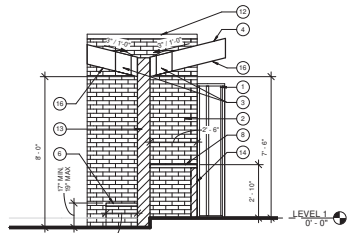
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SCALE:	As Indicated
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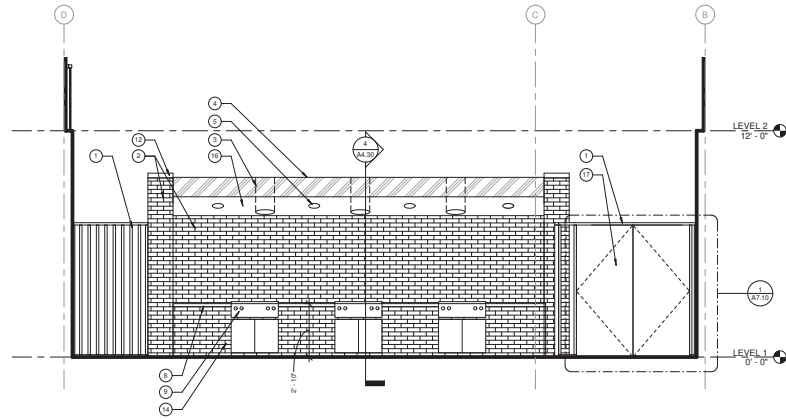
ENLARGED EXTERIOR ELEVATIONS - PARKING GARAGE

A4.24

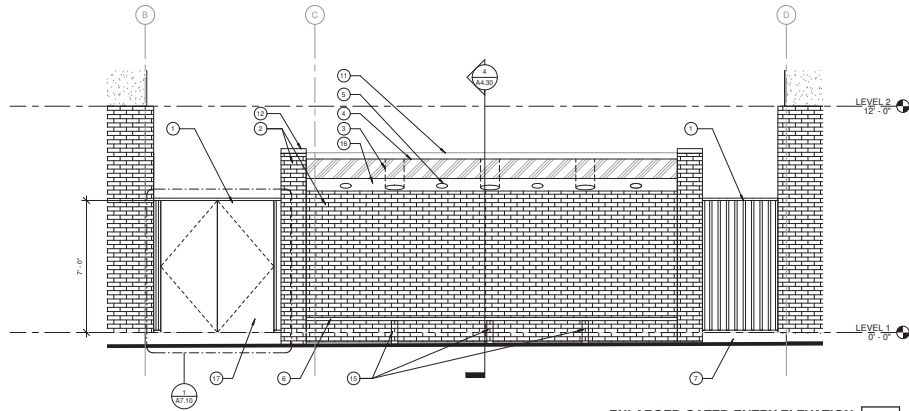




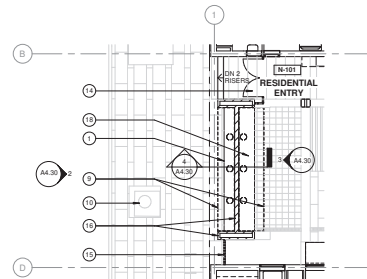
**GATED ENTRY / OUTDOOR GRILL ENLARGED SECTION**  
SCALE: 3/8" = 1'-0" **4**



**ENLARGED OUTDOOR GRILL ELEVATION**  
SCALE: 3/8" = 1'-0" **3**



**ENLARGED GATED ENTRY ELEVATION**  
SCALE: 3/8" = 1'-0" **2**



**ENLARGED COURTYARD ENTRY WALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0" **1**

**GENERAL NOTES**

**SHEET NOTES**

- 1 CUSTOM WELDED STEEL GATE
- 2 BRICK WALL & PLASTERS TO MATCH BRICK ON BUILDING
- 3 (W) TOTAL SUN TUNNELS IN ROOF CANOPIES
- 4 ANGED CANOPY ROOF, STANDING BEAM
- 5 (A) SCISSORS IN CANOPY ROOF, RE: LIGHTING
- 6 2" CAST STONE BENCH TOP
- 7 PLANTING BED, RE: LANDSCAPE
- 8 EPOXY-COATED CAST STONE COUNTER TOP
- 9 (D) 3" BUILT IN STAINLESS STEEL GRILLS WITH STORAGE COMPARTMENTS
- 10 LINE OF ANGED ROOF BEYOND
- 11 3" CAST STONE PLASTER TOPS
- 12 8" CMU WITH BRICK VENEER EACH SIDE
- 13 BRICK FACE OF GRILL COUNTER
- 14 PERIODIC BRICK SUPPORTS
- 15 WOOD SOFFIT UNDER CANOPY
- 16 FIXED DOOR LEAF

**LEGEND**

- CONCRETE
- HORIZONTAL WOOD SIDING
- FIBER CEMENT BOARD PANEL
- BRICK
- STUCCO
- METAL FRAME WITH EXPANDED METAL PANEL
- GROUND FACE CONCRETE MASONRY UNITS
- COMPOSITE METAL WALL PANEL



**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501

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ENLARGED COURTYARD ENTRY WALL ELEVATIONS

**A4.30**









GENERAL NOTES

SHEET NOTES

- 1 SLATTED WOODEN BENCH
- 2 ENTRY SCONCE RE LIGHTING
- 3 2" HEIGHT ACRYLIC LETTERS / NUMBERS
- 4 MOUNTED TO STEEL PLATE
- 5 CANOPY ROOF
- 6 UPLIGHTS/AC PEDESTAL MOUNTED MAILBOX INSTALLATION

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 COFFMAN STREET, LONGMONT, CO 80501

LEGEND

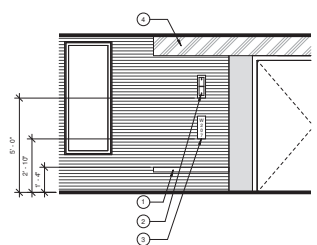
-  CONCRETE
-  HORIZONTAL WOOD SIDING
-  FIBER CEMENT BOARD PANEL
-  BRICK
-  STUCCO
-  METAL FRAME WITH EXPANDED METAL PANEL
-  GROUND FACE CONCRETE MASONRY UNITS
-  COMPOSITE METAL WALL PANEL

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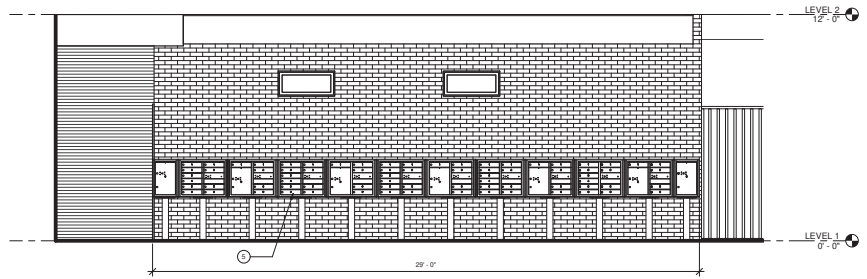
SCALE:	As Indicated
DRAWN BY:	Author
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ENLARGED COMMON AREA ELEVATIONS

**A4.31**



ENLARGED TYPICAL DWELLING UNIT ENTRY ELEVATION  
SCALE: 3/8" = 1'-0" **2**











ENLARGED MAIL AREA ELEVATION  
SCALE: 3/8" = 1'-0" **1**

GENERAL NOTES

SHEET NOTES

1 LIGHT GAUGE STEEL FRAMING WITH PTD  
GYPSUM BO FRESH ABOVE STOREFRONT

LEGEND

-  CONCRETE
-  HORIZONTAL WOOD SIDING
-  FIBER CEMENT BOARD PANEL
-  BRICK
-  STUCCO
-  METAL FRAME WITH EXPANDED METAL PANEL
-  GROUND FACE CONCRETE MASONRY UNITS
-  COMPOSITE METAL WALL PANEL

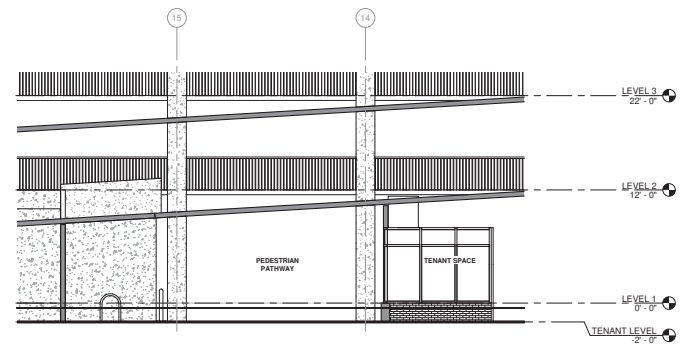
KEY PLAN

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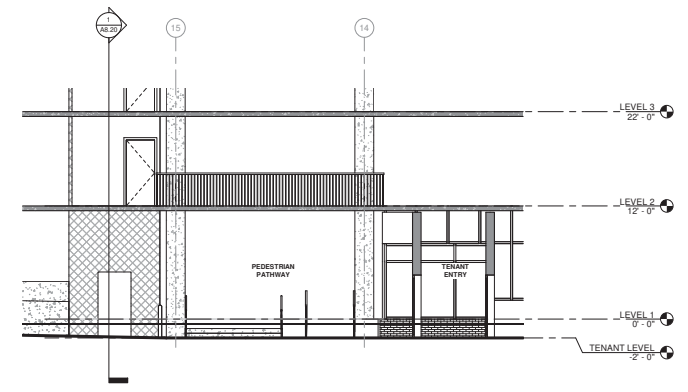
SCALE:	As Indicated
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ENLARGED PEDESTRIAN PATHWAY ELEVATIONS

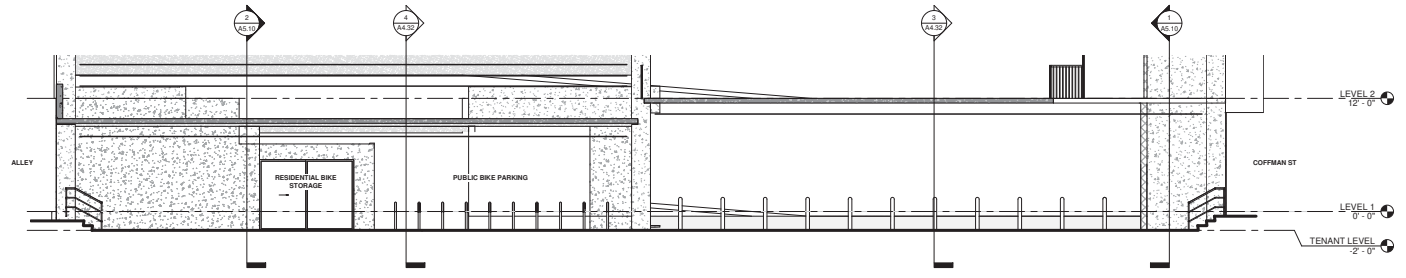
**A4.32**



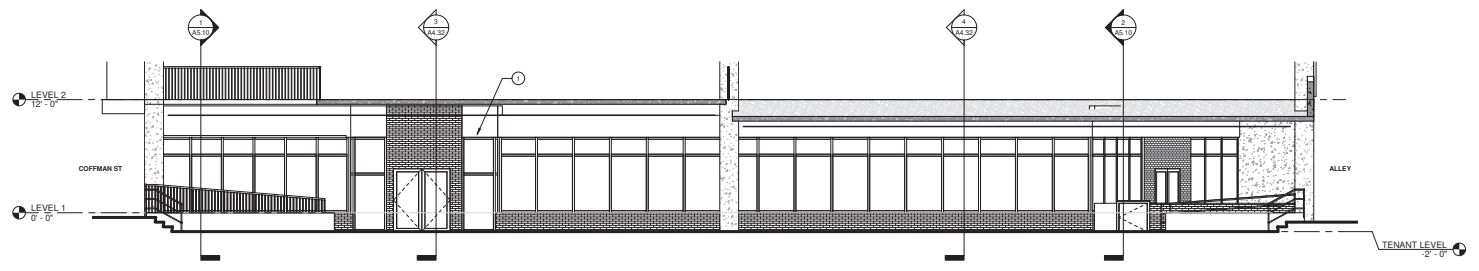
ENLARGED PEDESTRIAN PATHWAY SECTION UNDER RAMP LOOKING WEST  
SCALE: 3/16" = 1'-0" **4**



ENLARGED PEDESTRIAN PATHWAY SECTION LOOKING WEST  
SCALE: 3/16" = 1'-0" **3**



ENLARGED PEDESTRIAN WALKWAY / BIKE PARKING ELEVATION  
SCALE: 3/16" = 1'-0" **2**

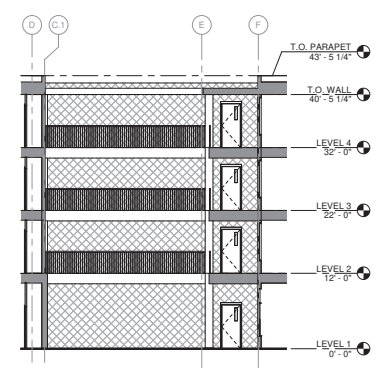


ENLARGED COMMERCIAL STOREFRONT ELEVATION  
SCALE: 3/16" = 1'-0" **1**

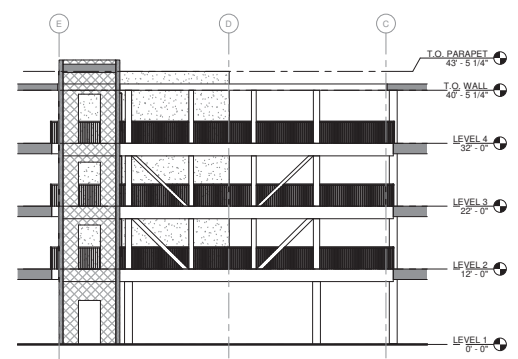
GENERAL NOTES

SHEET NOTES

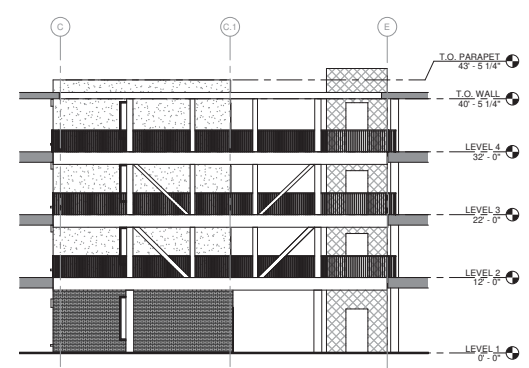
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REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501



**ENLARGED EGRESS BALCONY NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" **3**











**ENLARGED SOUTH PEDESTRIAN WALKWAY ELEVATION**  
SCALE: 1/8" = 1'-0" **2**



**ENLARGED NORTH PEDESTRIAN WALKWAY ELEVATION**  
SCALE: 1/8" = 1'-0" **1**

LEGEND

-  CONCRETE
-  HORIZONTAL WOOD SIDING
-  FIBER CEMENT BOARD PANEL
-  BRICK
-  STUCCO
-  METAL FRAME WITH EXPANDED METAL PANEL
-  GROUND FACE CONCRETE MASONRY UNITS
-  COMPOSITE METAL WALL PANEL

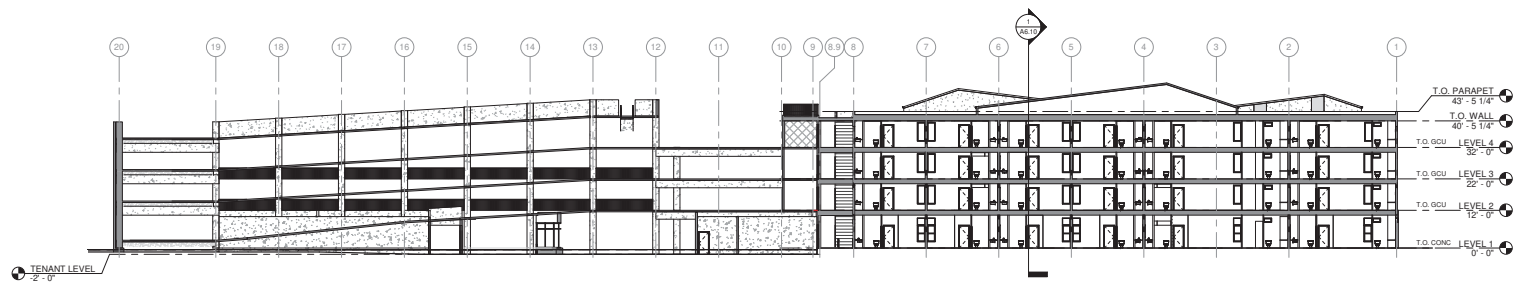
KEY PLAN

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ENLARGED PEDESTRIAN WALKWAY ELEVATIONS

**A4.33**



**EAST BUILDING SECTION**  
SCALE: 1/16" = 1'-0" **2**



**WEST BUILDING SECTION**  
SCALE: 1/16" = 1'-0" **1**

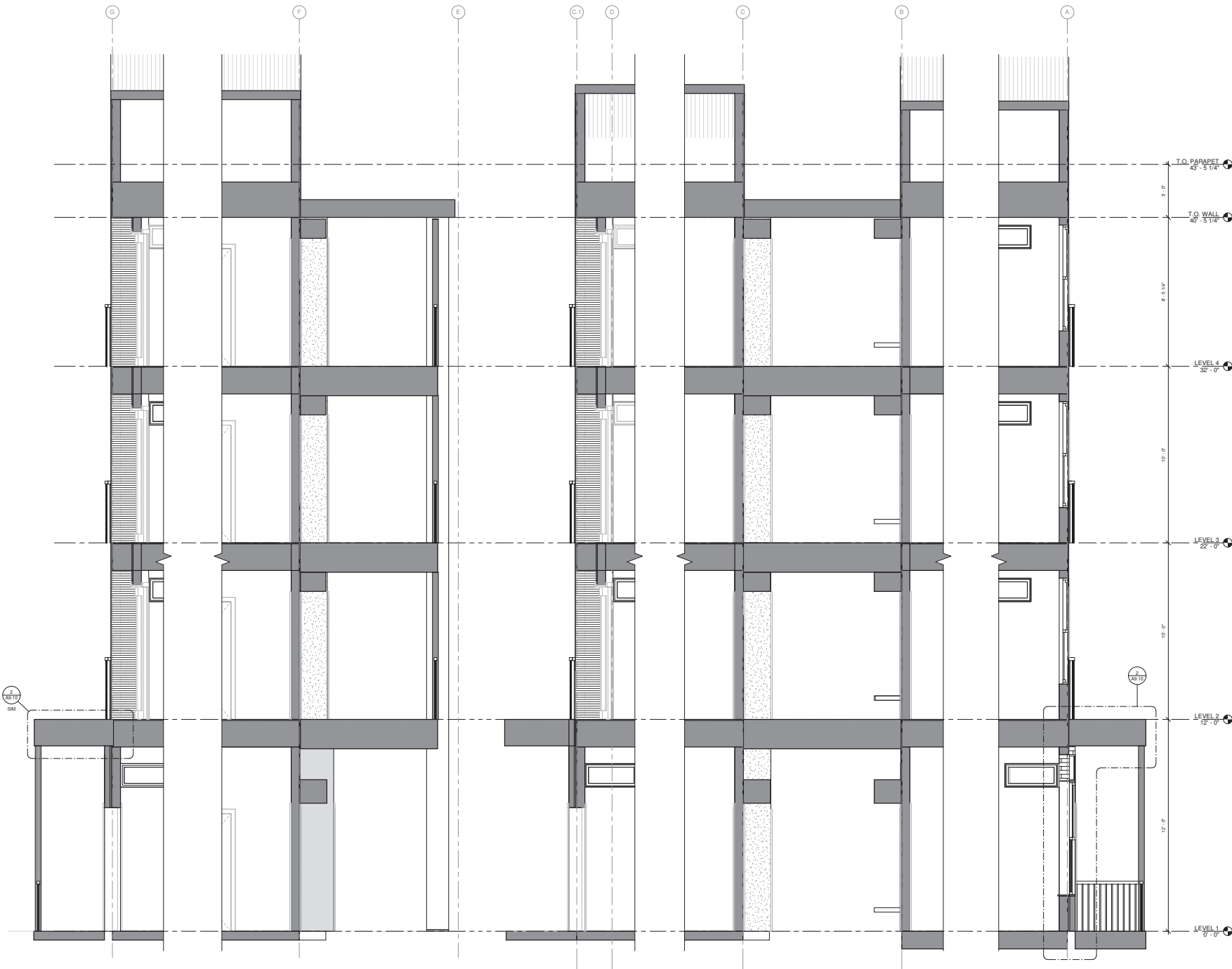
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SCALE:	1/16" = 1'-0"
DRAWN BY:	AVC
CHECKED BY:	EM
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BUILDING SECTIONS

**A5.10**

**BCHA - COFFMAN STREET  
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COFFMAN STREET, LONGMONT, CO 80501



**TRANSVERSE WALL SECTION @ RESIDENCES @ 1**  
SCALE: 1/2" = 1'-0"

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SCALE:	1/2" = 1'-0"
DRAWN BY:	AVC
CHECKED BY:	BM
JOB NUMBER:	090716

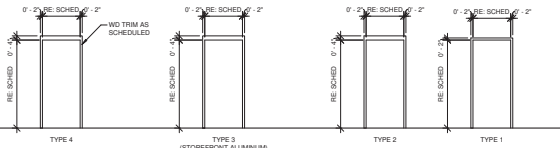
WALL SECTIONS & 3D WALL SECTIONS

**A6.10**

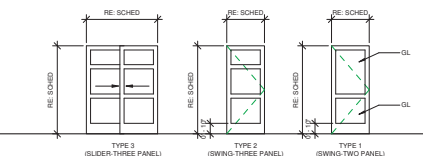
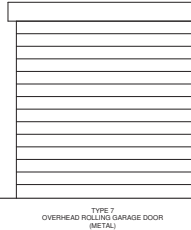
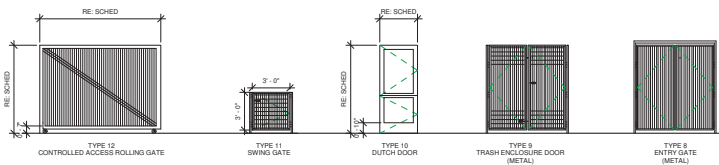
DWELLING UNIT DOOR SCHEDULE												
MARK	ROOM NAME	DOOR			FRAME			DETAILS			OPG FRR	DOOR REMARKS
		TYPE	W	H	MAT	TYPE	JAMB	HEAD	SILL			
A	FRONT ENTRY	2	3'-0"	7'-0"	HMNS	1	HMW				45 MIN	
B	GROUND ENTRY	2	3'-0"	7'-0"	HMNS	1	HMW				45 MIN	
C	MECHANICAL	4	3'-0"	7'-0"	HMNS	1	HMW				45 MIN	
F	KITCHEN	6	2'-0"	7'-0"	SLDNG	2	HMKD					
G	BEDROOM #1	2	3'-0"	6'-8"	HCHC	4	HMKD					
H	BEDROOM CLOSET #1	3	3'-0"	6'-8"	HCHC	4	HMKD					
I	BATHROOM #1	2	3'-0"	6'-8"	HCHC	4	HMKD					
J	BATHROOM #1	2	3'-0"	6'-8"	HCHC	4	HMKD					
K	BEDROOM #2	2	2'-10"	6'-8"	HCHC	4	HMKD					
L	BEDROOM CLOSET #2	3	3'-0"	6'-8"	HCHC	4	HMKD					
M	BATHROOM #2	2	2'-10"	6'-8"	HCHC	4	HMKD					
N	BEDROOM #3	2	2'-10"	6'-8"	HCHC	4	HMKD					
O	BEDROOM CLOSET #3	3	3'-0"	6'-8"	HCHC	4	HMKD					
P	LINEN CLOSET	2	2'-10"	6'-8"	HCHC	4	HMKD					
Q	STORAGE	2	2'-10"	6'-8"	HCHC	4	HMKD					

PRICING OPTION 1 - DWELLING UNIT DOOR SCHEDULE												
MARK	ROOM NAME	DOOR			FRAME			DETAILS			OPG FRR	DOOR REMARKS
		TYPE	W	H	MAT	TYPE	JAMB	HEAD	SILL			
E1	PANTRY CLOSET DOOR	3	4'-0"	6'-8"	HMNS	4	HMKD					
P1	LINEN CLOSET BATHROOM #1	4	2'-0"	6'-8"	HMNS	4	HMKD					
P2	LINEN CLOSET #2	4	2'-0"	6'-8"	HMNS	4	HMKD					
P3	KITCHEN	6	2'-0"	7'-0"	SLDNG	2	HMKD					

DOOR SCHEDULE												
MARK	ROOM NAME	DOOR			FRAME			DETAILS			OPG FRR	DOOR REMARKS
		TYPE	QTY	W	H	MAT	TYPE	JAMB	HEAD	SILL		
W101A1	LOBBY	1	1	3'-0"	7'-0"	ALUC	3	AL				5, 7
W101A2	LOBBY	1	1	3'-0"	7'-0"	ALUC	3	AL				5, 7
W101B	LEASING OFFICE	10	1	3'-0"	7'-0"	HMNS	4	HMKD				45 MIN
W101C	BATHROOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
W101D	MECHANICAL ROOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
W101E	PASSAGEWAY	1	1	3'-0"	7'-0"	ALUC	3	AL				5
W101F	PASSAGEWAY	1	1	3'-0"	7'-0"	ALUC	3	AL				5
S101	RESIDENTIAL ENTRY	8	2	3'-0"	7'-0"	GATE	1	AL				6
N101	RESIDENTIAL ENTRY	8	2	3'-0"	7'-0"	GATE	1	AL				6
EE102	ALLEY ENTRY	8	2	3'-0"	7'-0"	GATE	1	AL				6
EE103	ELECTRICAL CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE104	JANITOR CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE105	STORAGE	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
102	VESTIBULE	1	2	3'-0"	7'-0"	ALUC	3	AL				7
103.1	TENANT SPACE	1	2	3'-0"	7'-0"	ALUC	3	AL				7
103.2	TENANT SPACE	1	2	3'-0"	7'-0"	ALUC	3	AL				7
103.3	TENANT SPACE	1	1	3'-0"	7'-0"	GATE	1	HMW				7
104	WATER ENTRY	1	1	3'-0"	7'-0"	ALUC	3	AL				3
105.1	STARWAY	1	1	3'-0"	7'-0"	ALUC	3	AL				2
105.2	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				1, 5
106	RESIDENTIAL STORAGE	4	2	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
107.1	MAIN TRASH ROOM	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
107.2	MAIN TRASH ROOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
107.3	MAIN TRASH ROOM	7	1	6'-0"	8'-0"	OSRSE		HMW				30 MIN
108	ELECTRICAL ROOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
109	MECHANICAL AREA	9	2	3'-0"	7'-0"	GATE	1	HMW				45 MIN
111	TENANT TRASH ROOM	9	2	3'-0"	7'-0"	GATE	1	HMW				45 MIN
112	AUX TRASH ROOM	9	2	3'-0"	7'-0"	GATE	1	HMW				45 MIN
112.2	AUX TRASH ROOM	9	2	3'-0"	7'-0"	GATE	1	HMW				45 MIN
113	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
114	MAINTENANCE ROOM	4	1	4'-0"	7'-0"	HMNS	1	HMW				45 MIN
115.1	MAIN ELECTRICAL ROOM	4	1	4'-0"	7'-0"	HMNS	1	HMW				45 MIN
115.2	MAIN ELECTRICAL ROOM	4	1	4'-0"	7'-0"	HMNS	1	HMW				45 MIN
116	RESIDENT BIKI STORAGE	12	1	8'-0"	7'-0"	HMNS	1	HMW				45 MIN
W201A	COMMUNITY ROOM	5	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
W201C	BATHROOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
W201D	MECHANICAL	1	1	2'-0"	7'-0"	HMNS	1	HMW				45 MIN
W201E	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE203	PEDESTRIAN WALKWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE204	TELECOM	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE206	JANITOR CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE208	STORAGE	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
201.1	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
201.2	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
202	TRASH CHUTE ROOM	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
203	STARWAY	5	1	4'-0"	7'-0"	HMNS	1	HMW				30 MIN
204	ELEVATOR LOBBY	1	1	3'-0"	7'-0"	ALUC	3	AL				1
W301	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE303	PEDESTRIAN WALKWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE304	ELECTRICAL CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE305	JANITOR CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE306	STORAGE	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
301.1	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
301.2	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
302	TRASH CHUTE ROOM	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
303	STARWAY	5	1	4'-0"	7'-0"	HMNS	1	HMW				30 MIN
304	ELEVATOR LOBBY	1	1	3'-0"	7'-0"	ALUC	3	AL				1
W401	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE403	PEDESTRIAN WALKWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
EE404	TELECOM CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE405	JANITOR CLOSET	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
EE406	STORAGE	4	1	3'-0"	7'-0"	HMNS	1	HMW				45 MIN
401.1	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
401.2	STARWAY	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
402	TRASH CHUTE ROOM	5	1	3'-0"	7'-0"	HMNS	1	HMW				30 MIN
403	STARWAY	5	1	4'-0"	7'-0"	HMNS	1	HMW				30 MIN
404	ELEVATOR LOBBY	1	1	3'-0"	7'-0"	ALUC	3	AL				1



DOOR FRAMES  
SCALE: 1/4" = 1'-0" **2**



DOOR TYPES  
SCALE: 1/4" = 1'-0" **1**

GENERAL NOTES

SHEET NOTES

1. SIDE-LITE
2. (SWING) ALL GLASS
3. 1/2" SWING
4. 1/2" SWING
5. AUTOMATIC MAGNETIC DOOR HOLD OPEN
6. CONTROLLED ACCESS
7. ACTUATOR
8. LOWER DOOR TO MECHANICAL ROOM - PROVIDE REQUIRED FREE AREA AROUND LOWER TO MEET HVAC REQUIREMENTS

LEGEND

AL	ALUMINUM
ANOD	ANODIZED
CF	CLEAR FINISH
FC	FIBER GLASS
FBC	FIBER COMPOSITE
GL	GLASS GLAZING
HV	HARDWOOD VENEER
HVC	HOLLOW CORE
HCHC	HONEY COMB HOLLOW CORE
HMW	HARDWARE
HDF	HIGH DENSITY FIBER BOARD
HMA	HOLLOW METAL ADJUSTABLE
HMM	HOLLOW METAL WELDED
HML	HOLLOW METAL ANODIZED
HPL	HOLLOW METAL ANODIZED
PF	PRE-FINISHED
PNT	PAINT
SC	SOLID CORE
STN	STAIN
WD	WOOD
WV	VINYL

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JOB NUMBER: 090716

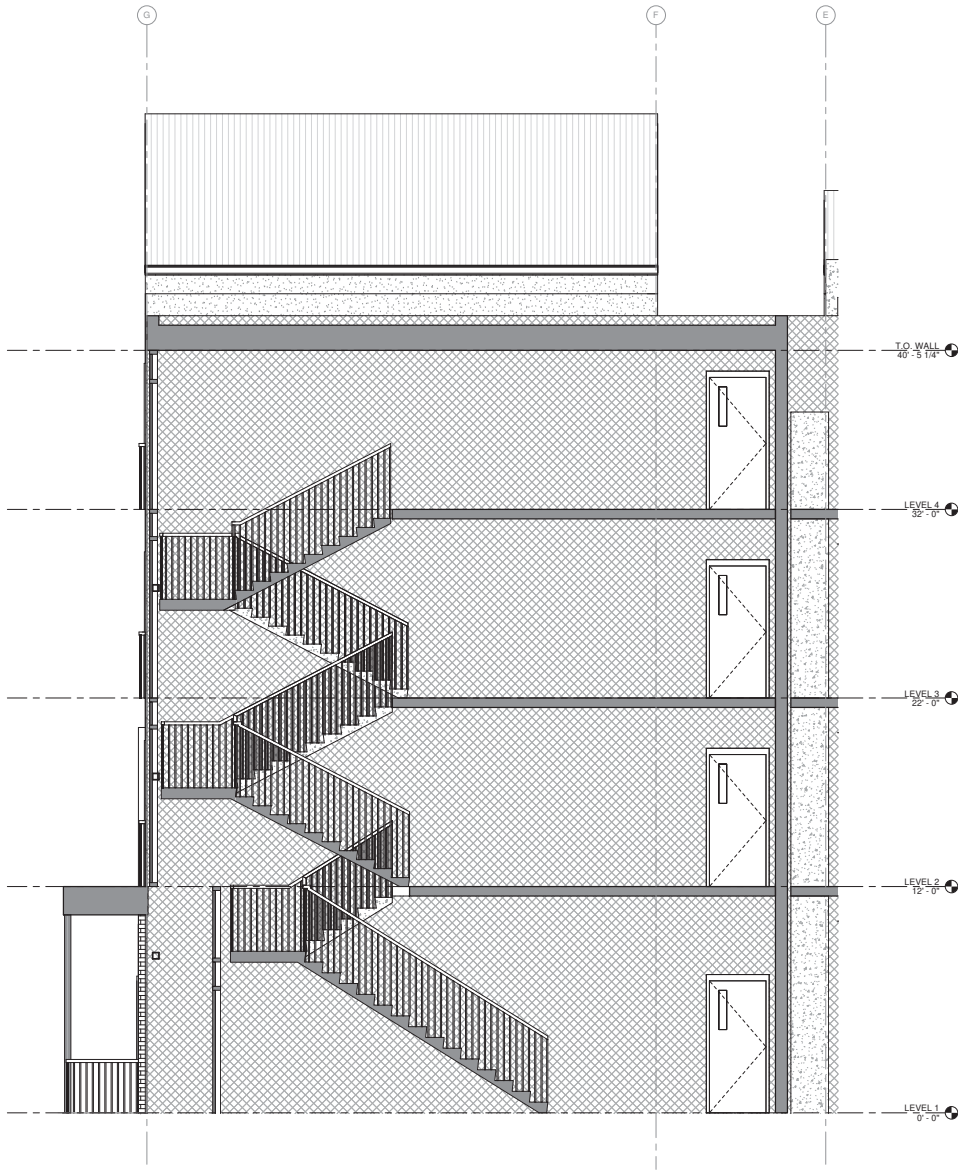
DOOR OPENING  
SCHEDULE, TYPES &  
GLAZING SCHEDULE

**A7.10**

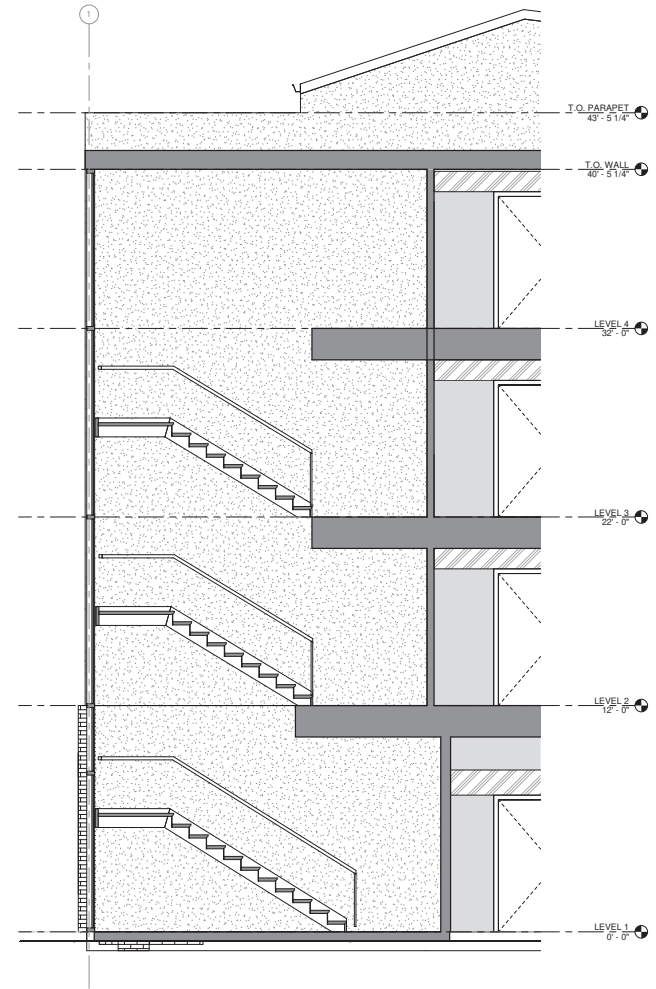




**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



STAIR SECTION @ NW PARKING GARAGE  
SCALE: 3/8" = 1'-0" **2**



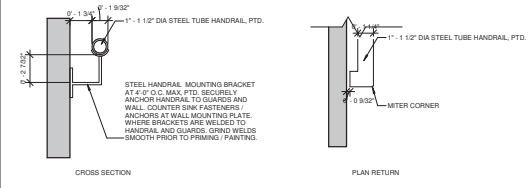
STAIR SECTION @ NW RESIDENTIAL  
SCALE: 3/8" = 1'-0" **1**

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		3/8" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		090716

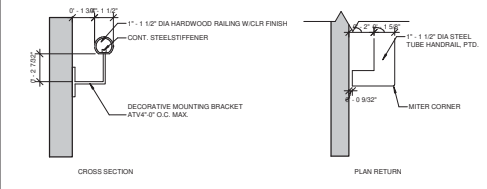
STAIR PLANS, SECTIONS &  
DETAILS

**A8.10**

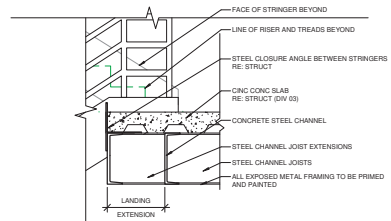




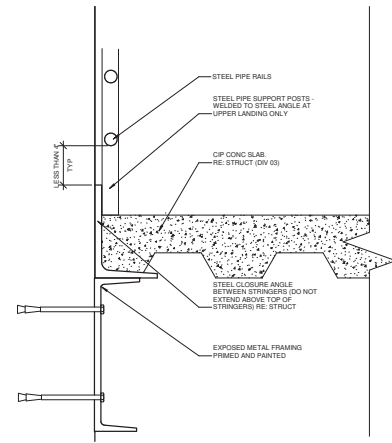
**STAIR-EGRESS-HANDRAIL DETAIL-METAL**  
SCALE: 3" = 1'-0" **1**



**STAIR-HANDRAIL DETAIL-WOOD**  
SCALE: 3" = 1'-0" **2**



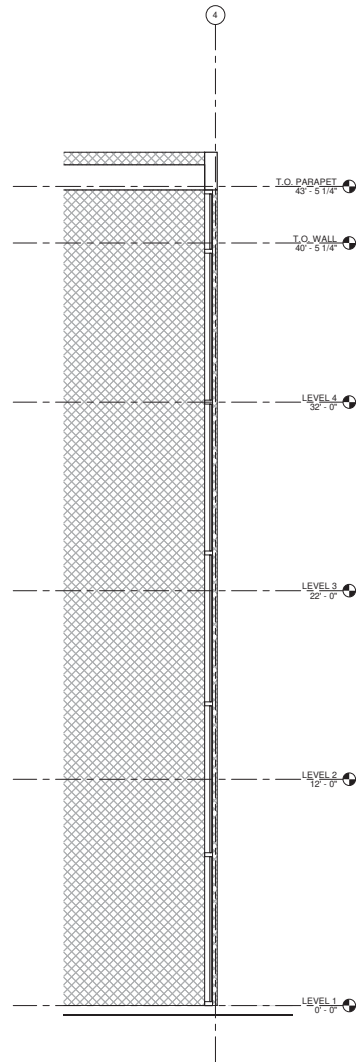
**LANDING EXPOSED EDGE BETWN STRINGERS**  
SCALE: 1" = 1'-0" **4**



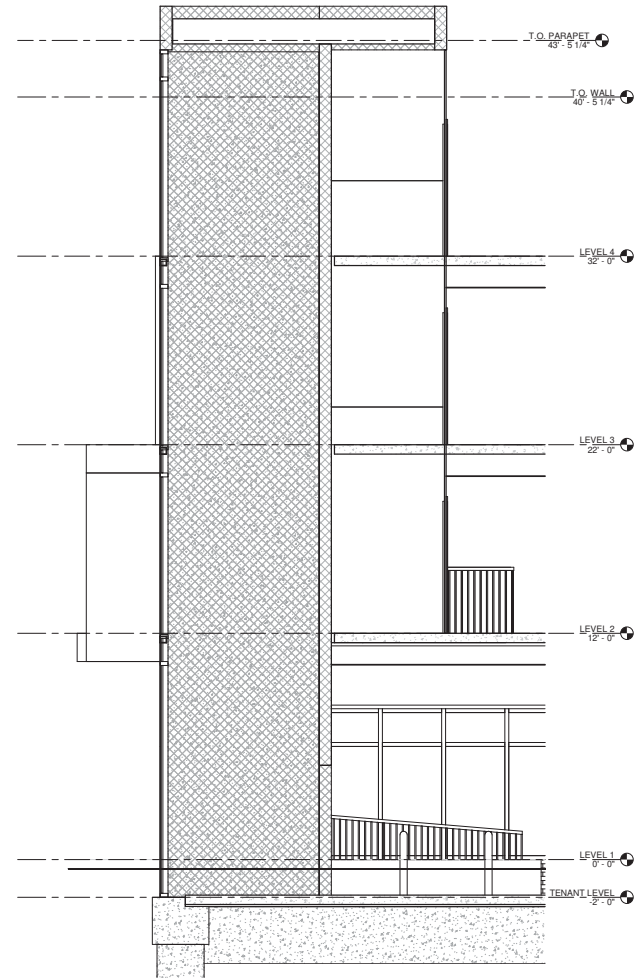
**LANDING-EXPOSED EDGE BETWN STRINGERS**  
SCALE: 3" = 1'-0" **3**

ISSUE:	Δ	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:	As Indicated	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



ELEVATOR SECTION @ RESIDENTIAL  
SCALE: 3/8" = 1'-0" **2**

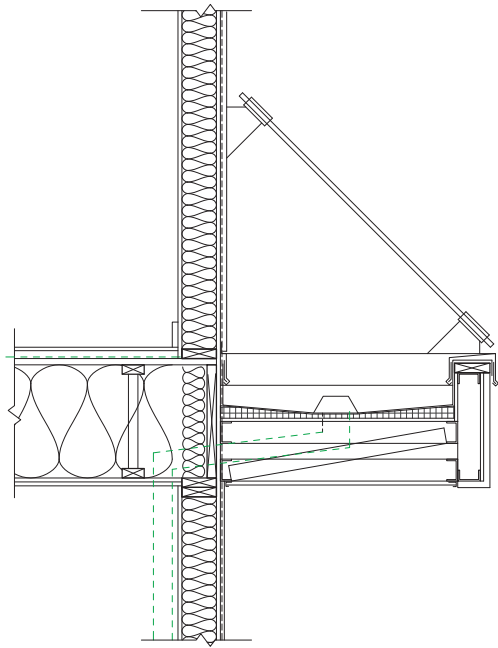


ELEVATOR SECTION @ PARKING GARAGE  
SCALE: 3/8" = 1'-0" **1**

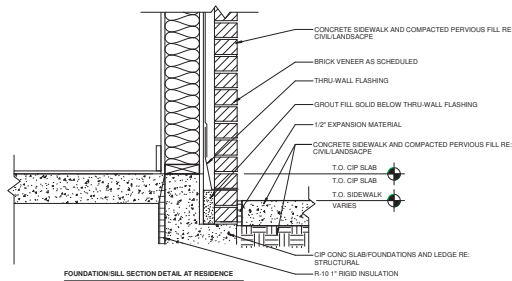
ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		3/8" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		090716

ELEVATOR PLANS,  
SECTIONS & DETAILS

**A8.20**

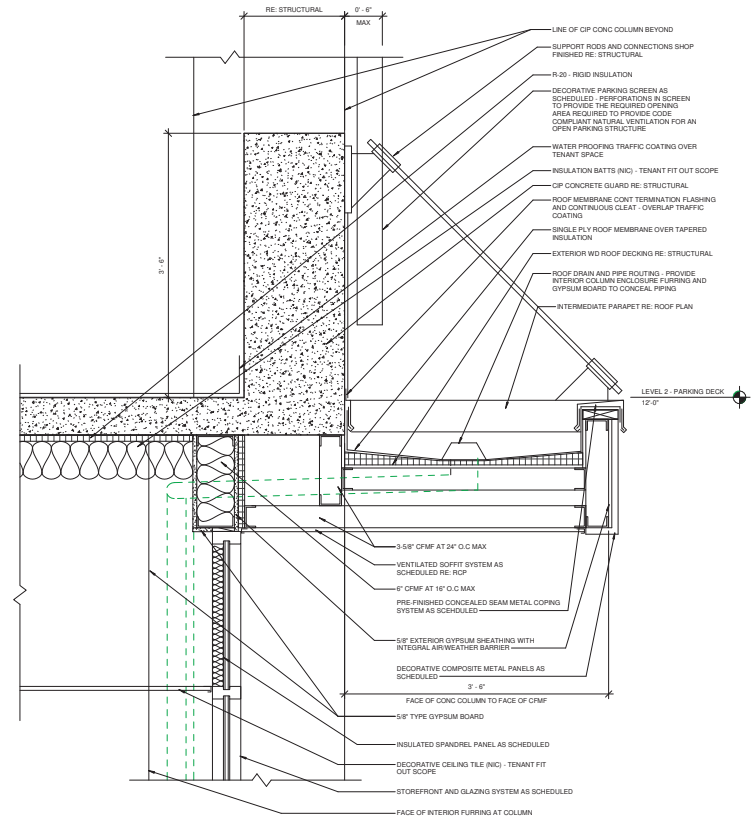


CANOPY SECTION DETAIL AT RESIDENCE

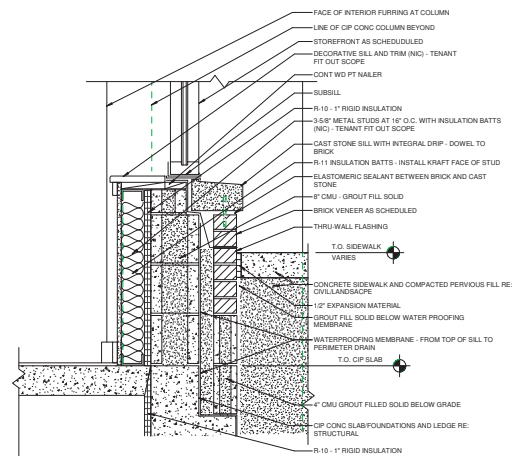


FOUNDATION SILL SECTION DETAIL AT RESIDENCE

DETAIL-SECTION-CANOPY-DU  
SCALE: 1 1/2" = 1'-0" 2



CANOPY SECTION DETAIL AT TENANT SPACE



FOUNDATION SILL SECTION DETAIL AT SUNKEN SLAB

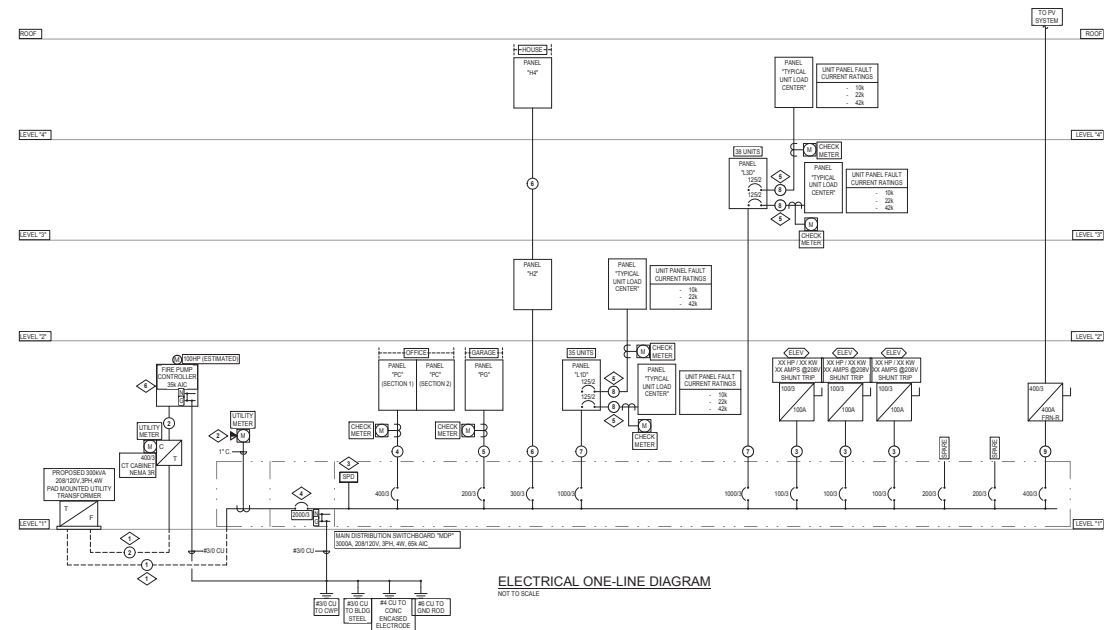
DETAIL-EXT-FND-CMU-SUNKEN-SOG  
SCALE: 1 1/2" = 1'-0" 1

ISSUE:	Δ	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		05.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		1 1/2" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16





**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501



**FEEDER SCHEDULE:**

- 1 6 SETS (4-600 KCMIL AL) 3-1/2"IC
- 2 4-500 KCMIL CU) 3"IC
- 3 (3-#1 CU, 1-#6 CU GND) 1-1/2"IC
- 4 2 SETS (4-250 KCMIL AL, 1-#3 CU GND) 2-1/2"IC
- 5 (4-#250 KCMIL AL, 1-#6 CU GND) 2-1/2"IC
- 6 (4-500 KCMIL AL, 1-#4 CU GND) 3"IC
- 7 3 SETS (4-600 KCMIL AL, 1-#20 CU GND) 3"IC
- 8 (3-#10 AL, 1-#6 CU GND) 1-1/2"IC
- 9 (2) 3-1/2"IC

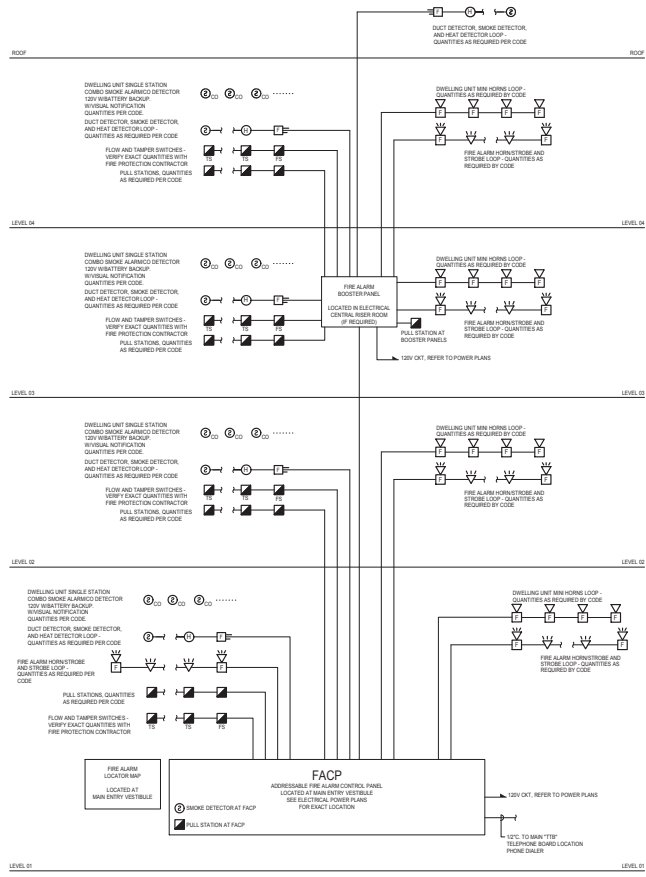
**DRAWING NOTES:**

- 1 ELECTRICAL FEEDER SHALL BE CONCRETE ENCASED WHERE LOCATED WITHIN THE ENVELOPE OF THE BUILDING.
- 2 PROVIDE DEDICATED SINGLE PAIR ANALOG PHONE LINE IN MINIMUM 1/2" INTD OR WITHIN 6 INCHES OF METER HOUSING. REFER TO DETAIL ON SHEET EA-XX FOR MORE INFORMATION.
- 3 PROVIDE SURGE SUPPRESSION UNIT INTEGRAL TO ELECTRICAL PANELBOARD. REFER TO SPECIFICATION 264313 FOR ADDITIONAL DETAIL AND REQUIREMENTS.
- 4 PROVIDE ELECTRONIC ADJUSTABLE TRIP UNIT FOR CIRCUIT BREAKER TO COMPLY WITH NEC 408.7.
- 5 FEEDERS TO UNIT LOAD CENTERS TO BE RUN IN EXPOSED CONDITIONS. CONTRACTOR TO ROUTE UNIT LOAD CENTER FEEDERS THROUGH "GRIC" GALVANIZED RIGID STEEL CONDUITS.
- 6 INTEGRAL SERVICE ENTRANCE RATED FIRE PUMP CONTROLLER WITH SOFT START (BY FIRE SUPPRESSION CONTRACTOR).

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
SD/DESIGN DEVELOPMENT		09.12.2018
100% CD PROGRESS		11.30.2018
DD REVISIONS		01.11.2019
SCALE:		1/8" = 1'-0"
DRAWN BY:	TJM	
CHECKED BY:	DM	
JOB NUMBER:		18154

ELECTRICAL ONE-LINE

**E0.20**



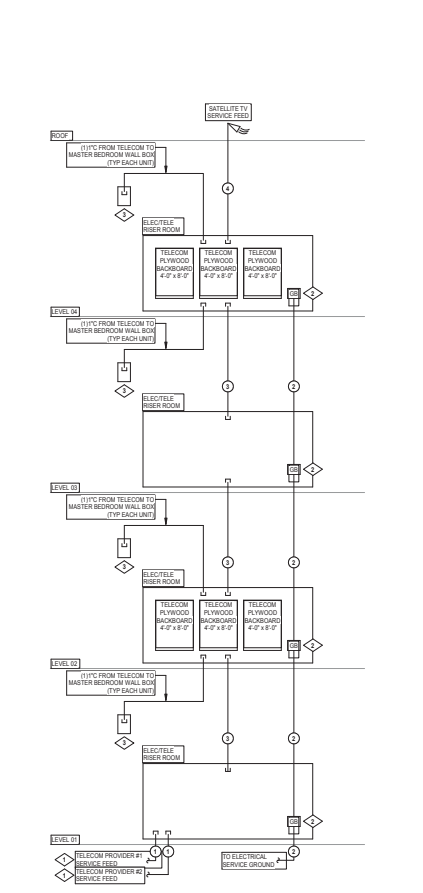
**FIRE ALARM SYSTEM ONE-LINE DIAGRAM**  
SCALE: 1/8" = 1'-0"

**FIRE ALARM GEN NOTES:**

1. ADDRESSABLE FIRE ALARM SYSTEM SHALL BE AS MANUFACTURED BY SIEMENS, SILENT KNIGHT, NOTIFIER, OR APPROVED EQUIVALENT. PROVIDE COMBINATION HORN/STROBE UNITS FOR ANNUNCIATION OF ALARM. PROVIDE NEAR-THERMOPIC HORN/STROBE ON EXTERIOR OF BUILDING FOR SPRINKLER ALARM ANNUNCIATION. PROVIDE COMMUNICATIONS MODULE AND CONNECTIONS TO TELEPHONE SYSTEM FOR TIE-IN TO CENTRAL STATION. PROVIDE CONNECTIONS TO DUCT DETECTORS. PROVIDE FULLY ENGINEERED SHOP DRAWINGS TO MEET ALL LOCAL AND NATIONAL CODES. FIRE ALARM DEVICE LOCATIONS ON THE DRAWINGS ARE DIAGNOSTIC IN CHARACTER AND DO NOT NECESSARILY INDICATE EVERY REQUIRED PIECE OF EQUIPMENT AND DEVICE. ITEMS NOT SPECIFICALLY NOTED ON THE DRAWINGS, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE INSTALLATION ACCORDING TO ALL APPLICABLE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION, SHALL BE INCLUDED. PRIOR TO FIRE ALARM INSTALLATION, COMPLETE THE ENTIRE FIRE ALARM SYSTEM SHALL BE TESTED FOR SYSTEM INTEGRITY AND PROPER CODE COMPLIANT OPERATION.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE FULLY ENGINEERED FIRE ALARM SHOP DRAWINGS FOR REVIEW BY THE LOCAL BUILDING AND FIRE DEPARTMENTS. THE FIRE ALARM SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE PROJECT'S STATE.
3. REFERENCE SPECIFICATION DIVISIONS 26 AND 28 FOR ADDITIONAL REQUIREMENTS OF FIRE ALARM SYSTEM.
4. FIRE ALARM SYSTEM AND CO DETECTION SHALL BE DESIGNED AND INSTALLED TO MEET THE CITY OF TEMPE, AZ FIRE CODE AMENDMENTS.
5. PROVIDE DEDICATED PHONE LINE TO FACP.
6. FIRE ALARM HORNS AND CO DETECTORS IN ALL SLEEPING AREAS AND UNITS DESIGNATED AS ACCESSIBLE OR HEARING IMPAIRED SHALL BE LOW FREQUENCY. REFER TO 2010 NFPA 72 SECTIONS 18.4.5.3 AND 28.3.1.

**FIRE ALARM RADIO AMP:**

1. THE PROPERTY WILL REQUIRE SIGNAL TESTING FOR THE INSTALLATION OF A RADIO AMPLIFICATION SYSTEM IF REQUIRED. PROVIDE INSTALLATION AND DESIGN OF FIRE ALARM RADIO AMPLIFICATION SYSTEM. PROVIDE FULLY ENGINEERED SHOP DRAWINGS OR SYSTEM DESIGN FOR REVIEW BY THE LOCAL BUILDING AND FIRE DEPARTMENTS. THE FIRE ALARM SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE PROJECT'S STATE.



**TELECOMMUNICATIONS RACEWAY ONE-LINE DIAGRAM**  
SCALE: 1/8" = 1'-0"

**TELECOM GEN NOTES:**

1. ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
2. CONDUIT PLAN SHOWS MAIN RUNS FOR COORDINATION. ELECTRICAL CONTRACTOR SHALL COORDINATE BRANCH CONDUIT ROUTING AND PENETRATIONS WITH STRUCTURAL, ARCHITECT, AND GENERAL CONTRACTOR.

**DRAWING NOTES:**

1. COORDINATE INSTALLATION OF INCOMING TELECOMMUNICATIONS SERVICE FEED WITH PROVIDER.
2. TELECOMMUNICATIONS COPPER GROUND BAR. REFER TO GROUNDING DETAIL ON SHEET 500 FOR ADDITIONAL DETAIL.
3. DWELLING UNIT TELECOMMUNICATIONS BOX (TYPICAL FOR EACH DWELLING UNIT)

**TELECOM RACEWAY:**

1. (2) 4" CU
- 1) 1000 CU
- (3) 4", (2) 2"
- (2) 2"

ISSUED FOR:	DATE:
PRE-APP MEETING	06.06.2018
SD SUBMITTAL	06.29.2018
SD/DESIGN DEVELOPMENT	09.12.2018
100% DD PROGRESS	11.30.2018
DD REVISIONS	01.11.2019

SCALE:	1/8" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker
JOB NUMBER:	18154



PANEL 001		VOLTAGE 120 / 208 V 3 Ø 4 W							
FLUSH MAIN BUS		MCO / 208							
SURFACE 1		FEED THRU A.I.C.							
TYPE	DESCRIPTION	BRK	CR	LOAD (VA/2)	C-D	CR	BRK	DESCRIPTION	TYPE
SPACE	1	0	0	0	0	0	0	SPACE	1
SPACE	2	0	0	0	0	0	0	SPACE	2
SPACE	3	0	0	0	0	0	0	SPACE	3
SPACE	4	0	0	0	0	0	0	SPACE	4
SPACE	5	0	0	0	0	0	0	SPACE	5
SPACE	6	0	0	0	0	0	0	SPACE	6
SPACE	7	0	0	0	0	0	0	SPACE	7
SPACE	8	0	0	0	0	0	0	SPACE	8
SPACE	9	0	0	0	0	0	0	SPACE	9
SPACE	10	0	0	0	0	0	0	SPACE	10
SPACE	11	0	0	0	0	0	0	SPACE	11
SPACE	12	0	0	0	0	0	0	SPACE	12
SPACE	13	0	0	0	0	0	0	SPACE	13
SPACE	14	0	0	0	0	0	0	SPACE	14
SPACE	15	0	0	0	0	0	0	SPACE	15
SPACE	16	0	0	0	0	0	0	SPACE	16
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SPACE	28	0	0	0	0	0	0	SPACE	28
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SPACE	42	0	0	0	0	0	0	SPACE	42
SPACE	43	0	0	0	0	0	0	SPACE	43
SPACE	44	0	0	0	0	0	0	SPACE	44
SPACE	45	0	0	0	0	0	0	SPACE	45
SPACE	46	0	0	0	0	0	0	SPACE	46
SPACE	47	0	0	0	0	0	0	SPACE	47
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SPACE	50	0	0	0	0	0	0	SPACE	50
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SPACE	147	0	0	0	0	0	0	SPACE	147
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SPACE	150	0	0	0	0	0	0	SPACE	150
SPACE	151	0	0	0	0	0	0	SPACE	151
SPACE	152	0	0	0	0	0	0	SPACE	152
SPACE	153	0	0	0</					





Equipment

- Solar Panels: 200 x 300watts (average panel output) = 60kW
- Solar panels will vary slightly by size and power output depending on manufacturer. We recommend the project only accept Tier 1 modules, indicating a sufficient quality level.
- Inverters: SolarEdge or similar with optimizers or other MLPE (attic) with monitoring
- With the installation of solar panels on multiple roof pitches, there is the likelihood that different sections of panels may reach maximum production at different times. We recommend the use of optimizers, micro-inverters or an alternate module level electronic to allow each panel to optimize its production and avoid having production limited by other panels in the array. Optimizers likely present the lowest cost option to achieving this desired performance. Module level electronic also provide the best monitoring capabilities.
- Racking: Metal standing seam clamp like SS1 or other, preferably a rail-less system
- SS or similar clamping systems for standing seam roofs present the best attachment method to avoid penetrations through the roof. A rail-less system would allow the project to limit expenses on equipment and installation time and provide the lowest profile design.

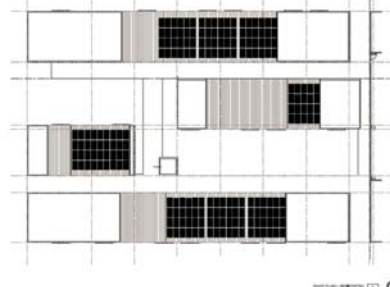
System Example



Layout

Four roof areas have been selected for the solar array. The roof areas have a 180° south azimuth with around a 2:12 pitch and are to be roofed with new metal standing seam material. Panels should be flush mounted to the roof. The roof pitch is important as roofs with 2:12 or lower are exempt from Fire Code Setback rules for solar panels. Roofs greater than 2:12 may be subject to the Fire Code Setback rules. Additional information required to analyze potential issues. There are multiple panel sections shown on a single roof area to help in installation, maintenance and emergency access situations.

The exact layout will be determined by the selected solar contractor based on their solar panel, as each panel manufacturer varies slightly by physical and electrical sizing. For example, a slightly shorter panel may allow for a fifth panel wide versus the layout below of four panels wide. Below is the proposed layout used in this analysis.



\*Example Layout\*

BCHA - 518 Coffman St. Redevelopment  
Solar Photovoltaic Analysis

Photovoltaic installations are customizable to fit your needs, based on available roof space, desired energy production and budget. Below is an analysis showing considerations for the BCHA - 518 Coffman St Redevelopment project. Keep in mind that additional system sizes and variations are available, so this should be considered a starting point for planning electrical requirements.



A grid-tied solar PV system consists of an array of photovoltaic panels connected via an inverter (or micro-inverters) to provide power for a building. During the day, any excess production feeds into the grid, spinning the meter backwards. At night when the solar modules are not producing electricity, the electricity comes from the grid. If enough energy is exported during the day, it will balance or exceed the amount you draw from the grid at night. Typical grid-tied solar does not have a backup energy source in the event of a grid outage, and the building should be expected to lose power in an outage, unless batteries are added to the system.

1/9/2019 PVWatts Calculator

**RESULTS** **83,596 kWh/Year\***

Month	kWh/m <sup>2</sup> /day	kWh/m <sup>2</sup> /yr	kWh
January	3.34	4,605	377
February	3.48	5,346	433
March	5.17	7,555	615
April	5.30	8,247	669
May	6.35	8,639	717
June	7.12	9,315	755
July	6.71	8,887	721
August	6.22	8,403	681
September	5.61	7,596	606
October	4.27	6,095	491
November	3.32	4,574	364
December	2.76	4,175	339
<b>Annual</b>	<b>5.03</b>	<b>83,595</b>	<b>\$ 6,780</b>

**Location and Station Identification**

Requested Location: 80801, USA  
 Weather Data Source: Lat, Long: 46.17, -105.1 0.4 mi  
 Latitude: 46.17° N  
 Longitude: 105.1° W

**PV System Specifications (Residential)**

DC System Size: 60 kW  
 Module Type: Standard  
 Array Type: Fixed (roof mount)  
 Array Tilt: 10°  
 Array Azimuth: 180°  
 System Losses: 14.88%  
 Inverter Efficiency: 96%  
 DC to AC Size Ratio: 1.2

**Economics**

Average Retail Electricity Rate: 0.881 \$/kWh

**Performance Metrics**

Capacity Factor: 15.9%

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DD REVISIONS		01.11.2019

SCALE:

DRAWN BY: TJM

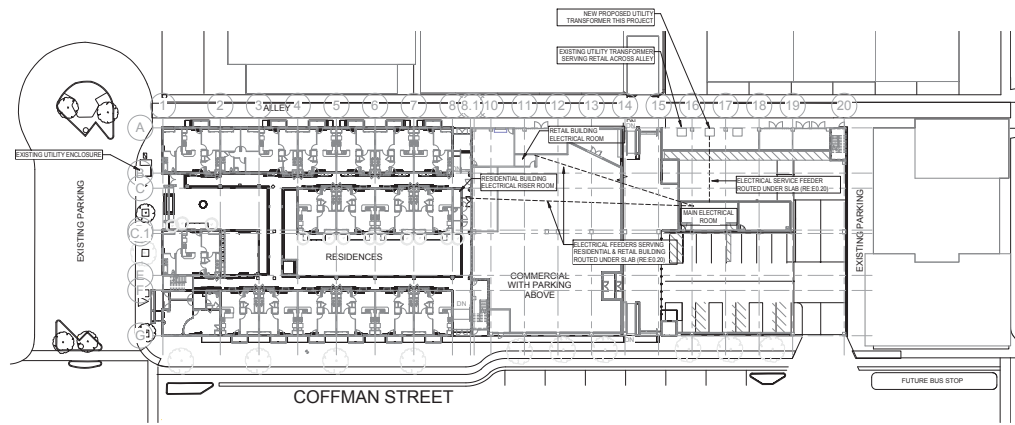
CHECKED BY: DGM

JOB NUMBER: 18154

PV SYSTEM  
DETAILS

E0.70

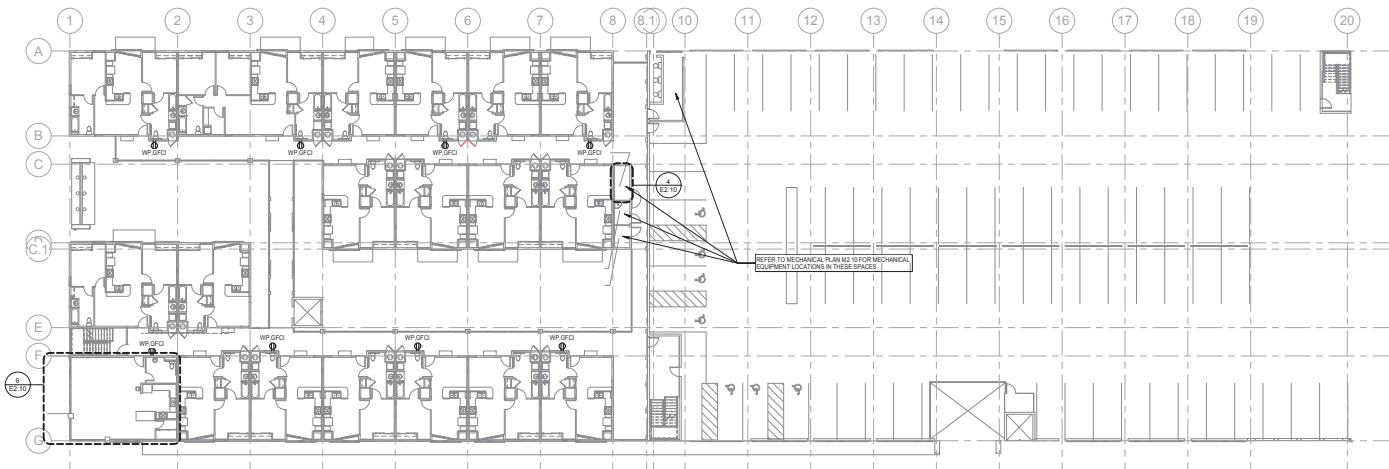
**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



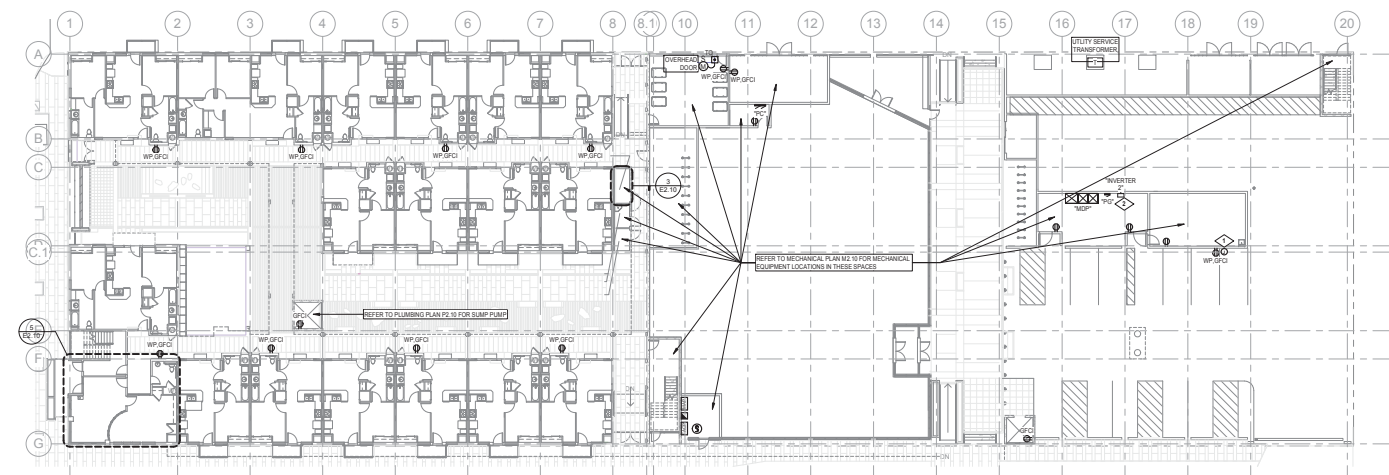
**ELECTRICAL SITE PLAN**  
SCALE: 1" = 30'-0"

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SCALE:	1" = 30'-0"	
DRAWN BY:	TJM	
CHECKED BY:	DGM	
JOB NUMBER:	18154	

**ELECTRICAL SITE PLAN**  
**E2.00**



**LEVEL 2 POWER PLAN**  
SCALE: 1/8" = 1'-0"

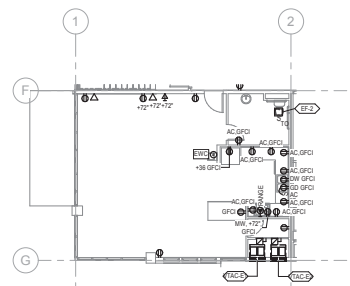


**LEVEL 1 POWER PLAN** **DRAWING NOTES:**  
SCALE: 1/8" = 1'-0"

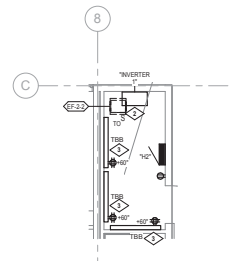
FIRE ALARM IN SYSTEM SHOWN ON CD. FIRE ALARM NOTIFICATION, DETECTOR, MANUAL ALARM, AND FIRE SUPPRESSION MONITORING SYSTEM SHALL BE PROVIDED AS REQUIRED PER CODE.

- PROVIDE (2) 200V 1PH 40A HARD WIRED ELECTRICAL CONNECTIONS TO DUAL PORT ELECTRIC VEHICLE CHARGING FEEDER. TYPE CHANGE POINT C12000 SERIES (OR APPROVED EQUAL). PROVIDE 5 WIRE BRANCH CIRCUIT WIRING (4# 14/100VTC TO FEEDER, CONNECTION POINT. COORDINATE INSTALLATION WITH EQUIPMENT SUPPLIER AND GENERAL CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE EMERGENCY LIGHTING INVERTER. ISOLITE #E3MAC-3000-3P4F-CA-2S-58-MS (OR APPROVED EQUAL). INVERTER SHALL BE 3000 WATTS, 120/208V 3-PHASE W/MT, 120V 1-PHASE OUTPUT, 8 NORMALLY ON SWITCHED OUTPUT BREAKERS, WITH MAINTENANCE BYPASS.
- PROVIDE 48"x48"x3/4" PLYWOOD TELEPHONE BACKBOARD MOUNTED AT 48" AFF TO BOTTOM 3/8M COAT AND PAINT WITH FIRE RESISTANT PAINT TO MATCH ADJACENT WALL. PROVIDE (1) DEDICATED FOUR-EX-RECEPTACLE MOUNTED AT 48" AFF. REFER TO TELECOM ONE-LINE DIAGRAM ON SHEET E2.30 FOR ADDITIONAL DETAIL AND REQUIREMENTS.

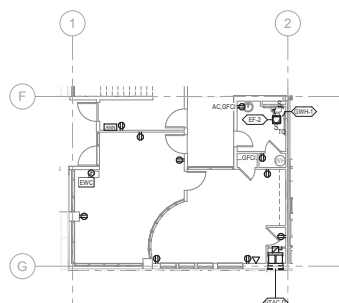
- GENERAL NOTES:**
- ELECTRICAL, TELECOMMUNICATIONS, FIRE ALARM, AND SPECIAL SYSTEMS DEVICES SHALL BE MOUNTED IN ACCORDANCE WITH DEVICE MOUNTING DETAIL ON SHEET E2.00. REFER TO ADDITIONAL ELECTRICAL DEVICE MOUNTING DETAILS INCLUDING DWELLING UNIT KITCHEN CORNER MOUNT DETAIL, AND KITCHEN ISLAND, PENINSULA MOUNTING DETAIL (S) ON SHEET E2.10 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  - ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
  - COORDINATE EXACT LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE DEDICATED ELECTRICAL CONNECTIONS TO ALL MECHANICAL AND PLUMBING EQUIPMENT UNLESS OTHERWISE INDICATED ON PLANS. REFER TO MECHANICAL EQUIPMENT SCHEDULE(S) ON SHEET E2.60 FOR ELECTRICAL CONNECTION INFORMATION.
  - PROVIDE REMOTE GFCI RESET SWITCHES FOR ALL GFCI DUPLEX RECEPTABLES LOCATED BEHIND FIXED EQUIPMENT (NOT READILY ACCESSIBLE). FLUSH MOUNT GFCI RESET SWITCH IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE WEATHER RESISTANT GFCI TYPE RECEPTABLE WITH WEATHER PROOF WHILE-IN-USE COVER FOR ALL DUPLEX RECEPTABLES TAGGED "WP".



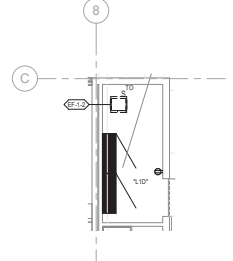
**AMENITY CLUBHOUSE LEVEL 2 POWER**  
SCALE: 1/8" = 1'-0"



**LEVEL 2 POWER PLAN ENLARGED**  
SCALE: 1/4" = 1'-0"



**AMENITY CLUBHOUSE LEVEL 1 POWER**  
SCALE: 1/8" = 1'-0"



**LEVEL 1 POWER PLAN ENLARGED**  
SCALE: 1/4" = 1'-0"



380 SANTA FE DRIVE  
DENVER, CO 80204  
PHONE 303.589.9914  
WWW.RNNARCHITECTS.COM

380 SANTA FE DRIVE  
DENVER, CO 80204  
PHONE 303.589.9914  
WWW.MEPENGINEERING.COM

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DD REVISIONS	01.11.2019

SCALE:	As Indicated
DRAWN BY:	TJM
CHECKED BY:	DDM
JOB NUMBER:	18154

**POWER PLANS  
LEVELS 1 & 2**

**E2.10**

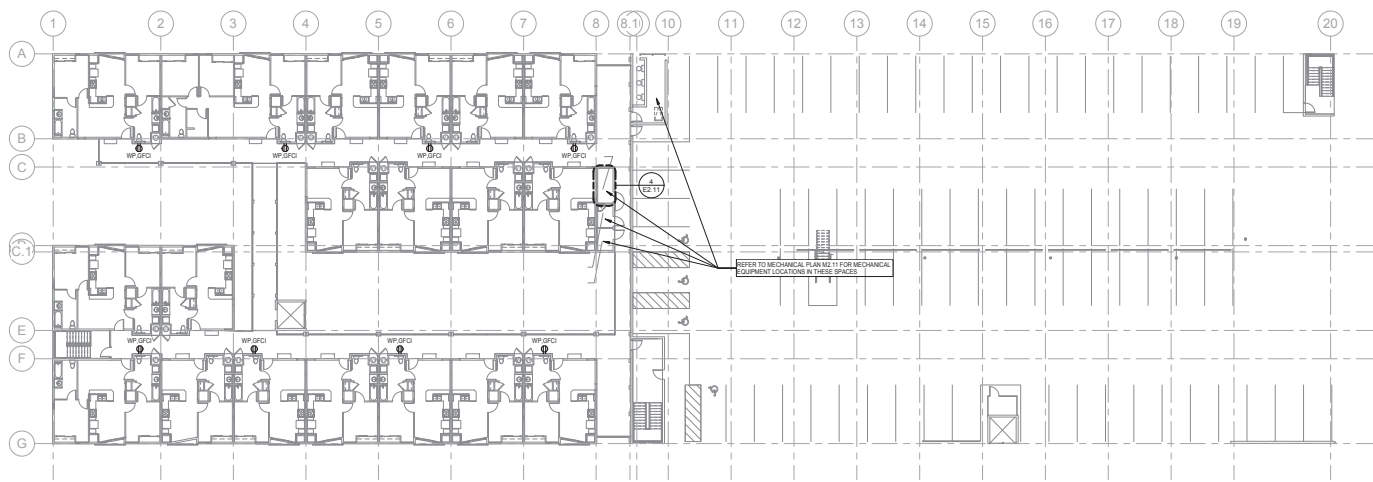
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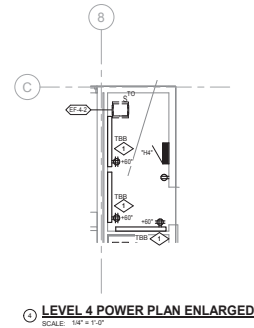
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DRAWN BY: TJM  
CHECKED BY: DGM  
JOB NUMBER: 18154

**POWER PLANS  
LEVELS 3 & 4**

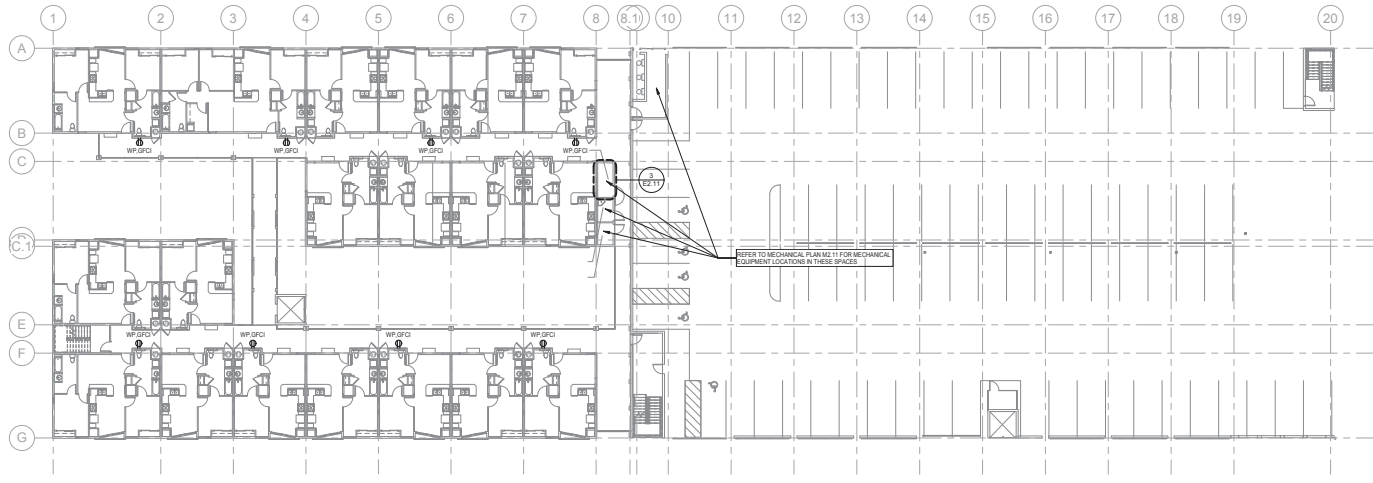
**E2.11**



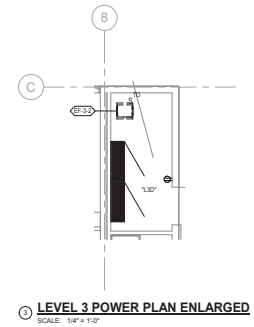
**LEVEL 4 POWER PLAN**  
SCALE: 1/8" = 1'-0"



**1 LEVEL 4 POWER PLAN ENLARGED**  
SCALE: 1/4" = 1'-0"



**LEVEL 3 POWER PLAN**  
SCALE: 1/8" = 1'-0"



**2 LEVEL 3 POWER PLAN ENLARGED**  
SCALE: 1/4" = 1'-0"

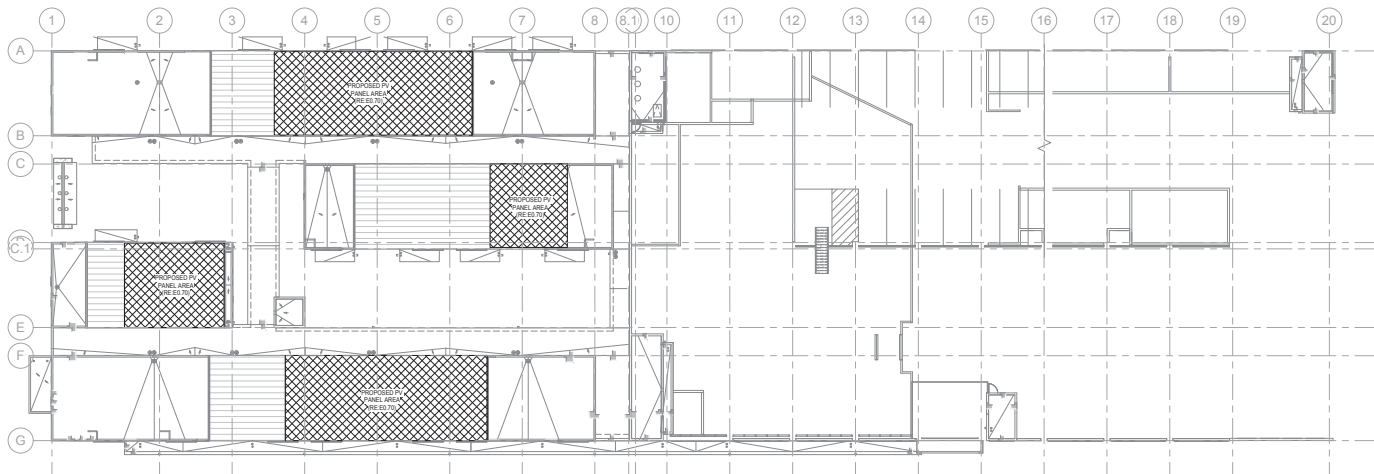
FIRE ALARM HEAD IN SYSTEM DOWN ON CD IS FIRE ALARM NOTIFICATION, DETECTOR, MANUAL ALARM, AND FIRE SUPPRESSION MONITORING SYSTEM SHALL BE PROVIDED AS REQUIRED PER CODE.

- DRAWING NOTES:**
- 1 PROVIDE 48"X12"X1/4" PLYWOOD TELEPHONE BACKBOARD MOUNTED AT 48" AFF TO BOTTOM. 90% GAOAT AND PAINT WITH FIRE RESISTANT PAINT TO MATCH ADJACENT WALL. PROVIDE (1) DEDICATED DUPLEX RECEPTACLE MOUNTED AT 48" AFF. REFER TO TELECOM ONE-LINE DIAGRAM ON SHEET E2.30 FOR ADDITIONAL DETAIL AND REQUIREMENTS.

- GENERAL NOTES:**
- 1 ELECTRICAL, TELECOMMUNICATIONS, FIRE ALARM, AND SPECIAL SYSTEMS DEVICES SHALL BE MOUNTED IN ACCORDANCE WITH DEVICE MOUNTING DETAILS ON SHEET E.200. REFER TO ADDITIONAL ELECTRICAL DEVICE MOUNTING DETAILS INCLUDING DWELLING UNIT KITCHEN CORNER MOUNT DETAILS AND KITCHEN ISLAND PENINSULA MOUNTING DETAILS ON SHEET E.201 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  - 2 ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
  - 3 COORDINATE EXACT LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE DEDICATED ELECTRICAL CONNECTIONS TO ALL MECHANICAL AND PLUMBING EQUIPMENT UNLESS OTHERWISE INDICATED ON PLANS. REFER TO MECHANICAL EQUIPMENT SCHEDULE(S) ON SHEET E.60 FOR ELECTRICAL CONNECTION INFORMATION.
  - 4 PROVIDE REMOTE GFCI RESET SWITCHES FOR ALL GFCI DUPLEX RECEPTACLES LOCATED BEHIND FIXED EQUIPMENT (NOT READILY ACCESSIBLE). FLUSH MOUNT GFCI RESET SWITCH IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
  - 5 PROVIDE WEATHER RESISTANT GFCI TYPE RECEPTACLE WITH WEATHER PROOF WHILE-IN-USE COVER FOR ALL DUPLEX RECEPTACLES TAGGED "WP".



**BCHA - 518 COFFMAN STREET  
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REFER TO SHEET E2.10 FOR DETAILED ANALYSIS OF PV SYSTEM FOR THIS PROJECT

**POWER ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

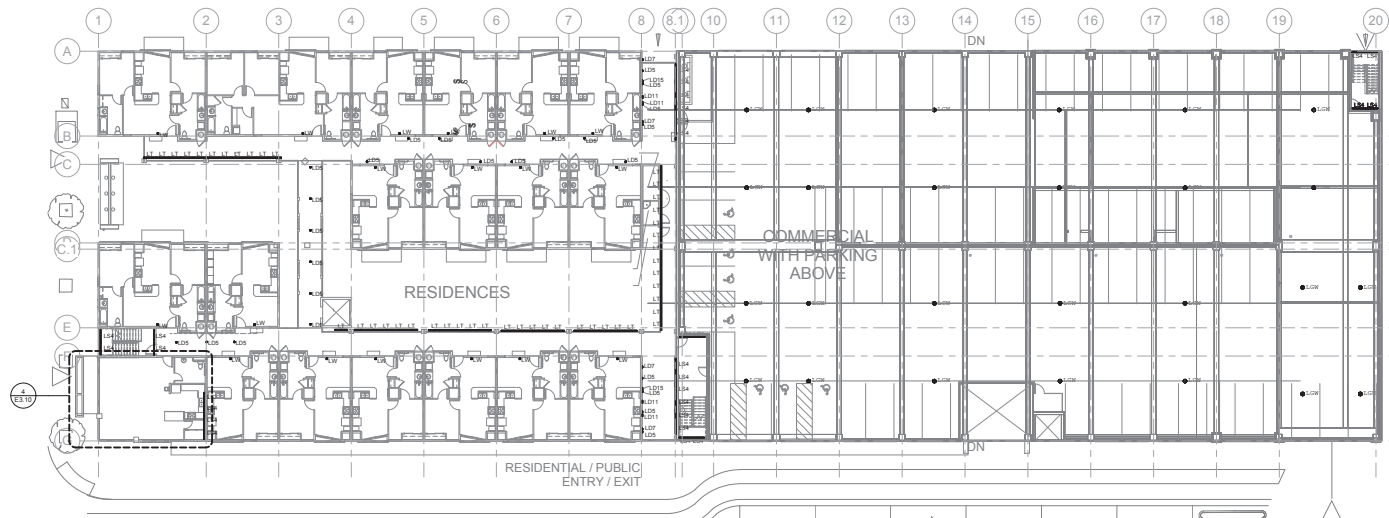
- ELECTRICAL, TELECOMMUNICATIONS, FIRE ALARM, AND SPECIAL SYSTEMS DEVICES SHALL BE MOUNTED IN ACCORDANCE WITH DEVICE MOUNTING DETAILS ON SHEET E.200. REFER TO ADDITIONAL ELECTRICAL DEVICE MOUNTING DETAILS INCLUDING DWELLING UNIT KITCHEN CORNER MOUNT DETAILS AND KITCHEN ISLAND PENINSULA MOUNTING DETAILS ON SHEET E2.10 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTINGS SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
- COORDINATE EXACT LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE DEDICATED ELECTRICAL CONNECTIONS TO ALL MECHANICAL AND PLUMBING EQUIPMENT UNLESS OTHERWISE INDICATED ON PLANS. REFER TO MECHANICAL EQUIPMENT SCHEDULE(S) ON SHEET E2.10 FOR ELECTRICAL CONNECTION INFORMATION.
- PROVIDE REMOTE GFCI RESET SWITCHES FOR ALL GFCI DUPLEX RECEPTACLES LOCATED BEHIND FIXED EQUIPMENT (NOT READILY ACCESSIBLE). FLUSH MOUNT GFCI RESET SWITCH IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE WEATHER RESISTANT GFCI TYPE RECEPTACLE WITH WEATHER PROOF WHILE-IN-USE COVER FOR ALL DUPLEX RECEPTACLES TAGGED "WIP".

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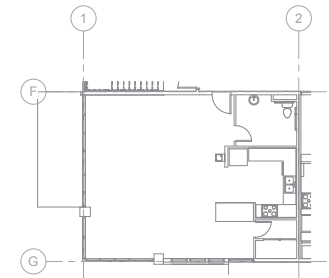
SCALE: 1/8" = 1'-0"  
DRAWN BY: TJM  
CHECKED BY: DGM  
JOB NUMBER: 18154

**POWER ROOF PLAN**  
**E2.12**

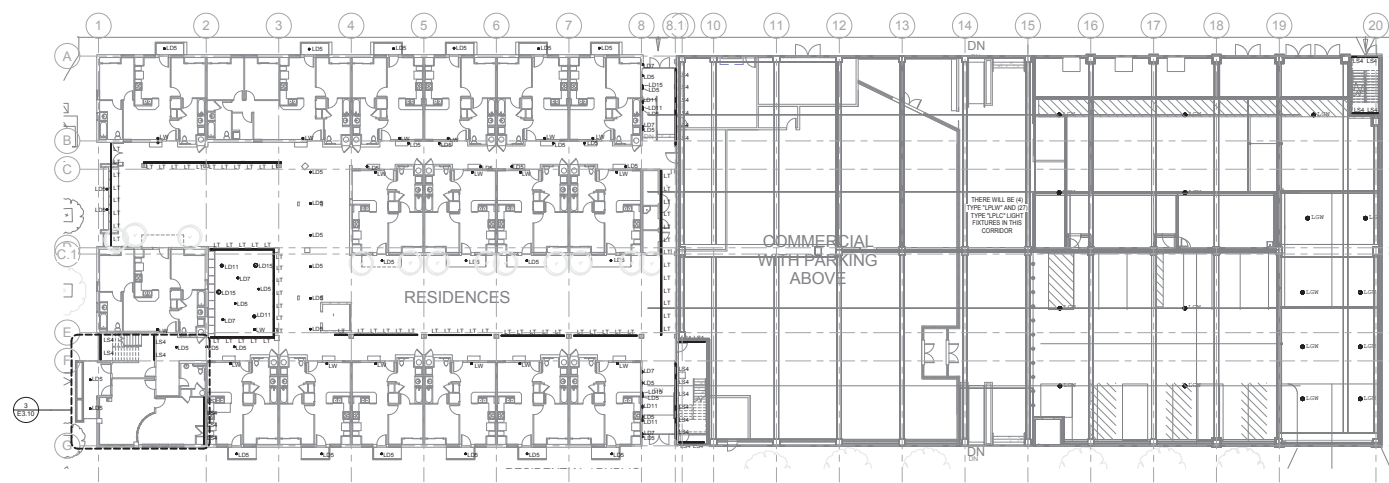




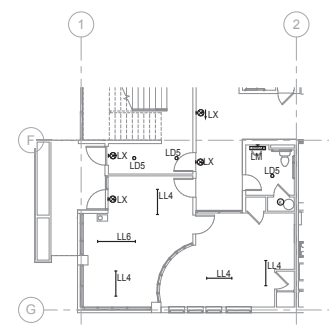
**LEVEL 2 LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**AMENITY CLUBHOUSE LEVEL 2 LIGHTING**  
SCALE: 1/8" = 1'-0"



**LEVEL 1 LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**AMENITY CLUBHOUSE LEVEL 1 LIGHTING**  
SCALE: 1/8" = 1'-0"

**DRAWING NOTES:**

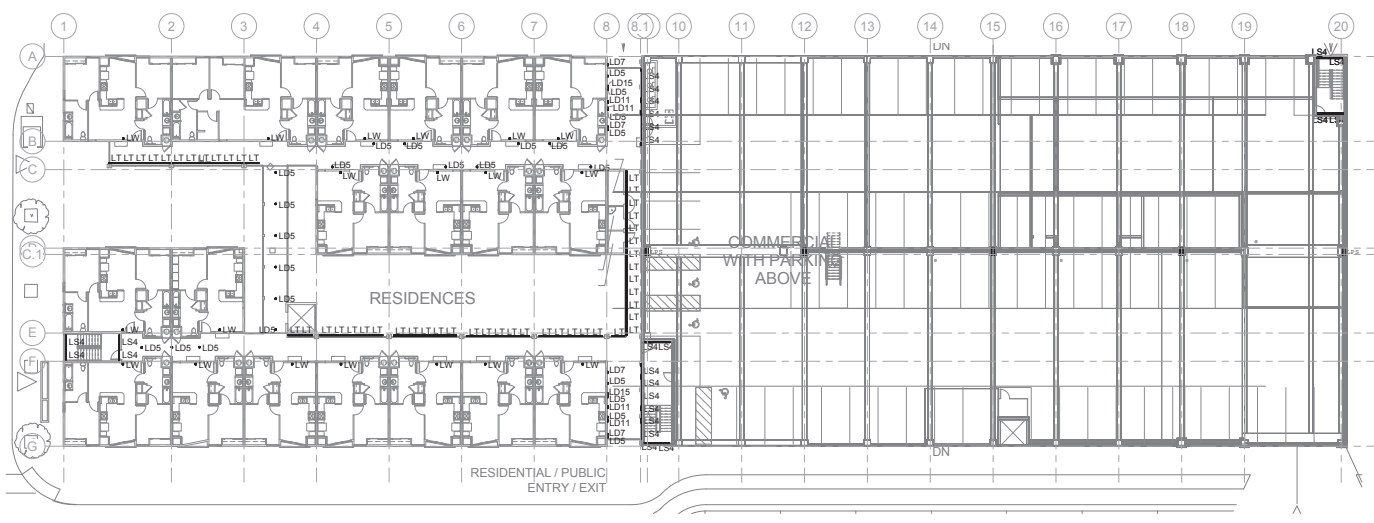
**GENERAL NOTES:**

- 1. EXIT SIGNS SHALL BE PLACED ALONG PATHS OF EGRESS AS REQUIRED BY CODE. NOT ALL EXIT SIGNS ARE SHOWN ON THESE PLANS.
- 2. EMERGENCY LIGHTING WILL BE POWERED VIA INVERTERS. RESIDENTIAL EGRESS LIGHTS WILL INCLUDE BUT ARE NOT LIMITED TO APPROXIMATELY HALF OF THE BREZZINAW LIGHTS. ALL STAIRWELL LIGHTS, INTERIOR CORRIDOR LIGHTS, RESTROOM LIGHTS, MECHANICAL ELECTRICAL ROOM LIGHTS, AND EXTERIOR EGRESS LIGHTS. THESE LIGHTS IN THE RESIDENTIAL PORTION OF THE BUILDING WILL BE POWERED ON INVERTER 2 DURING A POWER FAILURE. EMERGENCY LIGHTS SHALL BE CONTROLLED UNDER NORMAL CONDITIONS AND SWITCH TO FULL OUTPUT UPON LOSS OF NORMAL POWER. LIGHTS TO RETURN TO NORMAL CONTROL WHEN POWER IS RESTORED. INVERTER 1 SHALL BE LOCATED IN THE LEVEL 2 ELECTRICAL ROOM.
- 3. PARKING GARAGE EGRESS LIGHTS WILL INCLUDE BUT ARE NOT LIMITED TO APPROXIMATELY HALF OF THE LIGHTS ALONG THE DRIVE ALLEYS. ALL STAIRWELL LIGHTS, INTERIOR CORRIDOR LIGHTS, RESTROOM LIGHTS, MECHANICAL ELECTRICAL ROOM LIGHTS, AND EXTERIOR EGRESS LIGHTS. THESE LIGHTS IN THE PARKING GARAGE PORTION OF THE BUILDING WILL BE POWERED ON INVERTER 2 DURING A POWER FAILURE. EMERGENCY LIGHTS SHALL BE CONTROLLED UNDER NORMAL CONDITIONS AND SWITCH TO FULL OUTPUT UPON LOSS OF NORMAL POWER. LIGHTS TO RETURN TO NORMAL CONTROL WHEN POWER IS RESTORED. INVERTER 2 SHALL BE LOCATED IN THE MAIN ELECTRICAL ROOM IN THE PARKING GARAGE.
- 4. ALL BACK OF HOUSE ROOMS INCLUDING BUT NOT LIMITED TO ELECTRIC ROOMS, COMMUNICATION ROOMS AND MAINTENANCE CLOSETS WILL REQUIRE A LIGHT FIXTURE AND SWITCH PER CODE.

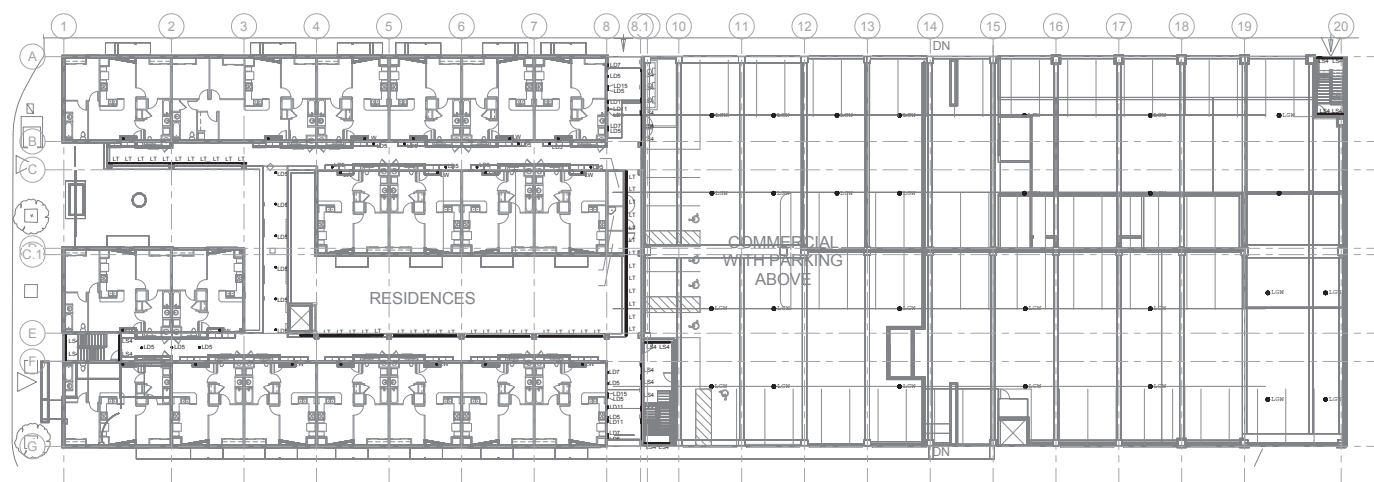
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SCALE:	As Indicated
DRAWN BY:	TJM
CHECKED BY:	DDM
JOB NUMBER:	18154

**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**LEVEL 4 LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**LEVEL 3 LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

**DRAWING NOTES:**

**GENERAL NOTES:**

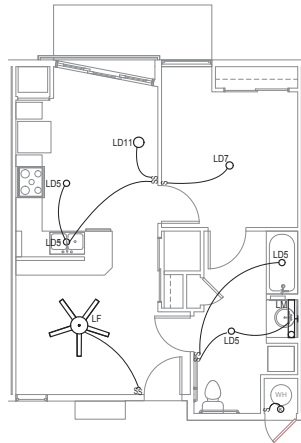
- 1. EXIT SIGNS SHALL BE PLACED ALONG PATHS OF EGRESS AS REQUIRED BY CODE. NOT ALL EXIT SIGNS ARE SHOWN ON THESE PLANS.
- 2. EMERGENCY LIGHTING WILL BE POWERED BY INVERTERS. RESIDENTIAL EGRESS LIGHTS WILL INCLUDE BUT ARE NOT LIMITED TO APPROXIMATELY 1/2 OF THE BREAKDOWN LIGHTS, ALL STAIRWELL LIGHTS, INTERIOR CORRIDOR LIGHTS, VESTIBULE LIGHTS, MECHANICAL/ELECTRICAL ROOM LIGHTS, AND EXTERIOR EGRESS LIGHTS. THESE LIGHTS IN THE RESIDENTIAL PORTION OF THE BUILDING WILL BE POWERED BY INVERTER 1 DURING A POWER FAILURE. EMERGENCY LIGHTS SHALL BE CONTROLLED UNDER NORMAL CONDITIONS AND SWITCH TO FULL OUTPUT UPON LOSS OF NORMAL POWER. LIGHTS TO RETURN TO NORMAL CONTROL WHEN POWER IS RESTORED. INVERTER 1 SHALL BE LOCATED IN THE LEVEL 4 ELECTRICAL ROOM.
- 3. PARKING GARAGE EGRESS LIGHTS WILL INCLUDE BUT ARE NOT LIMITED TO APPROXIMATELY 1/2 OF THE LIGHTS ALONG THE DRING AREAS, ALL STAIRWELL LIGHTS, INTERIOR CORRIDOR LIGHTS, VESTIBULE LIGHTS, MECHANICAL/ELECTRICAL ROOM LIGHTS, AND EXTERIOR EGRESS LIGHTS. THESE LIGHTS IN THE PARKING GARAGE PORTION OF THE BUILDING WILL BE POWERED BY INVERTER 2 DURING A POWER FAILURE. EMERGENCY LIGHTS SHALL BE CONTROLLED UNDER NORMAL CONDITIONS AND SWITCH TO FULL OUTPUT UPON LOSS OF NORMAL POWER. LIGHTS TO RETURN TO NORMAL CONTROL WHEN POWER IS RESTORED. INVERTER 2 SHALL BE LOCATED IN THE MAIN ELECTRICAL ROOM IN THE PARKING GARAGE.
- 4. ALL BACK OF HOUSE ROOMS INCLUDING BUT NOT LIMITED TO ELECTRIC ROOMS, COMMUNICATION ROOMS AND MAINTENANCE CLOSETS WILL REQUIRE LIGHT FIXTURE AND SWITCHES LOCK.

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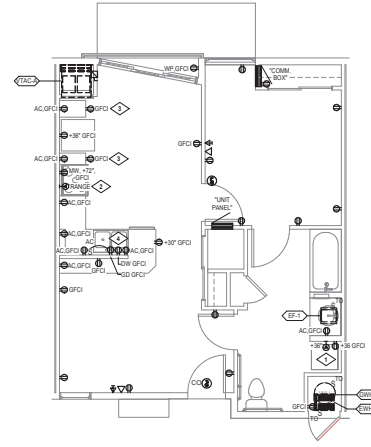
SCALE:	1/8" = 1'-0"
DRAWN BY:	TJM
CHECKED BY:	DDM
JOB NUMBER:	18154

**LIGHTING PLANS  
LEVELS 3 & 4**

**E3.11**



UNIT 1U-A LIGHTING PLAN  
1/4" = 1'-0"



UNIT 1U-A POWER PLAN  
1/4" = 1'-0"

**ELECTRICAL GENERAL NOTES:**

- ELECTRICAL, TELECOMMUNICATIONS, FIRE ALARM AND SPECIAL SYSTEMS DEVICES SHALL BE MOUNTED IN ACCORDANCE WITH DEVICE MOUNTING DETAIL ON SHEET E-06. REFER TO ADDITIONAL ELECTRICAL DEVICE MOUNTING DETAILS INCLUDING DWELLING UNIT KITCHEN CORNER MOUNT DETAIL AND KITCHEN ISLAND PENINSULA MOUNTING DETAILS ON SHEET E-10 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL, AND TIGHT TO COLUMNS AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
- COORDINATE EXACT LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE DEDICATED ELECTRICAL CONNECTIONS TO ALL MECHANICAL AND PLUMBING EQUIPMENT UNLESS OTHERWISE INDICATED ON PLANS. REFER TO MECHANICAL EQUIPMENT SCHEDULE(S) ON SHEET E-04 FOR ELECTRICAL CONNECTION INFORMATION.
- PROVIDE REMOTE GFCI RESET SWITCHES FOR ALL GFCI DUPLEX RECEPTACLES LOCATED BEHIND FIXED EQUIPMENT (NOT READILY ACCESSIBLE). FLUSH MOUNT GFCI RESET SWITCH IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE WEATHER RESISTANT GFCI TYPE RECEPTACLE WITH WEATHER PROOF WIRE-RAISE COVER FOR ALL DUPLEX RECEPTACLES TAGGED "WP".
- REFER TO SHEET E-06 FOR LIGHTING FIXTURE SCHEDULES.
- ALL BRANCH CIRCUITY SUPPLYING OUTLETS IN AREAS SPECIFIED IN NEC 210-12(B) SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.
- ALL 120V, 15 AND 20A RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT TYPE IN ALL DWELLING UNIT AREAS SPECIFIED IN NEC 210-52.
- REFERENCE ARCHITECTURAL PLANS FOR UNITS DESIGNATED TO BE HANDICAP FOR ADA. PROVIDE STROBES IN ALL BATHROOMS AND BEDROOMS TIED TO BUILDING FIRE ALARM SYSTEM. COORDINATE AND PROVIDE A MANUFACTURER APPROVED SWITCH ABOVE THE COUNTERTOP TO RANGE TO CONTROL THE RANGE HOOD TO MEET ANSI A117.1-2003. SWITCH MUST BE ABLE TO CONTROL ON / OFF OF LIGHT FIXTURE. SWITCH IS HIGH / LOW / OFF OF FAN SPEED AND MAINTAIN UL LISTING OF HOOD SUPPLIED.
- ALL CEILING JUNCTION BOXES FOR LIGHTS IN THE BEDROOMS AND LIVING ROOMS TO BE CEILING FAN RATED.
- ELECTRICAL CONTRACTOR TO ADJUST RECEPTACLE LOCATIONS AND SPACING FOR ALTERNATE LAYOUTS AND SLIGHT VARIATIONS IN TYPICAL UNIT TYPES DEPENDING ON UNIT LOCATION OR ORIENTATION IN THE BUILDING TO MEET SPACING REQUIREMENTS OF NEC 210-15.
- COORDINATE RECEPTACLES ABOVE COUNTERTOPS IN BATHROOMS WITH MIRRORS.
- ALL SWITCHED DUPLEX RECEPTACLES SHALL BE SPLIT SUCH THAT THE BOTTOM RECEPTACLE IS SWITCHED AND THE TOP RECEPTACLE REMAINS HOT.
- COORDINATE MOUNTING HEIGHTS OF THE BATHROOM VANITY FIXTURES WITH MIRRORS AND CEILING PRIOR TO ROUGH-IN. COORDINATE WITH GENERAL CONTRACTOR AND ARCHITECTURAL PLANS.

**FIRE ALARM GENERAL NOTES:**

- ELECTRICAL CONTRACTOR SHALL INSTALL FIRE ALARM SMOKE AND MALL TYLE DETECTOR SMOKE DETECTORS IN ACCORDANCE WITH NFPA 72 NATIONAL FIRE ALARM AND SIGNAL CODE. ELECTRICAL CONTRACTOR SHALL INSTALL CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH NFPA 720 CARBON MONOXIDE DETECTION CODE.
- ALL SMOKE STATION SMOKE ALARMS/CARBON MONOXIDE DETECTORS TO BE HARDWIRED WITH INTEGRAL BATTERY BACKUP, NOT CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
- ALL COMBINATION HORN/STROBES, MIN HORN, AND STROBES TO BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
- FIRE ALARM SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE MINIMUM 3 FEET AWAY FROM ANY CEILING FAN BLADE, RESTROOM DOOR WITH SHOWER OR BATHTUB, AND/OR TRAC OFFICER PER NFPA 720-8.4.
- FIRE ALARM SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE MINIMUM 15 FEET AWAY FROM THE KITCHEN RANGE PER NFPA 720-8.4.
- REFERENCE ARCHITECTURAL PLANS FOR UNITS DESIGNATED TO BE TYPE A HANDICAP FOR ADA. PROVIDE STROBES IN ALL BATHROOMS AND BEDROOMS TIED TO BUILDING FIRE ALARM SYSTEM.
- PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING UNIT PER NFPA 720 PROVIDE (1) CARBON MONOXIDE DETECTOR AT MINIMUM ON EACH LEVEL OF DWELLING UNIT.

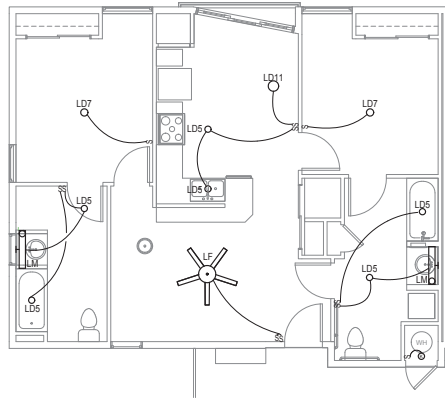
**DRAWING NOTES:**

- OWNER: PROVIDE 50A, 200V, 1PH RECEPTACLE CONNECTION WITH (3) #10, #10(B) BRANCH CIRCUIT WIRING. COORDINATE EXACT RECEPTACLE NEMA CONFIGURATION WITH FINAL APPROVED APPLIANCE PRODUCT DATA.
- RANGE: PROVIDE 50A, 200V, 1PH RECEPTACLE CONNECTION WITH (3) #10, #10(B) BRANCH CIRCUIT WIRING. COORDINATE EXACT RECEPTACLE NEMA CONFIGURATION WITH FINAL APPROVED APPLIANCE PRODUCT DATA.
- MOUNT ELECTRICAL DEVICE TO FRONT FACE OF BASE CABINET FOR ACCESSIBILITY.
- MOUNT RECEPTACLE SERVING DISHWASHER INSIDE KITCHEN SINK BASE CABINET FOR ACCESSIBILITY.

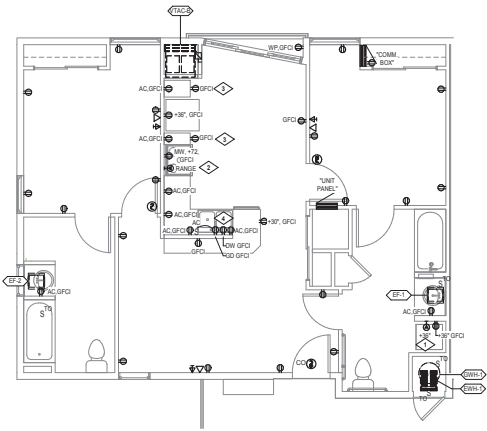
ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
SD/DESIGN DEVELOPMENT		09.12.2018
100% CD PROGRESS		11.30.2018
DD REVISIONS		01.11.2019
SCALE:		1/4" = 1'-0"
DRAWN BY:	TJM	
CHECKED BY:	DM	
JOB NUMBER:	18154	

ELECTRICAL PLAN  
UNIT 1U-A

**E3.20**



② UNIT 2U-A LIGHTING PLAN  
1/4" = 1'-0"



① UNIT 2U-A POWER PLAN  
1/4" = 1'-0"

**ELECTRICAL GENERAL NOTES:**

- ELECTRICAL, TELECOMMUNICATIONS, FIRE ALARM AND SPECIAL SYSTEMS DEVICES SHALL BE MOUNTED IN ACCORDANCE WITH DEVICE MOUNTING DETAIL ON SHEET E-200. REFER TO ADDITIONAL ELECTRICAL DEVICE MOUNTING DETAILS INCLUDING DWELLING UNIT KITCHEN CORNER MOUNT DETAIL AND KITCHEN ISLAND / PENINSULA MOUNTING DETAILS ON SHEET E-19 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- ALL EXPOSED CONDUIT SHALL BE ROUTED PERPENDICULAR, PARALLEL AND TIGHT TO COLUMNING AND BEAMS. ALL EXPOSED CONDUIT ROUTING SHALL BE COORDINATED WITH ARCHITECT, GENERAL CONTRACTOR, AND OWNER PRIOR TO INSTALLATION. ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT ARCHITECTURAL SURFACE.
- COORDINATE EXACT LOCATIONS OF MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE DEDICATED ELECTRICAL CONNECTIONS TO ALL MECHANICAL AND PLUMBING EQUIPMENT UNLESS OTHERWISE INDICATED ON PLANS. REFER TO MECHANICAL EQUIPMENT SCHEDULE(S) ON SHEET E-60 FOR ELECTRICAL CONNECTION INFORMATION.
- PROVIDE REMOTE GFCI RESET SWITCHES FOR ALL GFCI DUPLEX RECEPTACLES LOCATED BEHIND FIXED EQUIPMENT (NOT READILY ACCESSIBLE). FLUSH MOUNT GFCI RESET SWITCH IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE WEATHER RESISTANT GFCI TYPE RECEPTACLE WITH WEATHER PROOF WHILE-IN-USE COVER FOR ALL DUPLEX RECEPTACLES TAGGED "WP".
- REFER TO SHEET E-60 FOR LIGHTING FIXTURE SCHEDULES.
- ALL BRANCH CIRCUITRY SUPPLYING OUTLETS IN AREAS SPECIFIED IN NEC 210-12(B) SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.
- ALL 120V, 15 AND 20A RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT TYPE IN ALL DWELLING UNIT AREAS SPECIFIED IN NEC 210.52.
- REFERENCE ARCHITECTURAL PLANS FOR UNITS DESIGNATED TO BE HANDICAP FOR ADA. PROVIDE STROBES IN ALL BATHROOMS AND BEDROOMS TIED TO BUILDING FIRE ALARM SYSTEM. COORDINATE AND PROVIDE A MANUFACTURER APPROVED RANGE ABOVE THE COUNTER HEAT TO RANGE TO CONTROL THE RANGE HOOD TO MEET ANS I 11.3 - 2003. SWITCH MUST BE ABLE TO CONTROL ON / OFF OF LIGHT FIXTURE SEPARATE FROM HIGH / LOW / OFF OF FAN SPEED AND MAINTAIN UL LISTING OF HOOD SUPPLIED.
- ALL CEILING JUNCTION BOXES FOR LIGHTS IN THE BEDROOMS AND LIVING ROOMS TO BE CEILING FAN RATED.
- ELECTRICAL CONTRACTOR TO ADJUST RECEPTACLE LOCATIONS AND SPACING FOR ALTERNATE LAYOUTS AND SLIGHT VARIATIONS IN TYPICAL UNIT TYPES DEPENDING ON UNIT LOCATION OR ORIENTATION IN THE BUILDING TO MEET SPACING REQUIREMENTS OF NEC 210.52.
- COORDINATE RECEPTACLES ABOVE COUNTERTOPS IN BATHROOMS WITH MIRRORS.
- ALL SWITCHED DUPLEX RECEPTACLES SHALL BE SPLIT SUCH THAT THE BOTTOM RECEPTACLE IS SWITCHED AND THE TOP RECEPTACLE REMAINS HOT.
- COORDINATE MOUNTING HEIGHTS OF THE BATHROOM VANITY FIXTURES WITH MIRRORS AND CEILING PRIOR TO ROUGH-IN. COORDINATE WITH GENERAL CONTRACTOR AND ARCHITECTURAL PLANS.

**FIRE ALARM GENERAL NOTES**

- ELECTRICAL CONTRACTOR SHALL INSTALL FIRE ALARM SINGLE AND MULTIPLE STATION SMOKE DETECTORS IN ACCORDANCE WITH NFPA 72 NATIONAL FIRE ALARM AND SIGNAL CODE. ELECTRICAL CONTRACTOR SHALL INSTALL CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH NFPA 72 CARBON MONOXIDE DETECTION CODE.
- ALL SINGLE STATION SMOKE ALARMS/CARBON MONOXIDE DETECTORS TO BE HARDWIRED WITH INTEGRAL BATTERY BACKUP, NOT CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
- ALL COMBINATION CORN/STROBES, MIN HORNS, AND STROBES TO BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
- FIRE ALARM SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE MINIMUM 18 FEET AWAY FROM ANY CEILING FAN BLADE, RESTROOM DOOR WITH SHOWER OR BATH TUB, AND/OR HVAC DIFFUSER PER NFPA 72-20.8.4.
- FIRE ALARM SMOKE DETECTORS AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE MINIMUM 18 FEET AWAY FROM THE KITCHEN RANGE PER NFPA 72-20.8.4.
- REFERENCE ARCHITECTURAL PLANS FOR UNITS DESIGNATED TO BE TYPE A HANDICAP FOR ADA. PROVIDE STROBES IN ALL BATHROOM AND BEDROOMS TIED TO BUILDING FIRE ALARM SYSTEM.
- PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING UNIT PER NFPA 720. PROVIDE (1) CARBON MONOXIDE DETECTOR AT MINIMUM ON EACH LEVEL OF DWELLING UNIT.

**DRAWING NOTES:**

- DRIVER: PROVIDE 30A, 208V, 1PH RECEPTACLE CONNECTION WITH (3-410, 1-4100) BRANCH CIRCUIT WIRING. COORDINATE EXACT RECEPTACLE NEMA CONFIGURATION WITH FINAL APPROVED APPLIANCE PRODUCT DATA.
- RANGE: PROVIDE 50A, 208V, 1PH RECEPTACLE CONNECTION WITH (3-40, 1-4100) BRANCH CIRCUIT WIRING. COORDINATE EXACT RECEPTACLE NEMA CONFIGURATION WITH FINAL APPROVED APPLIANCE PRODUCT DATA.
- MOUNT ELECTRICAL DEVICE TO FRONT FACE OF BASE CABINET FOR ACCESSIBILITY.
- MOUNT RECEPTACLE SERVING DISHWASHER INSIDE KITCHEN SINK BASE CABINET FOR ACCESSIBILITY.

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
50% DESIGN DEVELOPMENT		09.12.2018
100% CD PROGRESS		11.30.2018
DD REVISIONS		01.11.2019
SCALE:		1/4" = 1'-0"
DRAWN BY:		TJM
CHECKED BY:		DM
JOB NUMBER:		18154

**ELECTRICAL PLAN  
UNIT 2U-A**

**E3.21**





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REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

DWELLING UNIT FINISH SCHEDULE - GROUND FLOOR BEDROOMS 1-GA/GB, 2-GA/GB, 3-GA/GB					
ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	FINISH REMARKS
LIVING ROOM	LVT-1	RB-1	PNT-1	PNT-1	
BEDROOM	LVT-1	RB-1	PNT-1	PNT-1	
BEDROOM CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
BATHROOM	VSP-1	RB-1	PNT-1	PNT-1	
LINEN CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
STORAGE CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
ENTRY CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
PANTRY	LVT-1	RB-1	PNT-1	PNT-1	
KITCHEN	LVT-1	RB-1	PNT-1	PNT-1	
MECHANICAL ROOM	EP-1	EP-1	PNT-1	PNT-1	

DWELLING UNIT FINISH SCHEDULE - UPPER FLOOR BEDROOMS 1-UA/UB, 2-UA/UB, 3-UA/UB					
ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	FINISH REMARKS
LIVING ROOM	LVT-1	RB-1	PNT-1	PNT-1	
BEDROOM	LVT-1	RB-1	PNT-1	PNT-1	
BEDROOM CLOSET	CPT-1	RB-1	PNT-1	PNT-1	
BATHROOM	VSP-1	RB-1	PNT-1	PNT-1	
LINEN CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
STORAGE CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
ENTRY CLOSET	LVT-1	RB-1	PNT-1	PNT-1	
PANTRY	LVT-1	RB-1	PNT-1	PNT-1	
KITCHEN	LVT-1	RB-1	PNT-1	PNT-1	
MECHANICAL ROOM	CONC-1	RB-1	PNT-1	PNT-1	

FINISH SCHEDULE						
RM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	FINISH REMARKS
W-101A	LEASING OFFICE ENTRY	CONC-1	RB-1	RB-1	PNT-1	
W-101B	LEASING OFFICE	LVT-1	RB-2	PNT-2	PNT-1	
W-101C	BATHROOM	LVT-1	RB-2	PNT-2	PNT-1	
W-101D	MECHANICAL	EP-1	EP-1	PNT-1	PNT-1	
WW-101	PEDESTRIAN WALKWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-102	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-103	PEDESTRIAN WALKWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-104	MAIL AREA	CONC-1	PVC	PNT-1	PNT-1	
WW-105	PEDESTRIAN WALKWAY	CONC-1	PVC	PNT-1	PNT-1	
E-101	RESIDENTIAL ENTRY	CONC-1	PVC	CONC-1	PNT-1	
EE-101	EAST EGRESS CORRIDOR	CONC-1	PVC	PNT-1	PNT-1	
EE-102	ALLEY ENTRY	CONC-1	PVC	PNT-1	PNT-1	
EE-103	ELECTRICAL CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-104	JANITOR CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-105	STORAGE	CONC-1	RB-1	PNT-1	PNT-1	
101	PEDESTRIAN PATHWAY	CONC-1	PVC	PNT-1	PNT-1	
102	ENTRY	CONC-1	PVC	PNT-1	PNT-1	
103	TENANT SPACE	CONC-1	PVC	PNT-1	PNT-1	
104	WATER ENTRY	CONC-1	PVC	PNT-1	PNT-1	
105	STARWAY	CONC-1	RB	PNT-1	PNT-1	
106	RESIDENTIAL STORAGE	CONC-1	RB	PNT-1	PNT-1	
107	MARK TRASH ROOM	CONC-1	RB	PNT-1	PNT-1	
108	ELECTRICAL ROOM	CONC-1	RB-1	PNT-1	PNT-1	
109	MECHANICAL ROOM	CONC-1	RB-1	PNT-1	PNT-1	
110	TRANSFORMER ROOM	CONC-1	RB-1	PNT-1	PNT-1	
111	TENANT TRASH ROOM	CONC-1	RB-1	PNT-1	PNT-1	
112	ADDITIONAL TRASH ROOM	CONC-1	RB-1	PNT-1	PNT-1	
113	STARWAY	CONC-1	RB	PNT-1	PNT-1	
114	MAINTENANCE ROOM	CONC-1	RB-1	PNT-1	PNT-1	
115	MARK ELECTRICAL ROOM	CONC-1	RB-1	PNT-1	PNT-1	
116	RESIDENT BIKE STORAGE	CONC-1	RB-1	PNT-1	PNT-1	
117	PUBLIC BIKE PARKING	CONC-1	PVC	CONC-1	PNT-1	
W-201A	COMMUNITY ROOM	LVT-1	RB-2	PNT-2	PNT-1	
W-201B	COMMUNITY KITCHEN	LVT-1	RB-2	PNT-2	PNT-1	
W-201C	BATHROOM	VSP-1	RB-2	PNT-2	PNT-1	
W-201D	MECHANICAL	EP-1	EP-1	PNT-1	PNT-1	
WW-201	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-202	WEST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
WW-203	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
WW-204	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-201	EAST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
EE-202	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-203	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-204	TELECOM CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-205	JANITOR CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-206	STORAGE	CONC-1	RB-1	PNT-1	PNT-1	
201	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
202	TRASH CHUTE ROOM	CONC-1	RB-1	PNT-1	PNT-1	
203	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-301	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-302	WEST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
WW-303	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
WW-304	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-301	EAST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
EE-302	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-303	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-304	ELECTRICAL CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-305	JANITOR CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-306	STORAGE	CONC-1	RB-1	PNT-1	PNT-1	
301	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
302	TRASH CHUTE ROOM	CONC-1	RB-1	PNT-1	PNT-1	
303	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-401	STARWAY	CONC-1	PVC	PNT-1	PNT-1	
WW-402	WEST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
WW-403	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
WW-404	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-401	EAST EGRESS BALCONY	PVC	PVC	PNT-1	PNT-1	
EE-402	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-403	PEDESTRIAN WALKWAY	PVC	PVC	PNT-1	PNT-1	
EE-404	ELECTRICAL CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-405	JANITOR CLOSET	CONC-1	RB-1	PNT-1	PNT-1	
EE-406	STORAGE	CONC-1	RB-1	PNT-1	PNT-1	
401	STARWAY	CONC-1	RB	PNT-1	PNT-1	
402	TRASH CHUTE ROOM	CONC-1	RB-1	PNT-1	PNT-1	
403	STARWAY	CONC-1	RB	PNT-1	PNT-1	

**GENERAL NOTES - FINISHES**

1. ALL EXPOSED DAM AND DECORATIVE DAM WALLS TO BE COATED WITH CLEAR SEALER UNLESS INDICATED OTHERWISE.
2. PROVIDE PVC BASE TRIM IN ALL STARWAYS AND AT PERIMETER OF EGRESS WALKWAYS AND BALCONIES UNLESS INDICATED OTHERWISE.

**FINISH SCHED REMARKS**

**MATERIAL LEGEND**

FLOOR	SHAW / BRADDOCK CARPET / "ULTRA FLAIR" #PST6 / COLOR: TBD
WCPFT-1	WALK OFF CARPET
LVT-1	SHAW / LUXURY VINYL TILE / "TERRAZO-12" ML / COLOR: TBD
VSP-1	MANHATTAN / VINYL SHEET FLOORING / "INSIGHT PLUS" CROSSBAR / COLOR: TBD
CONC-1	
BASE	
RB-1	JOHNSEITE / 6H ROLLED COVE PROFILE RUBBER BASE / COLOR: TBD
RB-2	JOHNSEITE / 6H ROLLED COVE PROFILE RUBBER BASE / COLOR: TBD
WD-1	PANT GRAB / VIV POPULAR WOOD / PAINTED WOOD BASE / COLOR: TBD
EP-1	EPOXY BASE
WALL	
PNT-1	SHERWIN WILLIAMS / "PROPERTY SOLUTION" INTERIOR LATEX / SEMI-GLOSS / COLOR: TBD
PNT-2	SHERWIN WILLIAMS / "PROPERTY SOLUTION" INTERIOR LATEX / SEMI-GLOSS / COLOR: TBD
CE-1	CERAMIC WALL TILE TBD
CEILING	
GYP-1	5/8" TYPE GYPSUM BOARD
COUNTERTOP	
PLAM-1	WILSONART / COUNTERTOP / COLOR: TBD
PLAM-2	WILSONART / CABINET DOORS & DRAWERS / COLOR: TBD
SOB-1	PENTAL QUARTZ / SOLID SURFACE COUNTERTOP / COLOR: TBD

ISSUE:	△	DATE:
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**FINISH SCHEDULE ABBREVIATIONS**

ACT	ACOUSTICAL CEILING TILE AND SUPPORT SYSTEM	DD SUBMITTAL 95%	06.26.2018
ALU	ALUMINUM	DD SUBMITTAL 100%	12.19.2018
AND	ANODIZED		
CONC	CONCRETE FINISH		
CONC	CONCRETE FINISH		
CT	CERAMIC TILE		
CT	CERAMIC TILE		
F	FIBERGLASS		
F	FIBERGLASS		
FR	FIBER COMPOSITE		
FR	FIBERGLASS REINFORCED PANEL		
GL	GLASS GLAZING		
GL	GLASS GLAZING		
HW	HARDWARE		
HW	HIGH DENSITY FIBER BOARD		
HM	HOLLOW METAL		
HS	INSULATES		
LVT	LUXURY VINYL TILE		
PCT	PORCELAIN TILE		
PFC	PRE-FINISHED POLY VINYL CHLORIDE TRIM		
PLAM	PLASTIC LAMINATE		
PNT	PAINTED		
RB	RUBBER BASE		
SC	SOLID SURFACE		
SS	STAINLESS STEEL		
SI	SIENNA		
WAC	WALL COVERING		
WCT	WANGSOT		
WD	WOOD		
VL	VINYL		
VLB	VINYL SHEET		

**FINISH SCHEDULES**

**ID.00**

GENERAL NOTES



SHEET NOTES

- 1 MOBILE CABINET W/ CASTORS
- 2 2" FILLER
- 3 SUPPORT PANEL
- 4 HARDWOOD TRIM TO OVERLAP CABINET AND OYRULUM WALL BOARD
- 5 REMOVABLE CABINETRY UNDER WORK SURFACE

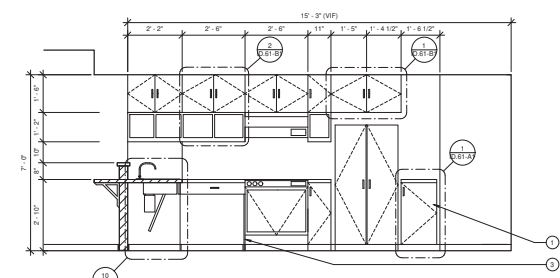
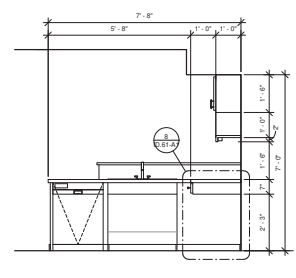
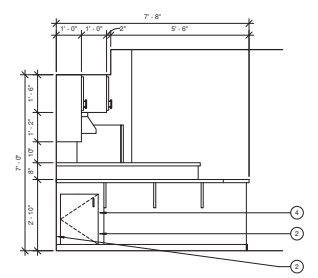
**BCHA - COFFMAN STREET REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501

LEGEND

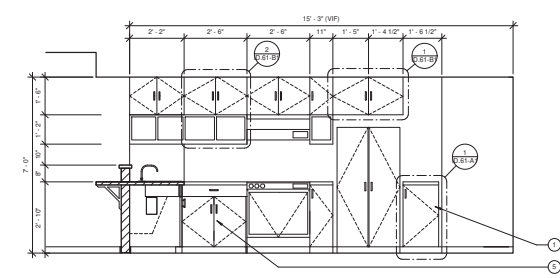
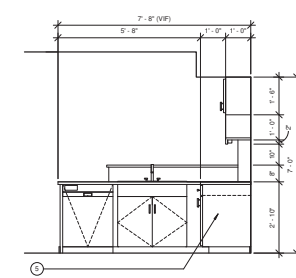
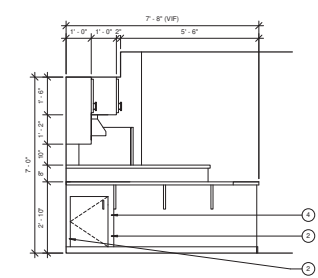
ISSUE:	△	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019

KITCHEN ELEVATIONS TYPES A & B

**ID.01**



KITCHEN ELEVATIONS TYPE A DWELLING UNIT  
SCALE: 1/2" = 1'-0" **2**



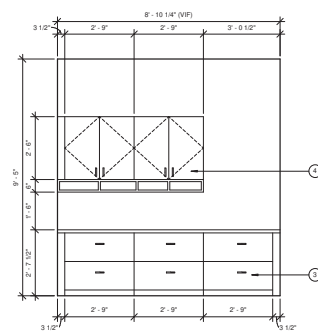
KITCHEN ELEVATIONS TYPE B DWELLING UNIT  
SCALE: 1/2" = 1'-0" **1**

GENERAL NOTES

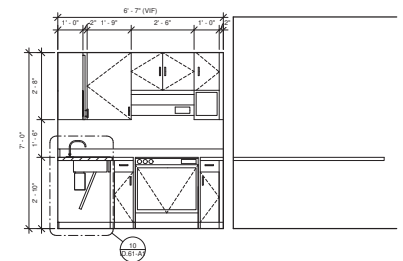
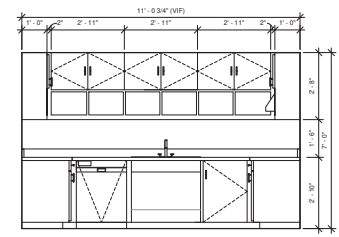
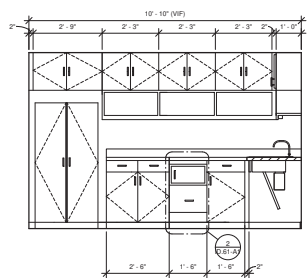
SHEET NOTES

- 1 MICROWAVE
- 2 STAINLESS STEEL BACKSPASH
- 3 BASE CABINET DRAWERS - CUSTOM MILLWORK
- 4 UPPER CABINETS AND CUBICLES - CUSTOM MILLWORK

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
 COFFMAN STREET, LONGMONT, CO 80501



**LEASING OFFICE ELEVATION**  
SCALE: 1/2" = 1'-0" 2



**COMMUNITY ROOM KITCHEN ELEVATIONS**  
SCALE: 1/2" = 1'-0" 1

LEGEND

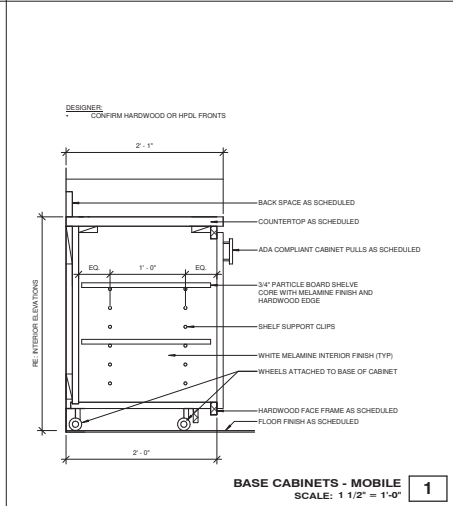
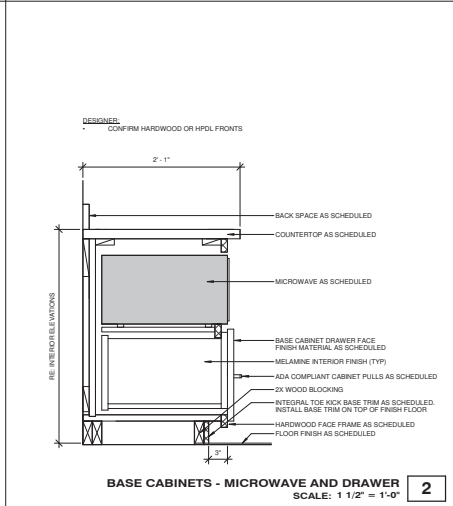
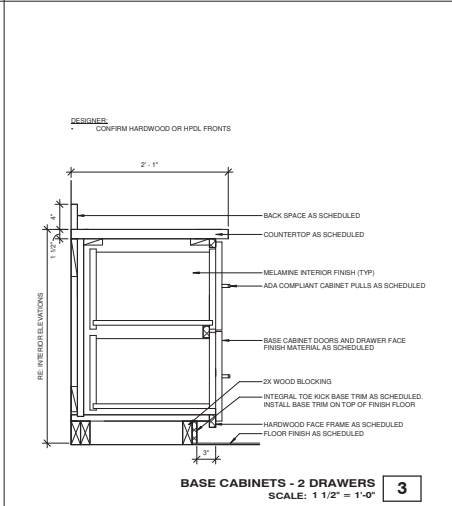
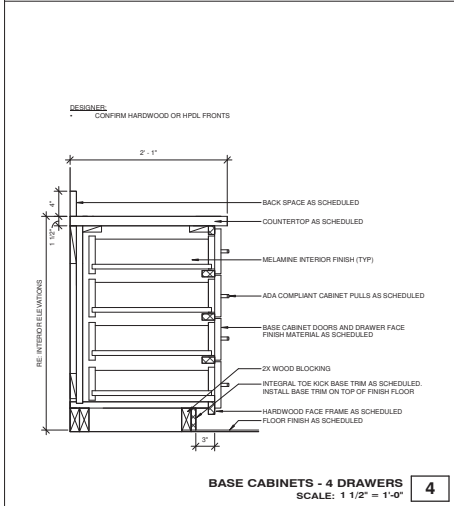
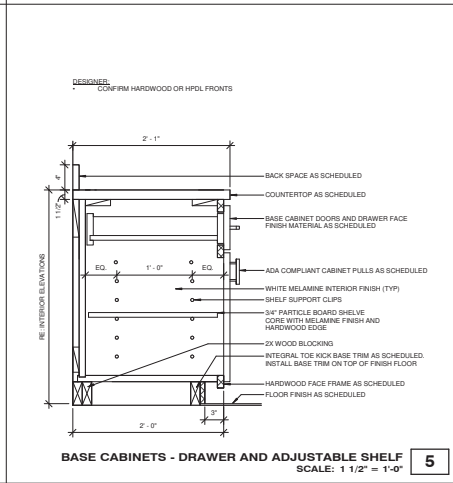
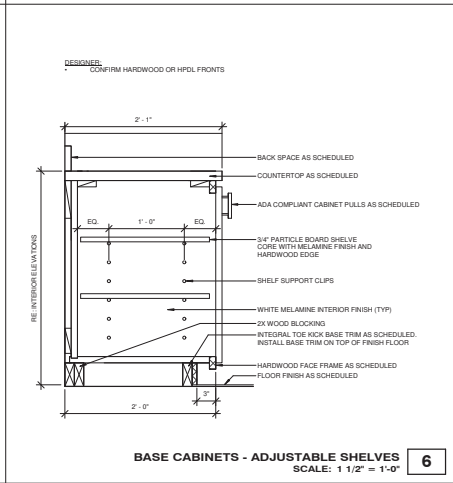
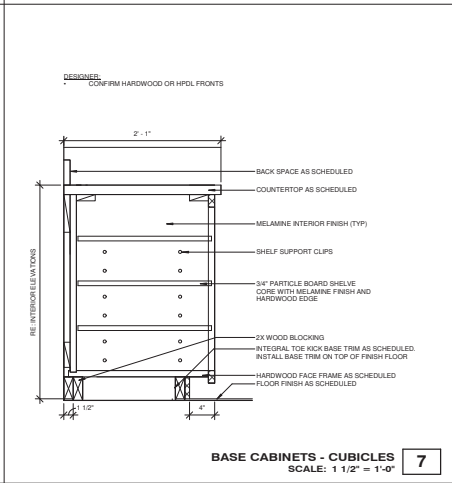
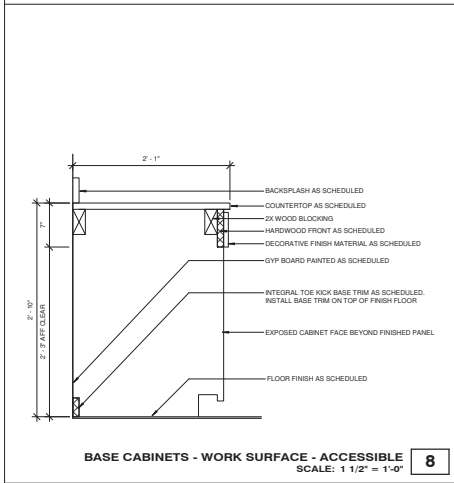
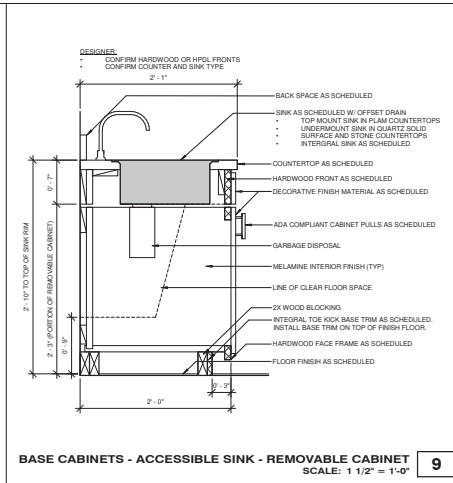
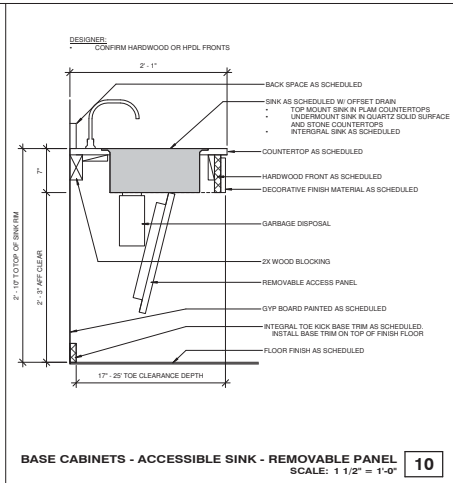
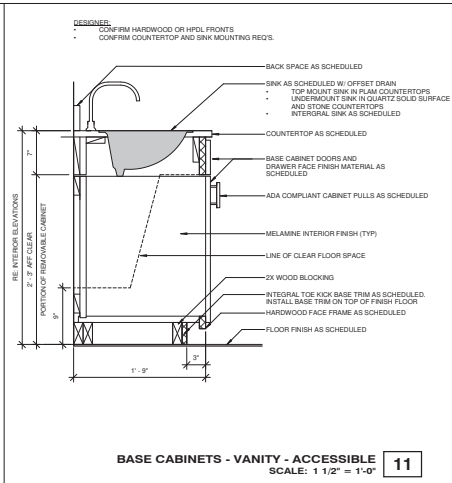
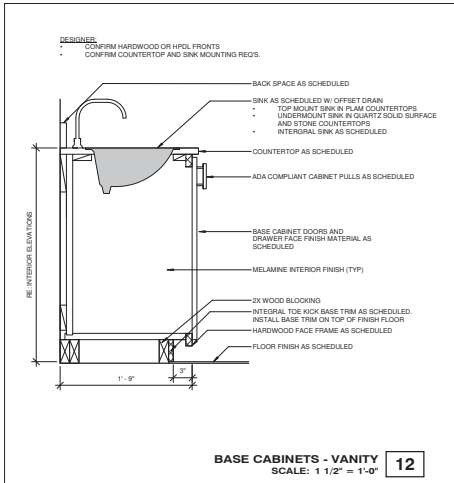
ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019

SCALE:	1/2" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker
JOB NUMBER:	0907-16

COMMUNITY ROOM  
KITCHEN & LEASING  
OFFICE ELEVATIONS

**ID.02**





ISSUE:	Δ	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019

SCALE: 1 1/2" = 1'-0"

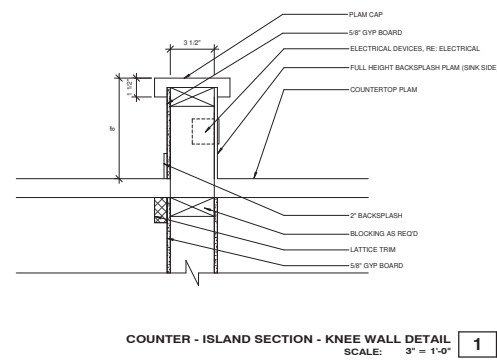
DRAWN BY: Author

CHECKED BY: Checker

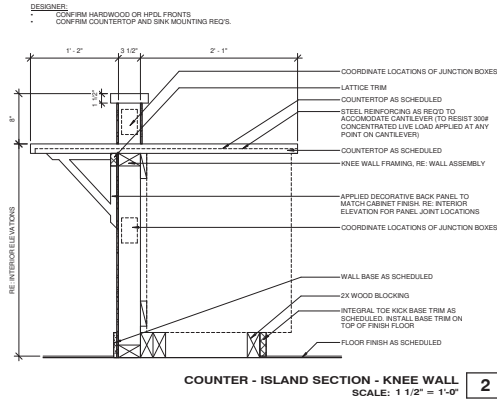
JOB NUMBER: 090716

ISSUE:	△	DATE:
PRE APP MEETING		06.06.2018
SD SUBMITTAL		05.25.2019
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019
SCALE:	As Indicated	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

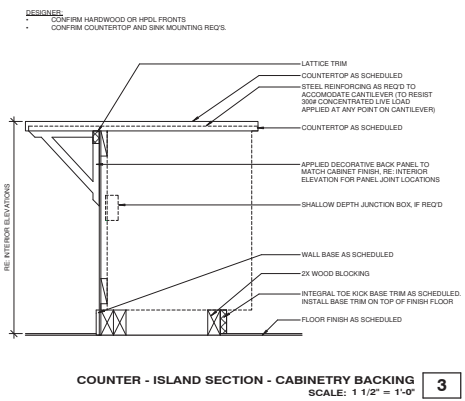
COUNTER  
**ID.61-A2**



**COUNTER - ISLAND SECTION - KNEE WALL DETAIL**  
SCALE: 3/8" = 1'-0" **1**



**COUNTER - ISLAND SECTION - KNEE WALL**  
SCALE: 1 1/2" = 1'-0" **2**



**COUNTER - ISLAND SECTION - CABINETRY BACKING**  
SCALE: 1 1/2" = 1'-0" **3**

DESIGNER:  
CONFIRM HARDWOOD OR HPLD FRONTS  
CONFIRM COUNTERTOP AND SINK MOUNTING REQ'S.

DESIGNER:  
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CONFIRM COUNTERTOP AND SINK MOUNTING REQ'S.

RE: INTERIOR ELEVATIONS

RE: INTERIOR ELEVATIONS

RE: INTERIOR ELEVATIONS

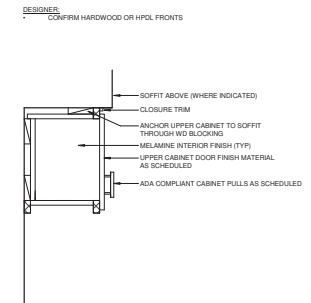
**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		01.11.2019

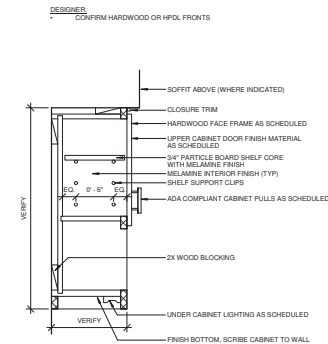
SCALE:	1 1/2" = 1'-0"
DRAWN BY:	Author
CHECKED BY:	Checker
JOB NUMBER:	0907-16

UPPER CABINETS

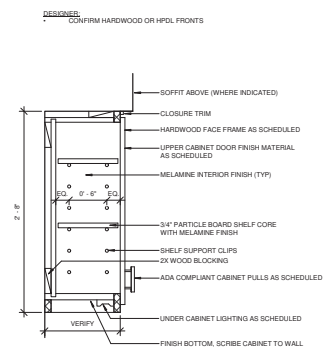
**ID.61-B1**



**UPPER CABINETS - ABOVE REFRIGERATOR**  
SCALE: 1 1/2" = 1'-0" **1**



**UPPER CABINETS - ADJUSTABLE SHELVES W/ CUBICLE**  
SCALE: 1 1/2" = 1'-0" **2**



**UPPER CABINETS - ADJUSTABLE SHELVES**  
SCALE: 1 1/2" = 1'-0" **3**

EXTERIOR LUMINAIRE SCHEDULE: BCHA LONGMONT

KEY	DESCRIPTION	LUMINAIRE DETAILS			MOUNTING	BUG RATING	LAMP DETAILS			CONTROL DETAILS		ELECTRICAL		SCH NOTES		
		MANUFACTURER	CATALOG NUMBER	FINISH			LAMPS QTY/TYPE	CR	CCT	INITIAL LUMINAIRE LUMEN OUTPUT	BALLAST/ DRIVER	DM TYPE	VOLT		INPUT WATTS	
LD6	SURFACE MOUNT 4" DIA W/ 0.65" HIGH LED DISK LIGHT. MODIFIED FOR USE.	CAVEM	LED-SM60C-BN-C	BRUSHED NICKEL	SURFACE MOUNT	B0-U1-G1	44	LEDS	90	3000	660	DIKIMBLEY W/TH LEVITON #6672 CDSBSEE	120	12	2.3	
LD7	SURFACE MOUNT 4" DIA W/ 0.65" HIGH LED DISK LIGHT. MODIFIED FOR USE.	CAVEM	LED-SM60C-BN-C	BRUSHED NICKEL	SURFACE MOUNT	B0-U1-G1	44	LEDS	90	3000	660	DIKIMBLEY W/TH LEVITON #6672 CDSBSEE	120	15	2.3	
LD11	SURFACE MOUNT 4" DIA W/ 1" HIGH LED DISK LIGHT. MODIFIED FOR USE.	CAVEM	LED-SM10C-BN-C	BRUSHED NICKEL	SURFACE MOUNT	B1-U2-G1	44	LEDS	90	3000	1540	SEE SCH NOTES	120	22	2.3.5	
LD15	SURFACE MOUNT 4" DIA W/ 1" HIGH LED DISK LIGHT. MODIFIED FOR USE.	CAVEM	LED-SM10C-BN-C	BRUSHED NICKEL	SURFACE MOUNT	B1-U2-G1	44	LEDS	90	3000	2100	SEE SCH NOTES	120	30	2.3.5	
LPG	PARKING GARAGE LED AREA LIGHT	MCRWAEDISON	TYTCT-LED-ET-MQ-TM-WF-8030-DPL-TL	GREY	TRUNDA MOUNT	B2-U0-G1	1	LED	80	3000	4187	DRIVER	0-10V	UNV	45.4	3
LFP	PARKING GARAGE POLE MOUNT TYPE A W/ 20' TALL MOUNT 15' POLE ON PLASTER	MCRWAEDISON	GLECON-WF-21-LED-ET-15G-WF-7000-MR107-XX	GREY	POLE 5' ON PARKING STRUCTURAL COLUMN	B1-U0-G2	150	LED	70	3000	12378	DRIVER	0-10V	UNV	118	1.3
LPS	PARKING GARAGE POLE MOUNT WITH W/ 20' TALL MOUNT 15' POLE ON PLASTER. AIMED INTO CENTER OF GARAGE	MCRWAEDISON	GLECON-WF-21-LED-ET-15G-WF-7000-MR107-XX	GREY	POLE 5' ON PARKING STRUCTURAL COLUMN	B1-U0-G2	150	LED	70	3000	9688	DRIVER	0-10V	UNV	118	
LPLC	LINEAR LED EDGE LIGHTING SYSTEM/ACRYLIC BLADE, RGB COLOR CHANGING/PROGRAMMABLE, DIMMABLE	INSIGHT	PR017-2-RGB-SUB-XXX-INT-DIMM-X-N-UP-CDS-X	NATURAL	SURFACE ON DECK			RGB LED	N/A	N/A		DMX	120	6FT		
LPLW	LINEAR LED EDGE LIGHTING SYSTEM/ACRYLIC BLADE, WHITE LIGHT	INSIGHT	PR017-1-30K-SUB-48-INT-DIMM-N	NATURAL	SURFACE ON DECK			LED		3000	3512	DMX	120	11FT		
LE4	4' LONG LED STRIP MOUNTED AT CEILING, AIMED ACROSS CEILING TOWARDS INTERIOR WALLS OR GRADING DOWN WALLS	ELITE	4-30K-LED-3000L-48W-30W-1T-30K-45	WHITE	SURFACE/ODG	B2-U4-G2		LED	85	3000	5454	0-10V/1%	120	48.8		
LT	LED RIBBON, EXTERIOR RATED, MOUNTED IN CHANNEL WITH PROTECTED LENS, LENGTH AS INDICATED ON PLANS. PROVIDE MULTIPLE REELS AND AND CHANNELS AND CUT AS NEEDED.	DANLIGHT	GENV-30-3015-RIBBON-30W/1V RIBBON TO RIBBON CONNECTORS (LENGTH = 12.38, 72 AS REQD BY LOCAL MISC. RIBBON TO PIS CONNECTOR (LENGTH = 24.48, 72 AS REQD BY LOCAL. ORDER 20' MIN CHANNELS)	STD	SURFACE/ODG	B0-U1-G0		5 LED / 10'	90	3000	136		120		2.3	
LU	IN GRADE LED UPLIGHT, 15 DEGREE BEAM SPREAD, ADJUSTABLE VERT LOCATION	HK LIGHTING GROUP	ZIG-LED-085-125-RW-RK-LED-14-3K-AP	STAINLESS STEEL	IN GRADE		1	LED		3000	345		120	6	2.3	
LW	STEEL AND ACRYLIC LED SCORCE, 1/4" HIGH, 5.1" WIDE	SUNPAR ELECTRONICS	W1080-3000K	SATIN NICKEL	WALL MOUNT, KESPIF V ARCH	B0-U3-G1	1 EA	INTEGRATED LED MODULE	80	3000	1000		120	12	2.3	

GENERAL NOTES

- FLUORESCENT BALLASTS SHALL BE ELECTRONIC UNLESS OTHERWISE NOTED REFER TO SPECIFICATIONS
- CONTRACTOR TO SUPPLY UNIT PRICES AT TIME OF BID. LOT PRICES ARE UNACCEPTABLE.
- CONTRACTOR TO VERIFY ALL LUMINAIRE COUNTS PRIOR TO ORDER. SCHEDULE COUNTS PROVIDED FOR INFO USE ONLY.

SCHEDULE NOTES

- GARAGE TOP POLES TO BE 20' IF. SEE DETAILS ON ELECTRICAL SHEETS
- EMERGENCY CONNECTIONS TO BE COORDINATED WITH ELECTRICAL
- FINAL COLOR SELECTIONS FOR ALL POLES & FIXTURES TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
- ARROWS ON PLAN INDICATE DIRECTION OF AIMING.
- COMPATIBLE DIMMERS ARE: LEVITON #FAC-6072, LEVITON #F22-6074, P90V, OR LUTRON #SCL-153PH-VH

Calculation Summary

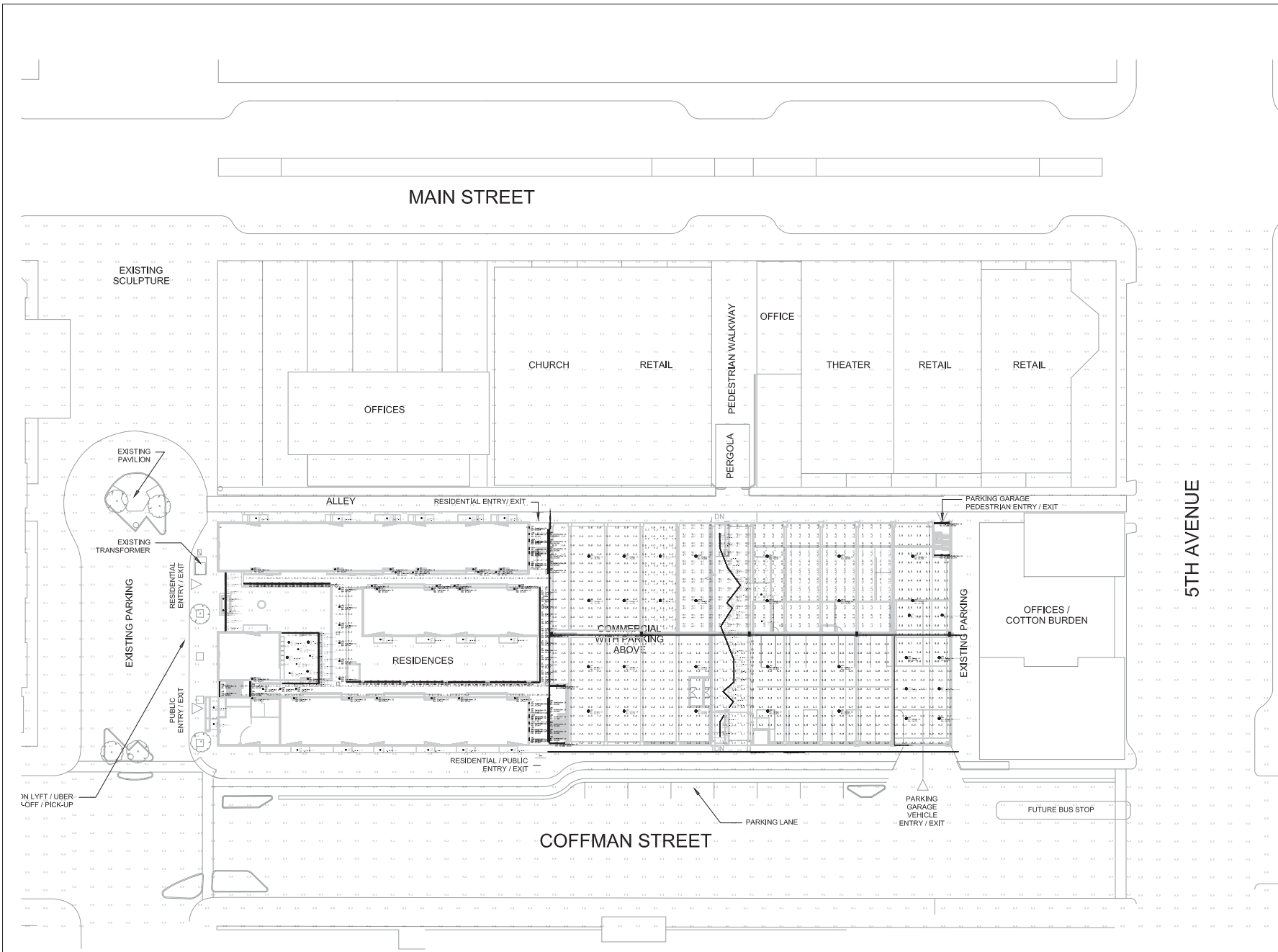
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
5th Ave	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
6th Ave	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.
alley	Illuminance	Fc	0.76	6.1	0.0	N.A.	N.A.
BCHA site	Illuminance	Fc	1.59	18.6	0.0	N.A.	N.A.
City Site	Illuminance	Fc	0.14	5.1	0.0	N.A.	N.A.
Coffman St	Illuminance	Fc	0.17	3.1	0.0	N.A.	N.A.
Park CjdsSac	Illuminance	Fc	0.19	1.7	0.0	N.A.	N.A.
Tunnel Pathway	Illuminance	Fc	6.32	16.1	0.0	N.A.	N.A.
2nd Level Res	Illuminance	Fc	5.71	90.0	0.7	8.16	128.57
3rd Level Res	Illuminance	Fc	5.71	94.4	0.0	N.A.	N.A.
4th Level Res	Illuminance	Fc	4.23	85.9	0.0	N.A.	N.A.
Garage Entry Day Zone	Illuminance	Fc	1.75	14.7	0.0	N.A.	N.A.
Garage Fourth Level	Illuminance	Fc	2.07	9.5	0.2	10.35	47.50
Garage Ground Level	Illuminance	Fc	0.95	7.3	0.0	N.A.	N.A.
Garage Second Level	Illuminance	Fc	3.60	54.4	0.3	12.00	181.33
Garage Third Level	Illuminance	Fc	3.48	10.4	0.6	5.80	17.33
Garage Top Level	Illuminance	Fc	1.28	2.9	0.2	6.30	14.50



BCHA - COFFMAN STREET REDEVELOPMENT  
COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	△	DATE:
EXAMPLE TEXT		09/20/2000
DD SUBMITTAL 100%		12/19/2016
SCALE:		
DRAWN BY:	MJS	
CHECKED BY:	MJS	
JOB NUMBER:	9907-16	

SITE LIGHTING SCHEDULES  
**EL1.00**



**SITE LIGHTING CALCULATION PLAN**

ISSUE:	△	DATE:
EXAMPLE TEXT		09/26/2000
DD SUBMITAL 100%		12/19/2016
SCALE:		1" = 20'-0"
DRAWN BY:		MMS
CHECKED BY:		MMS
JOB NUMBER:		0907-16

SITE LIGHTING CALCULATIONS

**EL2.00**

**CANARM**

**LED ROUND DISK LIGHT  
LOW PROFILE FLUSH MOUNT  
part # LED-SM55DL-BN-C**




**TYPE LDD**

**General**  
Size of fixture: 5.5" W x .85" H  
Finish: painted treated nickel trim, acrylic lens  
Lamping: 44LEDs  
Energy used: 12 watt  
Voltage: 120V  
Light output: 800 lumens thru the lens  
Colour temperature: 3000K, warm white, CRI 90  
Bulb life: 50,000 hours  
Dimmable using LEVITON 6672 dimmer  
Mounting: Wall or Ceiling Mount  
Installs directly into standard outlet box.  
Suitable for wet locations.  
Indoor/Outdoor ambient use.

**Packaging**  
Colour box: 6.30" x 6.30" x 1.50" (160 x 160 x 38mm)  
Weight: 1.10 lbs  
Master box: 16.1" x 13.50" x 7.20" (410 x 340 x 180mm)  
Pieces per master: 20  
Weight: 23.1 lbs

**Warranty & Safety Standards**  
Warranty: 5 year  
eTLus rated  
Energy Star Rated  
GreenChoice  
Integrated LED

PARALEL  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.

Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**CANARM**

**LED ROUND DISK LIGHT  
LOW PROFILE FLUSH MOUNT  
part # LED-SM7DL-BN-C TYPE LDT7**

**General**  
Size of fixture: 7" W x .85" H  
Finish: painted treated nickel trim, acrylic lens  
Lamping: 44LEDs  
Energy used: 15 watt  
Voltage: 120V  
Light output: 800 lumens thru the lens  
Colour temperature: 3000K, warm white, CRI 90  
Bulb life: 50,000 hours  
Dimmable using LEVITON 6672 dimmer  
Mounting: Wall or Ceiling Mount  
Installs directly into standard outlet box.  
Suitable for wet locations.  
Indoor/Outdoor ambient use.

**Packaging**  
Colour box: 7.70" x 7.70" x 1.50" (197 x 197 x 40mm)  
Weight: 1.54 lbs  
Master box: 16.5" x 16.5" x 6.75" (418 x 420 x 220mm)  
Pieces per master: 20  
Weight: 33 lbs

**Warranty & Safety Standards**  
Warranty: 5 year  
eTLus rated  
Energy Star Rated  
GreenChoice  
Integrated LED

PARALEL  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.





Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**CANARM**

**LED ROUND DISK LIGHT  
LOW PROFILE FLUSH MOUNT  
part # LED-SM11DL-BN-C**

**TYPE LDT1**

**General**  
Size of fixture: 11" W x 1" H  
Finish: painted treated nickel trim, acrylic lens  
Energy used: 22 watt  
Voltage: 120V  
Light output: 1540 lumens, dimmable  
Colour temperature: 3000K, warm white  
Bulb life: 50,000 hours  
Compatible dimmers: LEVITON 6742-6672 H/W,  
LEVITON 6722-6674 P/W, LUTRON 40CL, 103P-WH  
Mounting: Wall or Ceiling Mount  
Installs directly into standard outlet box.  
Suitable for wet locations.  
Indoor/Outdoor ambient use.

**Packaging**  
Colour box: 12.13" x 12.13" x 2.00" (308 x 308 x 52mm)  
Weight: 3.08 lbs  
Master box: 23.62" x 13.11" x 13.11" (600 x 330 x 330mm)  
Pieces per master: 10  
Weight: 33 lbs

**Warranty & Safety Standards**  
Warranty: 5 year  
eTLus rated  
Energy Star Rated  
GreenChoice  
Integrated LED

PARALEL  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.





Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**CANARM**

**LED ROUND DISK LIGHT  
LOW PROFILE FLUSH MOUNT  
part # LED-SM15DL-BN-C**

**TYPE LDT5**

**General**  
Size of fixture: 15" W x 1" H  
Finish: painted treated nickel trim, acrylic lens  
Energy used: 30 watt  
Voltage: 120V  
Light output: 2100 lumens, dimmable  
Colour temperature: 3000K, warm white  
Bulb life: 50,000 hours  
Compatible dimmers: LEVITON 6742-6672 H/W,  
LEVITON 6722-6674 P/W, LUTRON 40CL, 103P-WH  
Mounting: Wall or Ceiling Mount  
Installs directly into standard outlet box.  
Suitable for wet locations.  
Indoor/Outdoor ambient use.

**Packaging**  
Colour box: 14.88" x 14.88" x 2.00" (380 x 380 x 52mm)  
Weight: 5.28 lbs  
Master box: 17.32" x 13.91" x 17.32" (440 x 350 x 440mm)  
Pieces per master: 5  
Weight: 26.4 lbs

**Warranty & Safety Standards**  
Warranty: 5 year  
eTLus rated  
Energy Star Rated  
GreenChoice  
Integrated LED

PARALEL  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.








Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**INSIGHT TYPE LPLC**

**PARALEL**  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.




STEP 2 - ORDER SIZE DISTRIBUTION & PROGRAMMING KIT



Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**INSIGHT TYPE LPLW**

**PARALEL**  
SINCE 1978, PARALEL HAS BEEN THE LEADER IN PROVIDING THE MOST ADVANCED, AFFORDABLE AND DURABLE LIGHTING SOLUTIONS FOR OVER 40 YEARS.



STEP 2 - ORDER SIZE DISTRIBUTION & PROGRAMMING KIT

Requested for: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**INSIGHT TYPE LPLW**

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STEP 2 - ORDER SIZE DISTRIBUTION & PROGRAMMING KIT




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Date: \_\_\_\_\_  
Presented by: \_\_\_\_\_  
Remarks: \_\_\_\_\_



BCHA - COFFMAN STREET  
REDEVELOPMENT

COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	△	DATE:
EXAMPLE TEXT		00.00.0000
00 SUBMITTAL 100%		12.19.2016
SCALE:		
DRAWN BY:	M/S	
CHECKED BY:	M/S	
JOB NUMBER:	0907-16	

SITE LIGHTING  
CUTSHEETS

**EL3.00**

W108D TYPE LW



Wall Sconce

Features
Die-Cast Cold-Head Steel
Optical
Special High Transmission Acrylic Glass Excellent Light Distribution and Uniformity
LED High Efficiency, High CRI, Broad and Selective Beam Uniform Light



Standard
Lamp
Weighted CCT: Neutral: 3000K LED
More Color Temperature Options: 2000K, 3000K, 4000K, 5000K, 6000K

Certification
UL Listed, Listed
Warranty
A Five-Year Limited Warranty on Driver and LED



Table with 11 columns: Model, Height, Width, Depth, Lamp, SPD-T, CR, Finish, Finish/Grade, Dimensions (H x W x D), ETL, Ship Size. Rows include W108D-ACQX and W108D-ACQX-L2.

Submit Specifications To: Phone: (502) 533-9900 Email: sales@sunparc.com
14420 E. Sprague St., Aurora, CO 80014 Web: www.sunparc.com

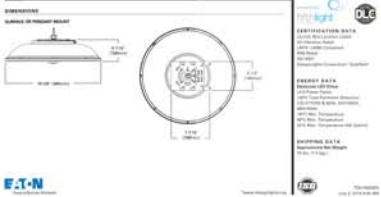
McGraw-Hill Construction

Table with columns for product types: LED, LPP, LPS, and a 'None' option.

DESCRIPTION

The TopTier™ lighting range offers a wide variety of high quality lighting products...

OPERATION FEATURES
Construction Features
Material
Material
Material
Material
Material



F.T-N logo and contact information

TABLE 1

Table with columns: Fixture Name, Dimensions, Wattage, Lumens, etc. Rows include W108D-ACQX and W108D-ACQX-L2.

F.T-N logo and contact information

TABLE 2

Table with columns: Fixture Name, Dimensions, Wattage, Lumens, etc. Rows include W108D-ACQX and W108D-ACQX-L2.

F.T-N logo and contact information

RNN architects logo and contact info: 883 SANTA FE DRIVE DENVER, CO 80204 PHONE: 303.569.2014 www.rnnarchitects.com

Frankly Lighting logo

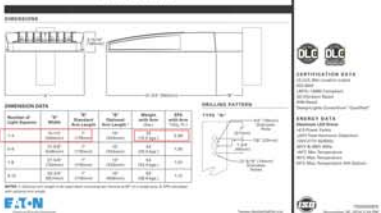
BCHA - COFFMAN STREET REDEVELOPMENT COFFMAN STREET, LONGMONT, CO 80501

McGraw-Hill Construction

Table with columns for product types: LED, LPP, LPS, and a 'None' option.

DESCRIPTION
The TopTier™ LED fixtures are designed for maximum efficiency and performance...

OPERATION FEATURES
Construction Features
Material
Material
Material
Material



F.T-N logo and contact information

TABLE 1

Table with columns: Fixture Name, Dimensions, Wattage, Lumens, etc. Rows include W108D-ACQX and W108D-ACQX-L2.

F.T-N logo and contact information

TABLE 2

Table with columns: Fixture Name, Dimensions, Wattage, Lumens, etc. Rows include W108D-ACQX and W108D-ACQX-L2.

F.T-N logo and contact information

Table with columns: ISSUE, DATE. Rows include EXAMPLE TEXT (00.00.0000), DD SUBMITTAL 100% (12.19.2018).

SITE LIGHTING CUTSHEETS EL3.01

**MECHANICAL LEGEND**

NOT ALL ITEMS LISTED BELOW ARE USED ON THIS SET OF MECHANICAL DRAWINGS

GENERAL		PIPING	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	MECHANICAL/ELECTRICAL EQUIPMENT DESIGNATION	HS	HOT WATER SUPPLY
	REMOVE EXISTING	HR	HOT WATER RETURN
	CONNECT NEW TO EXISTING	DWS	CHILLED WATER SUPPLY
	UNDERCUT DOOR	DRS	CHILLED WATER RETURN
	DOUBLE LINE DUCTWORK	CS	CONDENSER SUPPLY
	RECTANGULAR AIR SUPPLY AIR DUCT UP	CR	CONDENSER RETURN
	RECTANGULAR AIR SUPPLY AIR DUCT DOWN	HPS	HIGH PRESSURE STEAM
	RECTANGULAR RETURN AIR EXHAUST DUCT UP	HPC	HIGH PRESSURE CONDENSATE
	RECTANGULAR RETURN AIR EXHAUST DUCT DOWN	PC	PUMPED CONDENSATE
	ROUND DUCT UP	D	EQUIPMENT DRAIN
	ROUND DUCT DOWN	RL	REFRIGERANT LIQUID
	BRANCH DUCT 45 DEGREE	RS	REFRIGERANT SUCTION
	RECTANGULAR DUCT ELBOW WITH TURNING VANES		
	RADIUS ELBOW RECTANGULAR/ROUND DUCT		
	DUCT TRANSITION		
	FLEX CONNECTION		
	SINGLE LINE DUCTWORK		
	RECTANGULAR DUCT ELBOW WITH TURNING VANES		
	RADIUS ELBOW RECTANGULAR/ROUND DUCT		
	DUCT TRANSITION		
	CONICAL SPIN-IN FITTING		
	CONICAL SPIN-IN FITTING WITH DAMPER		
	FLEXIBLE DUCT		
CONTROL DEVICES AND DAMPERS		PIPING SYMBOLS	
	HANDIESTAT		ARROW IN LINE OF FLOW
	PRESSURE SENSOR		NICK IN PIPE SLOPE DOWN
	WALL MOUNTED THERMOSTAT		BOTTOM PFC CONNECTION
	UNIT MOUNTED THERMOSTAT		PIPING UP
	SWITCH		PIPING DOWN
	FIRE DAMPER		EXHAUST TEAP OR DRAIN TEE
	COMBINATION FIRE AND SMOKE DAMPER		PIPING CAP OR PLUG
	MANUAL VOLUME DAMPER WITH CLOCKWISE QUADRANT		PUMP CALIBRATED BALANCING VALVE
	MOTORIZED DAMPER		BALL VALVE
			PLUG VALVE
			GATE VALVE
			CHECK VALVE
			BUTTERFLY VALVE
			FLOW SWITCH
			SOLENOID VALVE
			PRESSURE REDUCING VALVE
			SMART TEMPERATURE CONTROL VALVE
			SMART TEMPERATURE CONTROL VALVE
			RELIEF VALVE
			STRAINER
			STRAINER WITH BLOW-OFF VALVE
			UNION
			PRESSURE GAUGE
			THERMOMETER
			PT
			PRESSURE AND TEMPERATURE 1/2
			CONCENTRIC REDUCER
			ECCENTRIC REDUCER
			FLEXIBLE CONNECTOR
			HOSE END DRAIN VALVE
			MANUAL AIR VENT

ABBREVIATIONS

AFI	ADVICE FINISHED FLOOR	MC	MECHANICAL CONTRACTOR	SA	RETURN AIR
AP	ACCESS PANEL	NI	NEW	RE	REFER TO
C	COMMON	NO	NORMALLY CLOSED	SA	SUPPLY AIR
EX	EXISTING	NO	NOT IN CONTRACT	SRV	SAFETY RELIEF VALVE
EC	ELECTRICAL CONTRACTOR	NO	NORMALLY OPEN	TCC	TEMPERATURE CONTROL
ELEV	ELEVATION	NS	NOT TO SCALE	UM/HA/UM	UPPER/MIDDLE/LOWER
EQ	EQUIPMENT	OA	OUTSIDE AIR	TYP	TYPICAL
GC	GENERAL CONTRACTOR	PRV	PRESSURE REDUCING VALVE		

NOTE:



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Central, CO 80111 (303) 754-2200  
denver@mepeg.com mepeg.com

**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
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DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:	18154	

**MECHANICAL SPECIFICATIONS AND LEGEND**  
**M0.10**





ELECTRIC WALL HEATER SCHEDULE											
SYMBOL	MANUFACTURER	MODEL	LOCATION	RECESS DEPTH (IN)	C/W	W81	E81	ELECTRICAL DATA			REMARKS
								VOLTS	PHASE	AMPS	
EWH-1	BERNO	SDH110T	LOBBY	X	65	150	3.00	120	1	4.7	1.2, 3, 4
EWH-2	BERNO	MFQ200	HALL	X	200	2750	X	200	1	36.5	1.2, 3, 4
EWH-3	QMARK	DMH100SP	HALL	X	65	200	0.75	100	1	6.25	1.2, 3, 4
EWH-11	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-12	BERNO	MFQ200	HALL	X	200	2750	0	200	1	36.5	1.2, 3, 4
EWH-13	BERNO	MFQ200	HALL	X	200	2750	X	200	1	36.5	1.2, 3, 4
EWH-14	BERNO	MFQ200	HALL	X	200	2750	X	200	1	36.5	1.2, 3, 4
EWH-15	BERNO	MFQ200	HALL	X	200	2750	X	200	1	36.5	1.2, 3, 4
EWH-16	BERNO	MFQ200	HALL	X	200	2750	X	200	1	36.5	1.2, 3, 4
EWH-17	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-18	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-19	QMARK	DMH100SP	HALL	X	65	200	0.75	100	1	6.25	1.2, 3, 4
EWH-20	QMARK	DMH100SP	HALL	X	65	200	0.75	100	1	6.25	1.2, 3, 4
EWH-21	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-22	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-23	QMARK	DMH100SP	HALL	X	65	200	0.75	100	1	6.25	1.2, 3, 4
EWH-24	WABLEY	FR400SP	HALL	X	100	1500	X	200	1	16.2	1.2, 3, 4
EWH-25	QMARK	DMH100SP	HALL	X	65	200	0.75	100	1	6.25	1.2, 3, 4

REMARKS:

- ACCEPTABLE MANUFACTURERS INCLUDE BERNO, BRANCO, CROMAZON, INDECO, MARINI, Q-MARK, SINGER AND TRAME.
- PROVIDE WITH UNIT MOUNTED THERMOSTAT.
- PROVIDE WITH SURFACE MOUNTING KIT.
- PROVIDE DISCONNECT SWITCH.

ELECTRIC WALL HEATER SPECIFICATION:

- ELECTRIC RESISTANCE TYPE HEATING ELEMENT WITH SPIRALLY WOUND EXTENDED FIN, CONCEALED ADJUSTABLE THERMOSTAT, CONCEALED ELECTRICAL CONNECTIONS, LINE VOLTAGE DISCONNECT, ENCLOSED FAN MOTOR, WALL BOX.

ELECTRIC WALL HEATER SEQUENCE OF OPERATION:

- UNIT MOUNTED THERMOSTAT SHALL CYCLE ITS RESPECTIVE HEATING ELEMENT AND FAN TO MAINTAIN TEMPERATURE SETPOINT.



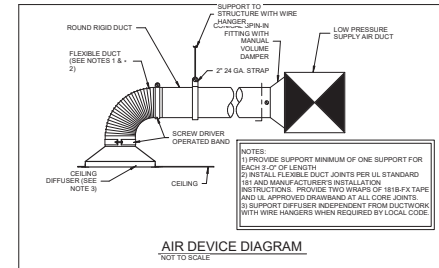
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6401 E. TERRY AVENUE, SUITE 100, DENVER, CO 80221  
COMMERCIAL, CO 80111  
PH: 303.554.2200  
WWW.MEP-ENG.COM

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 COFFMAN STREET, LONGMONT, CO 80501

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DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	18154	

MECHANICAL SCHEDULES

M0.30



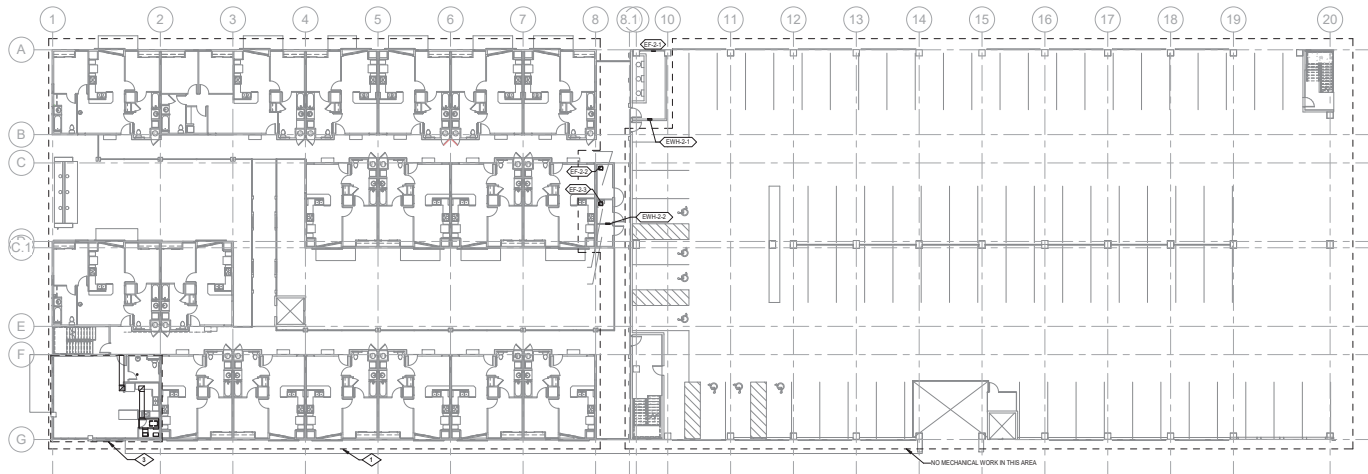
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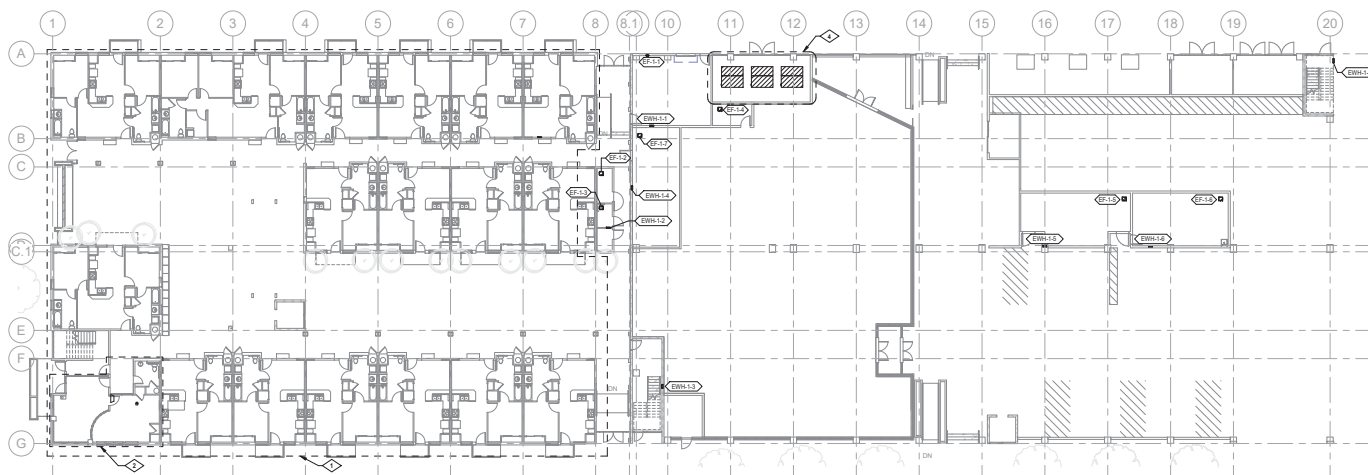
**MECHANICAL  
DIAGRAMS**

**M0.40**

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**LEVEL 2 OVERALL MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"



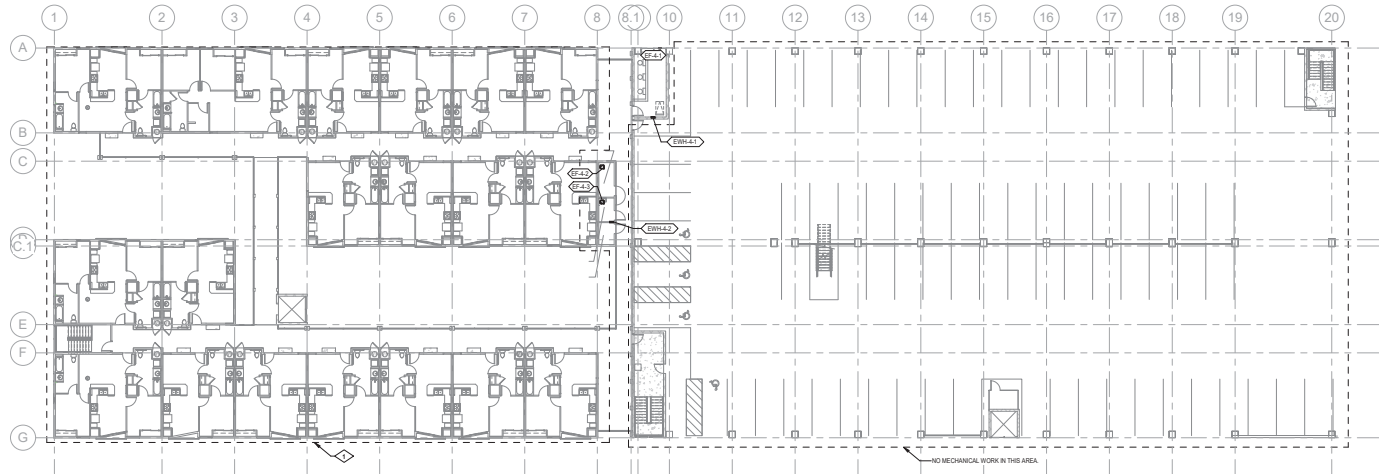
**LEVEL 1 OVERALL MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**  
1. COORDINATE MECHANICAL WORK WITH ARCHITECTURAL PLANS AND ALL OTHER TRADES.

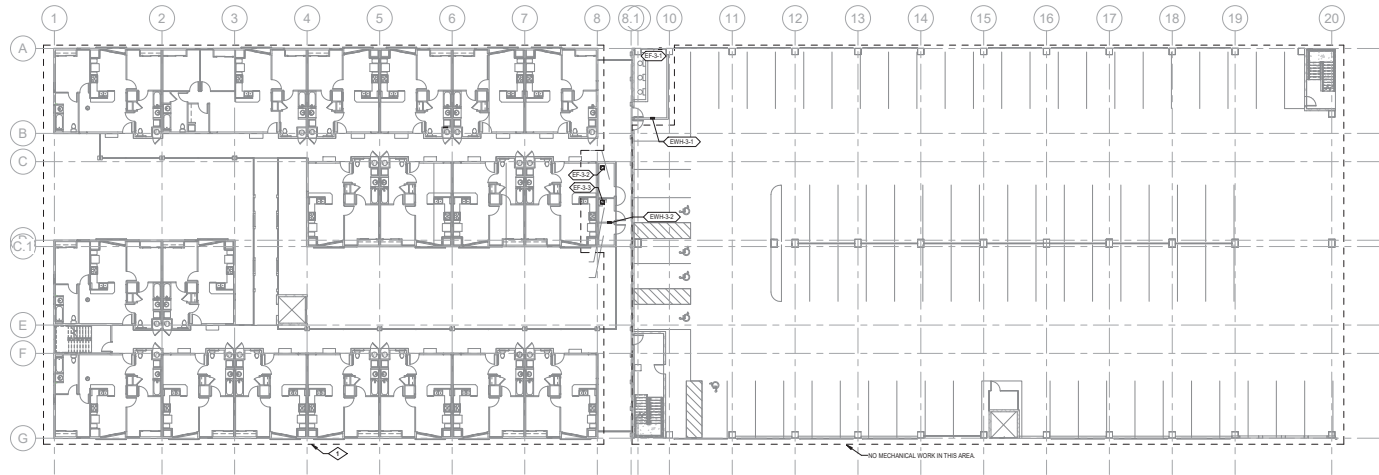
**DRAWING NOTES:**  
1. RE: UNIT PLANS ON MECHANICAL SHEETS M2.20 THRU M2.22 FOR WORK IN THIS AREA.  
2. RE: LOBBY/LEASE OFFICE PLAN ON MECHANICAL SHEET M2.23 FOR WORK IN THIS AREA.  
3. RE: COMMUNITY ROOM PLAN ON MECHANICAL SHEET M2.24 FOR WORK IN THIS AREA.  
4. RE: COMMERCIAL SPACE MECHANICAL AREA PLAN REFER TO MECHANICAL SHEET M2.25 FOR WORK IN THIS AREA.

ISSUED FOR:	△	DATE:
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DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:	18154	

OVERALL  
MECHANICAL  
PLANS LEVELS 1 &  
2  
**M2.10**



**LEVEL 4 OVERALL MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"



**LEVEL 3 OVERALL MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

1. COORDINATE MECHANICAL WORK WITH ARCHITECTURAL PLANS AND ALL OTHER TRADES.

**DRAWING NOTES:**

1. REFER UNIT PLANS ON MECHANICAL SHEETS M2.20 THRU M2.22 FOR WORK IN THIS AREA.

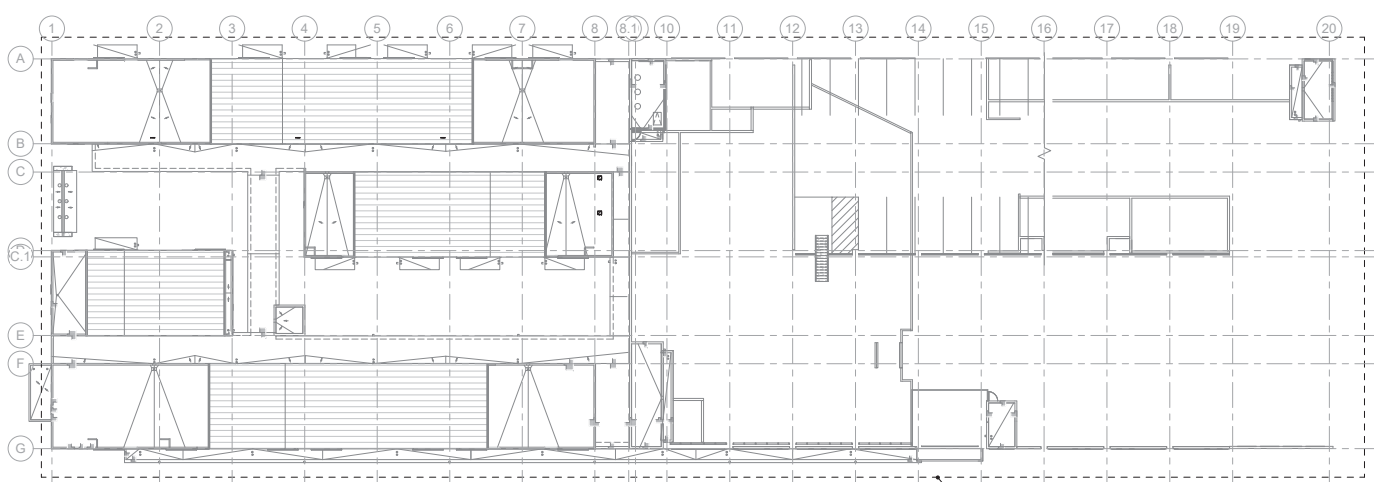


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DD REVISIONS		1.11.2019
SCALE:		1/8" = 1'-0"
DRAWN BY:		MDK
CHECKED BY:		RRR
JOB NUMBER:		18154

**OVERALL  
MECHANICAL  
PLANS LEVELS 3 &  
4  
M2.11**



**ROOF MECHANICAL PLAN**  
SCALE: 1/8" = 1'-0"

**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**

COFFMAN STREET, LONGMONT, CO 80501

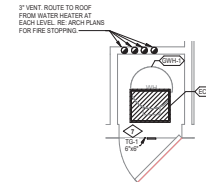
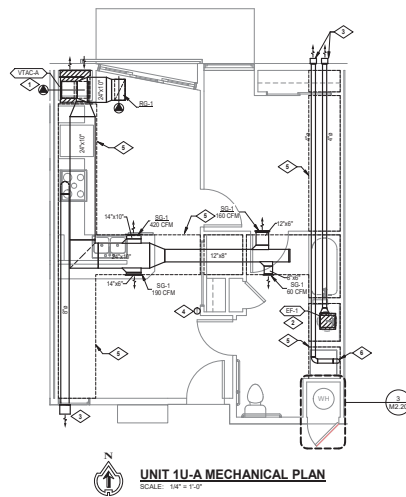
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100% DD PROGRESS		11.30.2018
DD REVISIONS		1.11.2019
SCALE:		1/8" = 1'-0"
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CHECKED BY:		RRR
JOB NUMBER:		18154

**MECHANICAL ROOF  
PLAN**

**M2.12**



**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**GENERAL NOTES:**

- ROUTE SUPPLY DUCTWORK IN SOFFIT BELOW RATED ASSEMBLY UNLESS NOTED OTHERWISE.
- ROUTE EXHAUST DUCTWORK ABOVE THE RATED CEILING UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS SHALL BE UNDERCUT. RE: ARCHITECTURAL PLANS.
- MAINTAIN MINIMUM 10 FOOT SEPARATION BETWEEN EXHAUST OUTLETS AND OUTSIDE AIR INTAKES.

**DRAWING NOTES:**

- VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT SHALL BE LOCATED IN CLOSET. RE: INSTALLATION DETAIL ON M2.20.
- EXHAUST FAN LOCATED IN SOFFIT BELOW RATED ASSEMBLY.
- PROVIDE EXHAUST BOX, X VENT BOX OR SIMILAR WITH SINGLE EXHAUST DUCT. MATCH EXHAUST DUCT SIZE. MAINTAIN MIN. 4 FT CLEARANCE FROM OPERABLE WINDOWS AND DOORS.
- THERMOSTAT SHALL BE MOUNTED AT 48 IN MAXIMUM ABOVE FINISHED FLOOR TO TOP OF HOUSING. PROVIDE DIGITAL, PROGRAMMABLE THERMOSTAT.
- DASHED AREA REPRESENTS DROP SOFFIT. RE: ARCHITECTURAL PLANS.
- 4\"/>

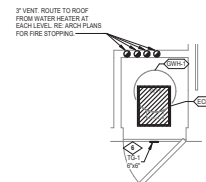
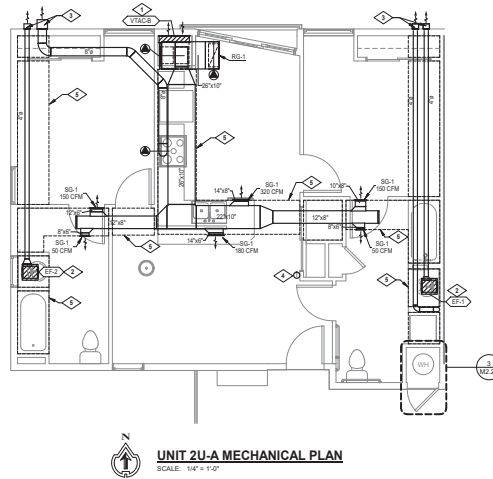
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50% DESIGN DEVELOPMENT		09.12.2018
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DD REVISIONS		1.11.2019
SCALE:	As Indicated	
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MECHANICAL PLAN  
UNIT 1U-A

**M2.20**



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REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**GENERAL NOTES:**

- ROUTE SUPPLY DUCTWORK IN SOFFIT BELOW RATED ASSEMBLY UNLESS NOTED OTHERWISE.
- ROUTE EXHAUST DUCTWORK ABOVE THE RATED CEILING UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS SHALL BE UNDERCUT. RE: ARCHITECTURAL PLANS.
- MAINTAIN MINIMUM 10 FOOT SEPARATION BETWEEN EXHAUST OUTLETS AND OUTSIDE AIR INTAKES.

**DRAWING NOTES:**

- VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT SHALL BE LOCATED IN CLOSET. RE: INSTALLATION DETAIL ON M5.30.
- EXHAUST FAN LOCATED IN SOFFIT BELOW RATED ASSEMBLY.
- PROVIDE EXHAUST BOX, X VENT BOX OR SIMILAR WITH SINGLE EXHAUST DUCT. MATCH EXHAUST DUCT SIZE. MAINTAIN MIN. 4 FT CLEARANCE FROM OPERABLE WINDOWS AND DOORS.
- THERMOSTAT SHALL BE MOUNTED AT 48 IN MAXIMUM ABOVE FINISHED FLOOR TO TOP OF HOUSING. PROVIDE DIGITAL PROGRAMMABLE THERMOSTAT.
- DASHED AREA REPRESENTS DROP SOFFIT. RE: ARCHITECTURAL PLANS.
- 6#6 RETURN GRILLE MOUNTED 12" BELOW CEILING FOR COMBUSTION AIR. NET FREE OPENING OF GRILLE SHALL BE 27.76 SQ. IN. EXCEEDING MINIMUM OF 1.50 IN. PER 3,000 BTUH OF THE WATER HEATER GAS INPUT OF 40,000 BTUH PER F.G.C. 304.6.2 (40,000/3,000 = 13.3 SQ. IN. FREE OPENING).

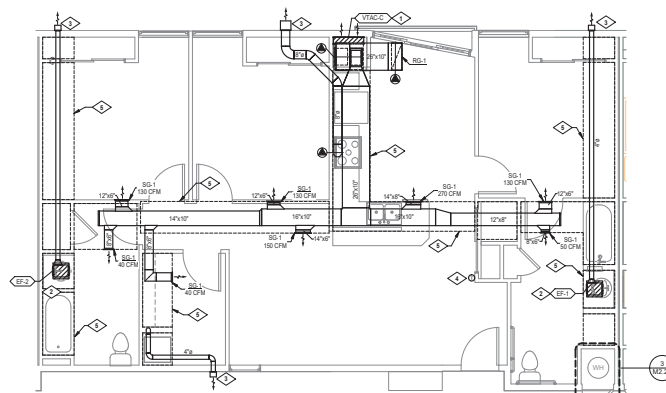
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SCALE:	As Indicated	
DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:	18154	

**MECHANICAL PLAN  
UNIT 2U-A**

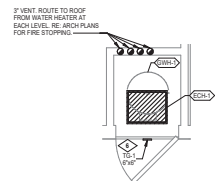
**M2.21**



**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**UNIT 3U-A MECHANICAL PLAN**  
SCALE: 1/4" = 1'-0"



**UNIT 3U-A ENLARGED WATER CLOSET PLAN**  
1/2" = 1'-0"

**GENERAL NOTES:**

- ROUTE SUPPLY DUCTWORK IN SOFFIT BELOW RATED ASSEMBLY UNLESS NOTED OTHERWISE.
- ROUTE EXHAUST DUCTWORK ABOVE THE RATED CEILING UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS SHALL BE UNDERCUT. RE: ARCHITECTURAL PLANS.
- MAINTAIN MINIMUM 10 FOOT SEPARATION BETWEEN EXHAUST OUTLETS AND OUTSIDE AIR INTAKES.

**DRAWING NOTES:**

- VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT SHALL BE LOCATED IN CLOSET. RE: INSTALLATION DETAIL ON M2.20.
- EXHAUST FAN LOCATED IN SOFFIT BELOW RATED ASSEMBLY.
- PROVIDE EXHAUST BOX, X-VENT BOX OR SIMILAR WITH SINGLE EXHAUST DUCT MATCH EXHAUST DUCT SIZE. MAINTAIN MIN. 4 FT CLEARANCE FROM OPERABLE WINDOWS AND DOORS.
- THERMOSTAT SHALL BE MOUNTED AT 48 IN MAXIMUM ABOVE FINISHED FLOOR TO TOP OF HOUSING. PROVIDE DIGITAL PROGRAMMABLE THERMOSTAT.
- DASHED AREA REPRESENTS DROP SOFFIT. RE: ARCHITECTURAL PLANS.
- 646 RETURN GRILLE MOUNTED 12" BELOW CEILING FOR COMBUSTION AIR. NET FREE OPENING OF GRILLE SHALL BE 27.36 SQ. IN. EXCEEDING MINIMUM OF 1 SQ. IN. FOR 3,000 BTU/H OF THE WATER HEATER GAS INPUT OF 40,000 BTU/H PER ICC-504.6.2 (40,000/5,000 = 13.3 SQ. IN. FREE OPENING).

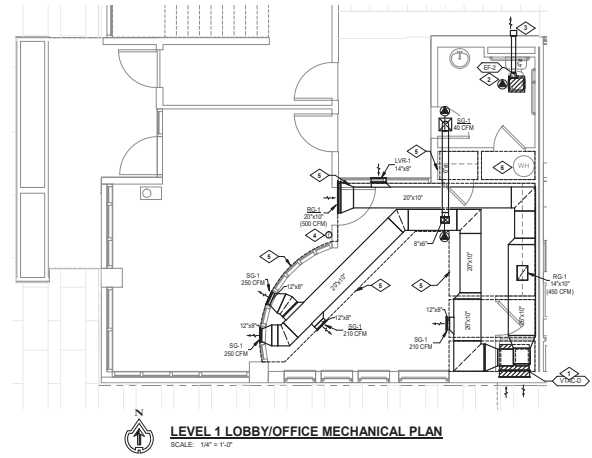
ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
50% DESIGN DEVELOPMENT		09.12.2018
100% DD PROGRESS		11.30.2018
DD REVISIONS		1.11.2019
SCALE:	As Indicated	
DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:	18154	

**MECHANICAL PLAN  
UNIT 3U-A**

**M2.22**



**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**GENERAL NOTES:**

1. ROUTE SUPPLY DUCTWORK IN SOFFIT BELOW RATED ASSEMBLY UNLESS NOTED OTHERWISE.
2. ROUTE EXHAUST DUCTWORK ABOVE THE RATED CEILING UNLESS NOTED OTHERWISE.
3. ALL INTERIOR DOORS SHALL BE UNDERCUT. RE: ARCHITECTURAL PLANS.
4. MAINTAIN MINIMUM 10 FOOT SEPARATION BETWEEN EXHAUST OUTLETS AND OUTSIDE AIR INTAKES.

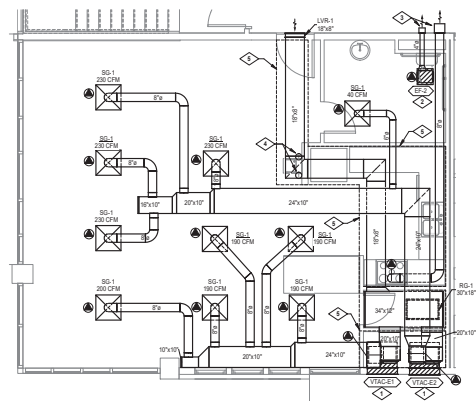
**DRAWING NOTES:**

1. VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT SHALL BE LOCATED IN CLOSET. RE: INSTALLATION DETAIL ON M2.30.
2. EXHAUST FAN LOCATED IN RATED CEILING ASSEMBLY. PROVIDE INTEGRAL RADIATION DAMPER WITH UL LISTING FOR RATED ASSEMBLY.
3. PROVIDE EXHAUST BOX, X VENT BOX OR SIMILAR WITH SINGLE EXHAUST DUCT. MATCH EXHAUST DUCT SIZE. MAINTAIN MIN. 4 FT CLEARANCE FROM OPERABLE WINDOWS AND DOORS.
4. THERMOSTAT SHALL BE MOUNTED AT 48 IN MAXIMUM ABOVE FINISHED FLOOR TO TOP OF HOUSING. PROVIDE DIGITAL PROGRAMMABLE THERMOSTAT.
5. DASHED AREA REPRESENTS DROP SOFFIT. RE: ARCHITECTURAL PLANS.
6. ELECTRIC WATER HEATER PROVIDED.

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
50% DESIGN DEVELOPMENT		09.12.2018
100% DD PROGRESS		11.30.2018
DD REVISIONS		1.11.2019
SCALE:		1/4" = 1'-0"
DRAWN BY:		MDK
CHECKED BY:		RRR
JOB NUMBER:		18154

**MECHANICAL PLAN  
LOBBY LEASE  
OFFICE**  
**M2.23**

**BCHA - 518 COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**LEVEL 2 COMMUNITY ROOM MECHANICAL PLAN**  
SCALE: 1/4" = 1'-0"

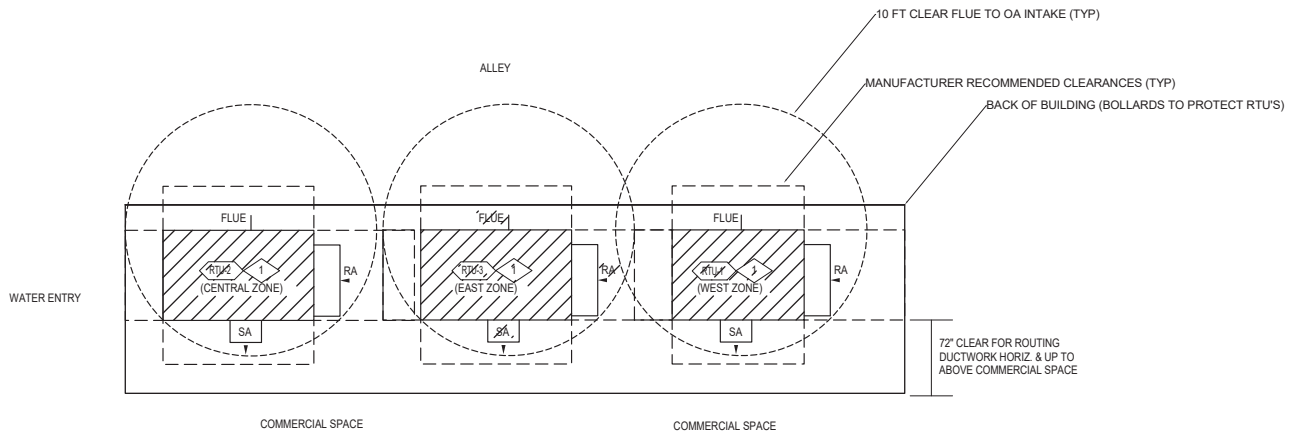
- GENERAL NOTES:**
- 1 ROUTE SUPPLY DUCTWORK IN SOFFIT BELOW RATED ASSEMBLY UNLESS NOTED OTHERWISE.
  - 2 ROUTE EXHAUST DUCTWORK ABOVE THE RATED CEILING UNLESS NOTED OTHERWISE.
  - 3 ALL INTERIOR DOORS SHALL BE UNDERCUT. RE: ARCHITECTURAL PLANS.
  - 4 MAINTAIN MINIMUM 10 FOOT SEPARATION BETWEEN EXHAUST OUTLETS AND OUTSIDE AIR INTAKES.

- DRAWING NOTES:**
- 1 VERTICAL TERMINAL AIR CONDITIONER (VTAC) UNIT SHALL BE LOCATED IN CLOSET. RE: INSTALLATION DETAIL ON M0.30
  - 2 EXHAUST FAN LOCATED IN RATED CEILING ASSEMBLY. PROVIDE INTEGRAL RADIATION DAMPER WITH UL LISTING FOR RATED ASSEMBLY.
  - 3 PROVIDE EXHAUST BOX, X-VENT BOX OR SIMILAR WITH SINGLE EXHAUST DUCT. MATCH EXHAUST DUCT SIZE. MAINTAIN MIN. 4 FT CLEARANCE FROM OPERABLE WINDOWS AND DOORS.
  - 4 THERMOSTAT SHALL BE MOUNTED AT 48 IN MAXIMUM ABOVE FINISHED FLOOR TO TOP OF HOUSING. PROVIDE DIGITAL PROGRAMMABLE THERMOSTAT.
  - 5 DASHED AREA REPRESENTS DROP SOFFIT. RE: ARCHITECTURAL PLANS.

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
50% DESIGN DEVELOPMENT		09.12.2018
100% DD PROGRESS		11.30.2018
DD REVISIONS		1.11.2019
SCALE:		1/4" = 1'-0"
DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:		18154

**MECHANICAL PLAN  
COMMUNITY ROOM**

**M2.24**



**Commercial Space Mech Area**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**  
1. COORDINATE MECHANICAL WORK WITH ARCHITECTURAL, PLUMBING AND ALL OTHER TRADES.

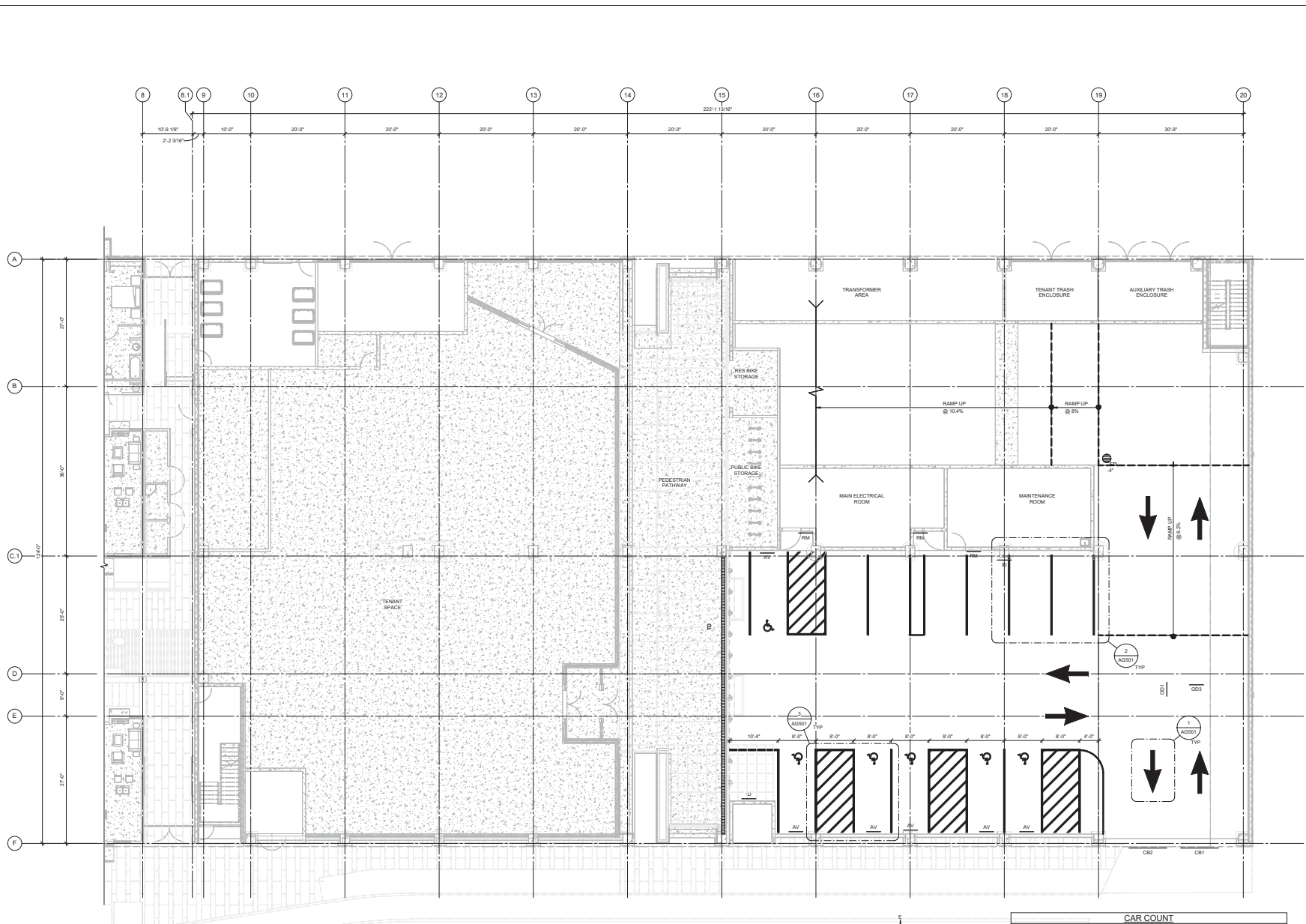
**DRAWING NOTES**  
1. RE: RTU EQUIPMENT SCHEDULE AND DIAGRAM FOR DETAILS

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
50% DESIGN DEVELOPMENT		09.12.2018
100% DD PROGRESS		11.30.2018
DD REVISIONS		1.11.2019
SCALE:	1/4" = 1'-0"	
DRAWN BY:	MDK	
CHECKED BY:	RRR	
JOB NUMBER:	18154	

**MECHANICAL PLAN  
- COMMERCIAL  
SPACE MECH AREA**

**M2.25**

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**1 GROUND TIER PLAN**  
1/8" = 1'-0"

CAR COUNT						
9'-0" 90" STANDARD SPACE						
TIER	STANDARD	CAR ACCESSIBLE	VAN ACCESSIBLE	TOTAL	PARKING AREA (SQ FT)	EFFICIENCY (SQ FT/STALL)
GROUND	6	0	6	12	10,960	913
SECOND	69	7	0	76	26,546	349
THIRD	75	5	0	80	26,546	332
FOURTH	75	4	0	79	26,546	336
TCP	15	0	0	15	26,258	1751
<b>TOTAL</b>	<b>240</b>	<b>16</b>	<b>6</b>	<b>262</b>	<b>116,856</b>	<b>446</b>

COMMERCIAL PARKING: 6 STANDARD STALLS  
1 VAN ACCESSIBLE STALL  
RESIDENTIAL PARKING: 69 STANDARD STALLS  
12 CAR ACCESSIBLE STALLS  
3 VAN ACCESSIBLE STALLS  
PUBLIC PARKING: 175 STANDARD STALLS  
9 CAR ACCESSIBLE STALLS  
1 VAN ACCESSIBLE STALLS

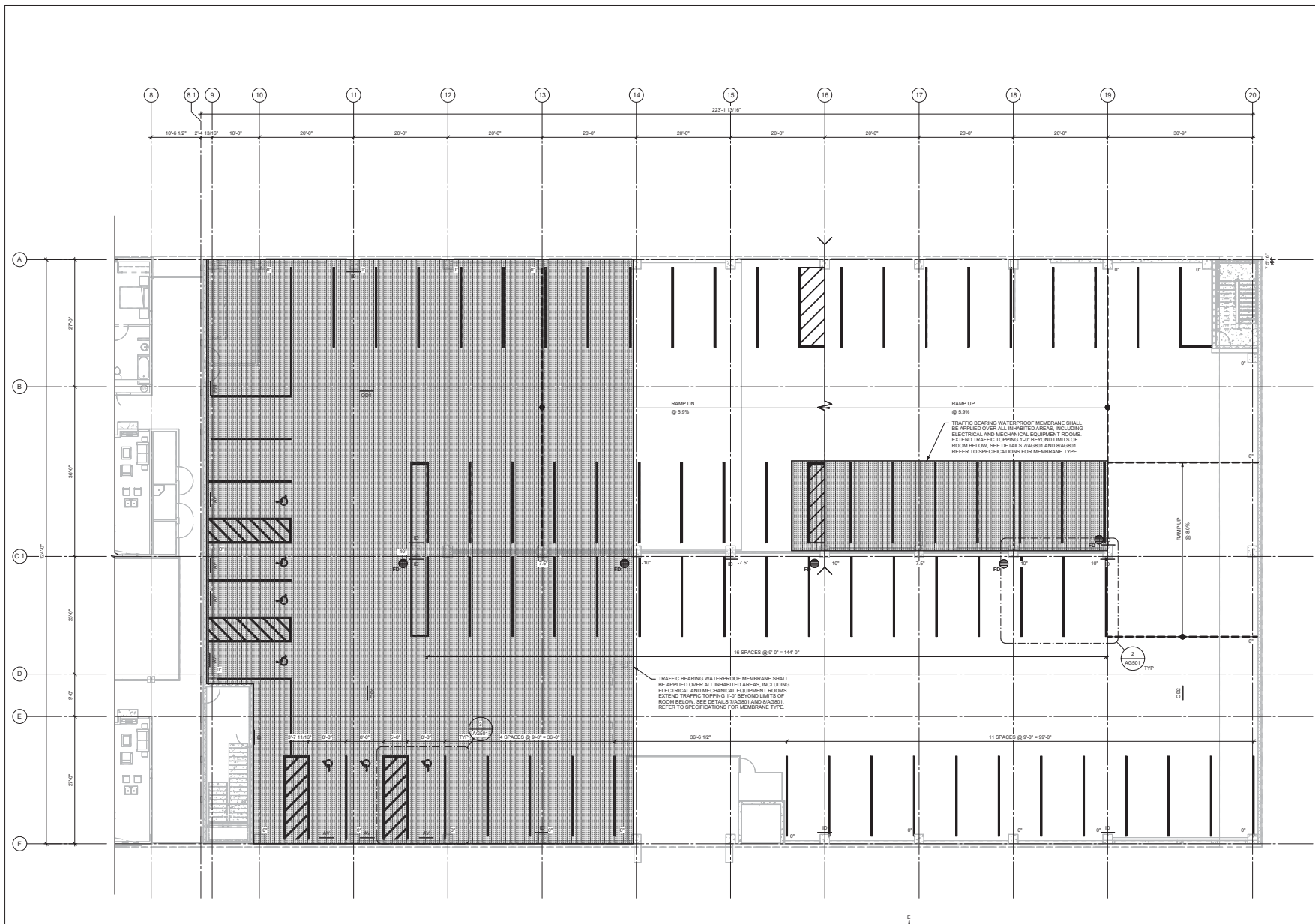
Number needs to be revisited

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		As Indicated
DRAWN BY:		MBP
CHECKED BY:		JAC
JOB NUMBER:		0007-16

GROUND TIER PLAN

**AG101**

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



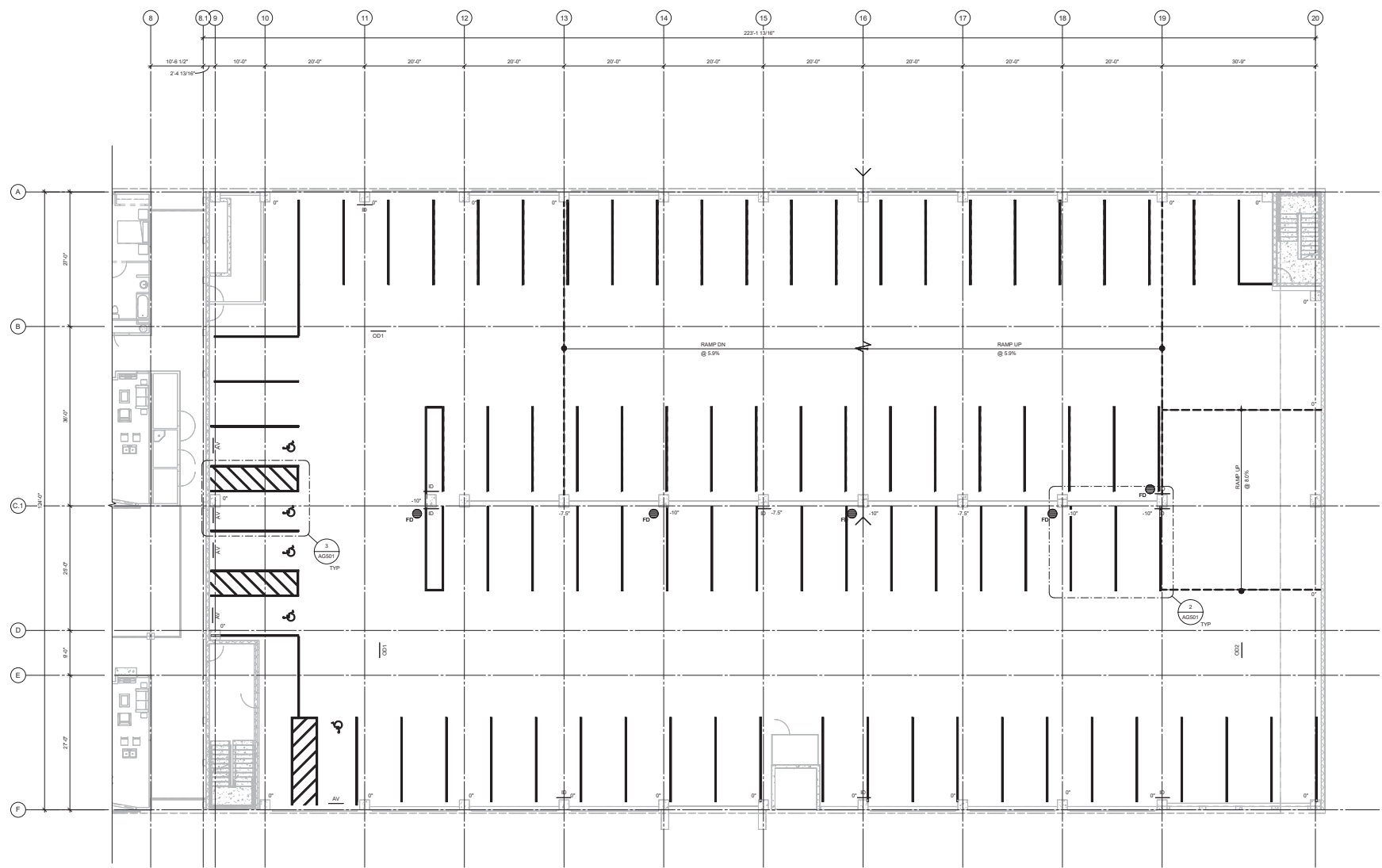
**1 SECOND TIER PLAN**  
1/8" = 1'-0"



ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		1/8" = 1'-0"
DRAWN BY:		MBP
CHECKED BY:		JAC
JOB NUMBER:		0907-16

SECOND TIER PLAN  
**AG102**

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



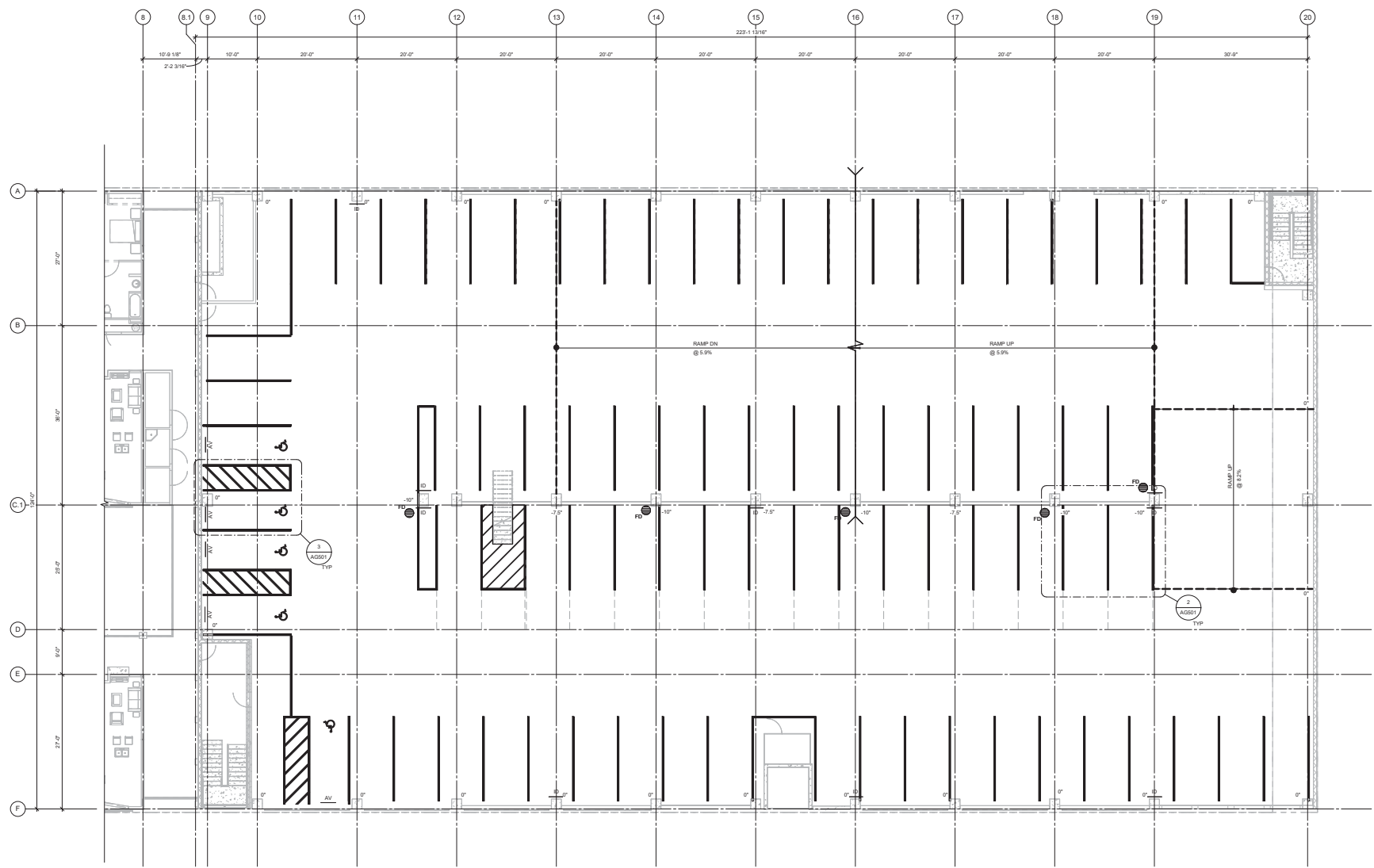
**1** THIRD TIER PLAN  
1/8" = 1'-0"



ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		1/8" = 1'-0"
DRAWN BY:		MBP
CHECKED BY:		JAC
JOB NUMBER:		0907-16

THIRD TIER PLAN  
**AG103**

**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**1** FOURTH TIER PLAN  
1/8" = 1'-0"

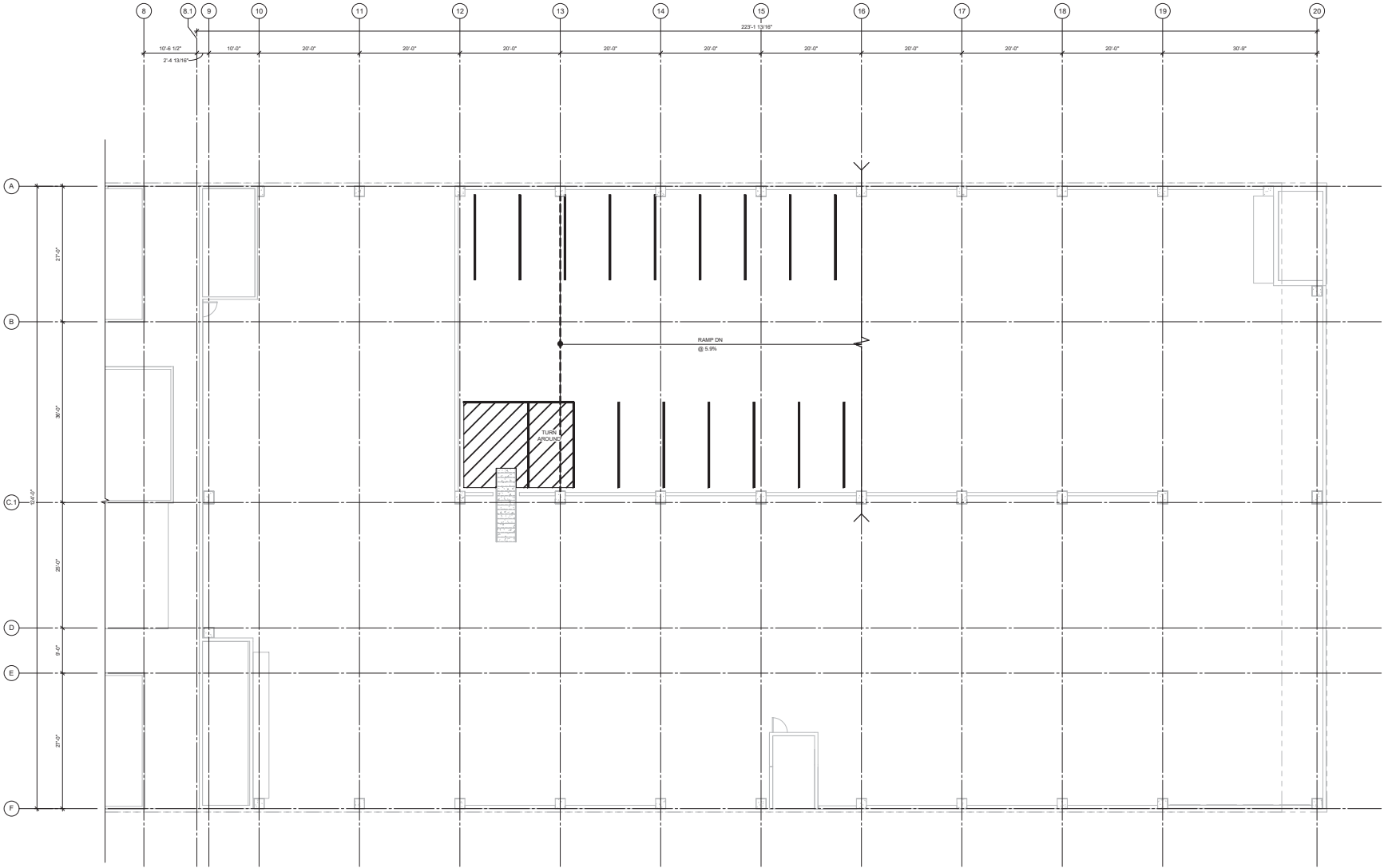


ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		1/8" = 1'-0"
DRAWN BY:		MBP
CHECKED BY:		ACC
JOB NUMBER:		0907-16

FOURTH TIER PLAN  
**AG104**



**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



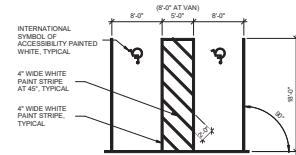
**1 FIFTH TIER**  
1/8" = 1'-0"



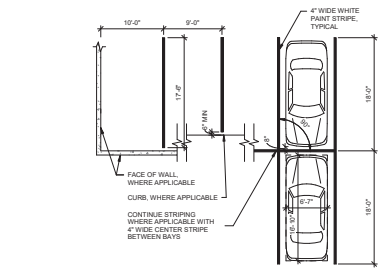
ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		1/8" = 1'-0"
DRAWN BY:		MAP
CHECKED BY:		ACC
JOB NUMBER:		0807-16

TOP TIER PLAN  
**AG105**

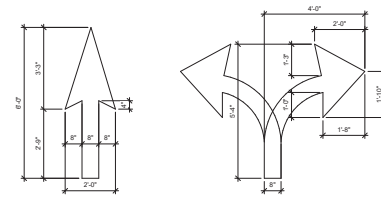
**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



**3 90° STRIPING DETAIL**



**2 90° STRIPING DETAIL**

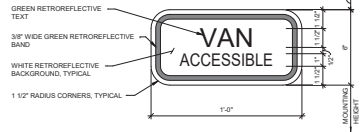


NOTE: PAINT ARROWS SOLID WHITE, UNLESS NOTED OTHERWISE.

**1 TYPICAL ARROW DETAIL**

ISSUE:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:	As Indicated	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

STRIPING DETAILS  
**AG501**



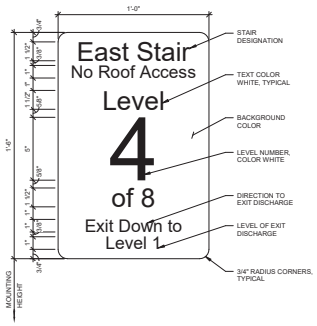
NOTES:  
 1. REFER TO FEDERAL SIGN RT-4A FOR ADDITIONAL SIGN DIMENSIONS AND INFORMATION.  
 2. SIGNS SHALL BE CENTERED IN THE PARKING SPACE UNDER ACCESSIBLE SIGN.  
 3. COMPONENT SIGN - THIS SIGN MUST BE ACCOMPANIED WITH ACCESSIBLE SIGN, SEE DETAIL.

13 ACCESSIBLE SIGN DETAIL - AV  
 3' x 1'0"



NOTES:  
 1. REFER TO FEDERAL SIGN RT-4A FOR ADDITIONAL SIGN DIMENSIONS AND INFORMATION.  
 2. SIGNS SHALL BE CENTERED IN THE PARKING SPACE.  
 3. SEE DETAIL FOR VAN ACCESSIBLE SIGNAGE REQUIREMENTS.

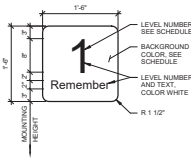
12 ACCESSIBLE SIGN DETAIL - AC



NOTES:  
 1. GENERAL CONTRACTOR TO VERIFY AND COORDINATE THE FOLLOWING WITH OWNER PRIOR TO ORDERING SIGNS:  
 \* STAIR DESIGNATION  
 \* LEVEL NUMBERS  
 \* DIRECTION TO EXIT DISCHARGE  
 \* LEVEL OF EXIT DISCHARGE  
 \* SCHEDULE ON DETAIL FOR LEVEL NUMBER AND BACKGROUND COLOR.  
 2. GENERAL CONTRACTOR TO VERIFY AND COORDINATE LEVEL NUMBERS AND BACKGROUND COLORS PRIOR TO ORDERING SIGNS.  
 3. SIGN AND MOUNTING TO CONFORM TO REQUIREMENTS OF 2015 IFC SECTION 1023.1.

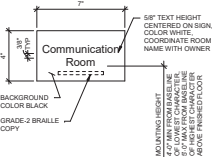
11 STAIRWAY INDICATOR SIGN DETAIL - SI

GARAGE TIER	LEVEL NUMBER	BACKGROUND COLOR
GROUND TIER	1	COORDINATE WITH OWNER
SECOND TIER	2	COORDINATE WITH OWNER
THIRD TIER	3	COORDINATE WITH OWNER
FOURTH TIER	4	COORDINATE WITH OWNER



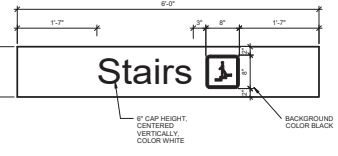
NOTES:  
 1. CENTER TEXT ON SIGN.  
 2. GENERAL CONTRACTOR TO VERIFY AND COORDINATE LEVEL NUMBERS AND BACKGROUND COLORS WITH OWNER PRIOR TO ORDERING SIGNS.

10 LEVEL INDICATOR SIGN DETAIL - ID

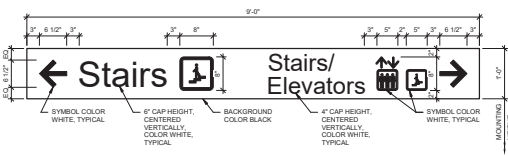


NOTES:  
 1. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ROOM NAMES WITH OWNER PRIOR TO ORDERING SIGNS.  
 2. SIGN AND MOUNTING TO CONFORM TO REQUIREMENTS OF 2015 IFC SECTION 1023.19 AND THE AMERICANS WITH DISABILITIES ACT.

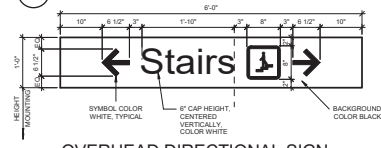
9 ROOM SIGN DETAIL - RM



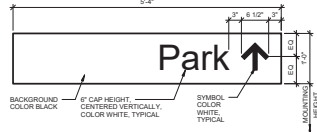
8 OVERHEAD DIRECTIONAL SIGN DETAIL - OD6



7 OVERHEAD DIRECTIONAL SIGN DETAIL - OD5



6 OVERHEAD DIRECTIONAL SIGN DETAIL - OD4



5 OVERHEAD DIRECTIONAL SIGN DETAIL - OD3

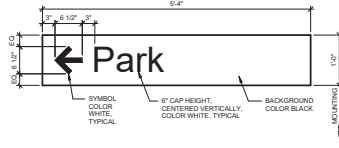
MARK	SIZE		TEXT/MESSAGE	SIGN TYPE	MOUNTING		SIGN DETAIL	NOTES
	W	H			DETAIL	HEIGHT		
CB1	8'0"	10'0"	8 FT 2 IN	PVC		8'-2"		
CB2	8'0"	10'0"	Exit Only	PVC		8'-2"		
OD1	1'0"	8'-0"	← Out	V		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
OD2	1'0"	8'-0"	← Park Out →	V		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
OD3	1'0"	8'-0"	← Park	V		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
OD4	1'0"	8'-0"	← Stairs →	PP		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
OD5	1'0"	8'-0"	← Stairs Elevators →	PP		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
OD6	1'0"	8'-0"	Stairs	PP		SEE NOTES		MOUNTING HEIGHT: 8'-4" AT GROUND TIER, 7'-4" AT REMAINING LEVELS
RM	4'	7'	Room	VR		SEE NOTES		MOUNTING HEIGHT PER DETAIL.
ID	1'-6"	1'-4"	Remember	PP		8'-0"		
SI	1'-6"	1'-0"	Star - Level	PP		8'-0"		
AC	1'-8"	1'-0"	RESERVED PARKING	R		SEE NOTES		USE MOUNTING DETAIL. AT SIGN AC AND DETAIL.
AV	2'-1"	1'-0"	VAN ACCESSIBLE	R		SEE NOTES		USE MOUNTING DETAIL. AT SIGN AV AND DETAIL.

SIGNAGE GENERAL NOTES:

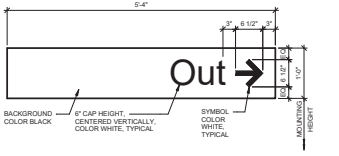
- MOUNTING HEIGHT FROM BOTTOM OF SIGN SHALL MAINTAIN A MINIMUM HEADROOM CLEARANCE OF 8'-4" AT LEVEL GP AND A MINIMUM HEADROOM CLEARANCE OF 7'-4" AT THE REMAINING LEVELS.
- SIGN CONTRACTOR SHALL REVIEW SIGN LOCATIONS PRIOR TO INSTALLATION WITH ARCHITECT TO COORDINATE WITH LIGHTING SYSTEM.
- SIGNS SHALL BE MOUNTED LEVEL AND PLUMB UNLESS NOTED OTHERWISE.
- WHERE TWO SIGNS ARE MOUNTED BACK TO BACK, SMALLEST L DIMENSION AS SHOWN IN SIGN SCHEDULE SHALL INCREASE TO MATCH LARGEST L DIMENSION.
- MAXIMUM BOLT INSERT ENGAGEMENT LENGTH SHALL BE 1 1/4" UNLESS NOTED OTHERWISE.
- DO NOT SCALE DRAWINGS.
- BACKS AND EDGES OF ALL ALUMINUM SIGNS MOUNTED DIRECTLY TO STRUCTURE SHALL BE PAINTED (SIGN BACKGROUND COLOR) TO PREVENT CATHODIC REACTION.
- SEE ARCHITECTURAL GRAPHICS PLUMB (AS SERIES) FOR SIGN LOCATIONS.
- ILLUMINATED SIGNS TO BE UL LISTED OR APPROVED EQUIVALENT.
- ALL FONTS TO BE SANS OR APPROVED EQUIPMENT SAN SERIF FONT, UNLESS NOTED OTHERWISE.
- COLORS TO BE PER MUTCD STANDARDS.
- SIGNS ARE DESIGNED TO SWING. MOUNT SIGNS FOR MAXIMUM VIEWING ANGLE BUT DO NOT ALLOW SIGN TO SWING INTO PTV BEAMRIDERS OR OTHER OBSTRUCTIONS.

SIGN TYPE LEGEND

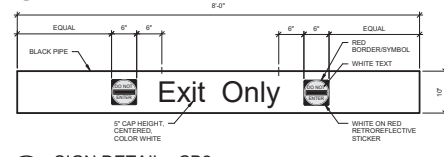
- V - VEHICULAR (RETROREFLECTIVE TEXT ONLY)
- R - REGULATORY (RETROREFLECTIVE)
- PP - PEDIESTRIAN PANEL
- VR - VARIAN RESISTANT
- PVC - PVC CLEARANCE BAR
- D - DIMENSIONAL LETTERING



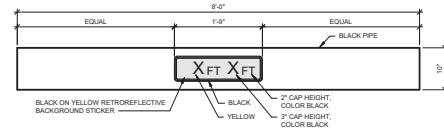
4 OVERHEAD DIRECTIONAL SIGN DETAIL - OD2



3 OVERHEAD DIRECTIONAL SIGN DETAIL - OD1



2 SIGN DETAIL - CB2



1 SIGN DETAIL - CB1

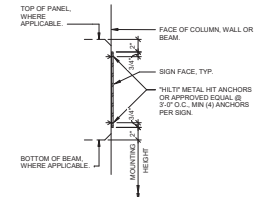


BCHA - COFFMAN STREET REDEVELOPMENT  
 COFFMAN STREET, LONGMONT, CO 80501

ISSUE:	Δ	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		05.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018

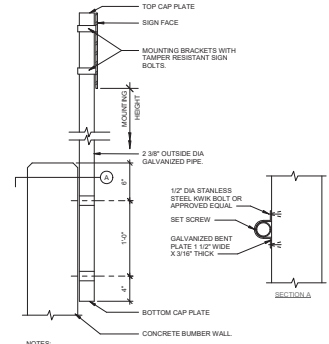
SCALE: As Indicated  
 DRAWN BY: MBP  
 CHECKED BY: AAC  
 JOB NUMBER: 0007-16

SIGN SCHEDULE AND DETAILS  
 AG601



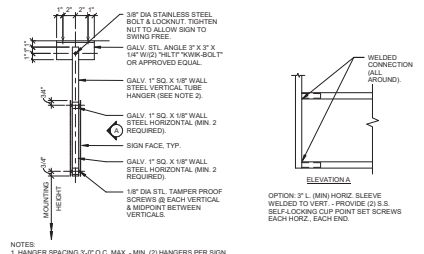
CONTRACTOR NOTES:  
1. DO NOT OVERDRIVE ANCHORS. OVERDRIVEN ANCHORS WILL DAMAGE SIGNS.  
2. WHERE TOP OF PANEL OR BOTTOM OF BEAM CONDITION OCCURS, MAINTAIN CONSTANT 2" DIMENSION FROM TOP OF PANEL OR BOTTOM OF BEAM TO SIGN AS SHOWN.

3 SIGN DETAIL MOUNT - FLUSH



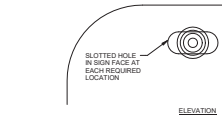
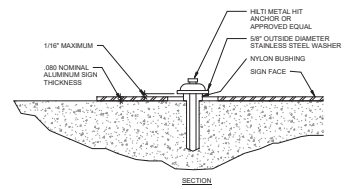
NOTES:  
1. SIGN POST TO BE VERTICAL.  
2. LOCATE REINFORCEMENT PRIOR TO INSTALLATION OF BENT PLATE BRACKETS.

5 SIGN DETAIL MOUNT - POST BUMPER WALL



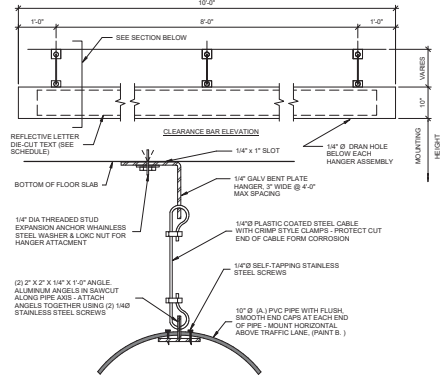
NOTES:  
1. HANGER SPACING 2'-0\"/>

2 SIGN DETAIL MOUNT - HANGING



NOTES:  
1. DO NOT OVERDRIVE ANCHORS. OVERDRIVEN ANCHORS WILL DAMAGE BUSHINGS AND SIGNS.  
2. USE THIS MOUNTING DETAIL ON BUMPER WALLS, COLUMNS, PANELS AND BEAMS WITH DETAIL TAG-XXX AT TOP TIE-AND IN CONDITIONS WHERE SIGN FACE IS EXPOSED TO DIRECT LIGHT.

4 SIGN DETAIL MOUNT - WALL FLUSH SECTION ELEVATION

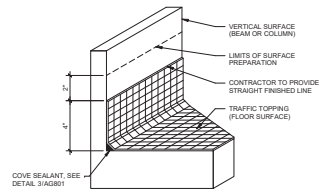


1 SIGN MOUNTING DETAIL

ISSUE:	Δ	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
DD SUBMITTAL 50%		09.24.2018
DD SUBMITTAL 100%		12.19.2018
SCALE:		As Indicated
DRAWN BY:		MBP
CHECKED BY:		MAC
JOB NUMBER:		0907-16

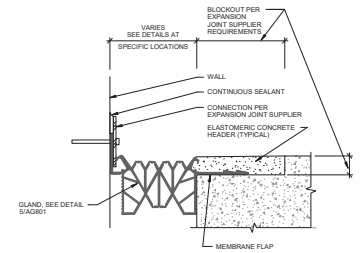
SIGN MOUNTING DETAILS

**AG701**



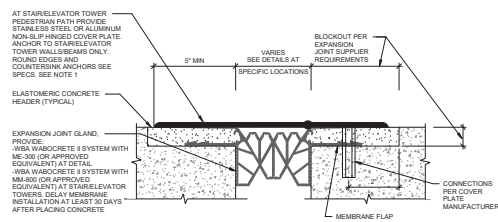
7 TRAFFIC TOPPING DETAIL (VERTICAL TERMINATION)

7



6 ELASTOMERIC CONC EDGED, EXTRUDED RUBBER EJ DETAIL

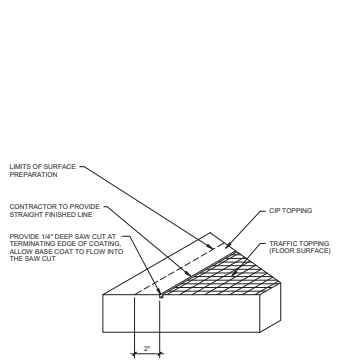
6



NOTES:  
 1. INSTALL ALUMINUM TREAD PLATES WITH A MINIMUM NUMBER OF BUTT JOINTS. JOINTS MUST BE EVEN AND FLUSH. HOLD END OF PLATE 2" AWAY FROM VERTICAL SURFACES (WALLS, COLUMNS, CURBS).  
 2. SEE DETAIL FOR ANTICIPATED MOVEMENTS.  
 3. TURN JOINTS UP AT ENDS MINIMUM 6" BETWEEN COLUMNS AND WALLS, WHERE POSSIBLE.

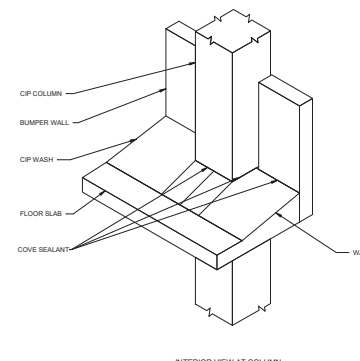
5 ELASTOMERIC CONC EDGED, EXTRUDED RUBBER EJ DETAIL

5



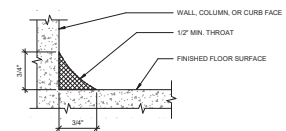
8 TRAFFIC TOPPING DETAIL (HORIZONTAL TERMINATION)

8



4 INSIDE FACE OF WALL/COLUMN SEALANT TYPICAL

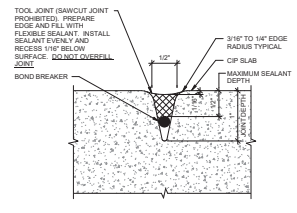
4



NOTES:  
 1. PREPARE & ALLOW FOR PRIMER TO CURE PROPERLY PRIOR TO INSTALLING SEALANT.  
 2. SEE SPECIFICATIONS FOR APPROVED MATERIALS.  
 3. DETAIL NOT TO SCALE.

3 COVE SEALANT

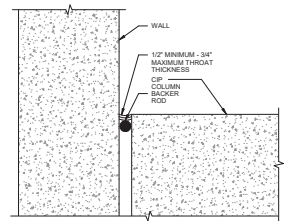
3



NOTES:  
 1. CONTROL JOINT MUST BE TOOK IN PLASTIC CONCRETE AND DIMENSIONS AS DETAILED SHALL BE MAINTAINED IN SET CONCRETE. SUBMITTING OF CONTROL JOINT IN HARDENED CONCRETE SHALL NOT BE PERMITTED.

2 JOINT SEALANT

2



NOTES:  
 1. PREPARE SURFACE FOR PRIMER APPLICATION AND ALLOW FOR PRIMER TO CURE PROPERLY PRIOR TO INSTALLING SEALANT.  
 2. SEE SPECIFICATIONS FOR APPROVED MATERIALS.

1 VERTICAL JOINT SEALANT

1

ISSUE:	Δ	DATE:
PRE-APP MEETING		06.06.2018
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DD SUBMITTAL 100%		12.19.2018
SCALE:	As Indicated	
DRAWN BY:	MBP	
CHECKED BY:	AAC	
JOB NUMBER:	0907-16	

PLUMBING FIXTURE SCHEDULE													
NOTE: ALL CONNECTIONS TO POTABLE WATER SYSTEM SHALL CONFORM TO NSF/ANSI41 AND NSF/ANSI-372 EFFECTIVE 01/04/2014													
SYMBOL	DESCRIPTION	ADA	ACCESSORIES	FINISH	MANUFACTURER	MODEL NUMBER	FAUCET TRIM MANUFACTURER	ACCEPTABLE MANUFACTURERS	REMARKS	ROUGH IN CONNECTION SIZES			
										WASTE (INCHES)	VENT (INCHES)	HOT (INCHES)	COLD (INCHES)
AD-1	CAST IRON BODY DRAIN WITH 6" ROUND HEAVY DUTY TRACTOR GRATE AND W/CE FLASHING COLLAR WITH WEEP HOLES	NA	TRAP GUARD TG-1	CAST IRON	JAY R. SMITH	--	--	JOSAM, ZURN, MIFAB		4"	0"		
BT-1	80 SW/60 SH/40 BOW FRONT 60x20x14" ENAMELED FINISH INTEGRAL DRAIN AND OVERFLOW	YES	TIE-BUSH DRAIN STOP/REDUCED PRESSURE BALANCING VALVE AND TRIM 1.5 GPM SHOWER HEAD	CAST IRON	AMERICAN STANDARD	230K-202	DELTA	114329R/46384-HD01	COORDINATE DRAIN DEE WITH ARCHITECTURAL DRAINWAYS STAIN RESISTANT SURFACE	2"	2"	1/2"	1/2"
D-1	DISPOSER - 1/2 HP - 120 V/60 HZ AUTOMATIC REVERSING STAINLESS STEEL ELEMENTS	NA	MOTOR PROTECTION PLUG AND CORD	--	IN SINKERATOR	BADGER 5	--	MOEN, WASTE KING, IN SINKERATOR		2"	2"		
EW-1	WALL MOUNTED FROST RESISTANT DUAL HEIGHT ELECTRIC WATER COOLER WITH WASH BASIN FRONT PUSH BUTTON ACTIVATION	YES	WATER FILTER STEEL WALL HANGER AND CARRIER WATER FILTER TRIM WALL HANGER AND CARRIER	STAINLESS STEEL	ELKAY	WCTCUBSC	--	MENN, WALTER DICK, KOHLER, DASSI	COORDINATE MOUNTING HEIGHT AND WALL REQUIREMENTS WITH ARCHITECT	2"	2"		1/2"
FD-1	CAST IRON BODY FLOOR DRAIN WITH ADJUSTABLE 6" ROUND STRAINER HEAD, FLASHING COLLAR AND WEEP HOLES	NA	TRAP GUARD TG-1	NICKLE BRONZE	JAY R. SMITH	--	--	JOSAM, ZURN, MIFAB		2"		2"	
FS-1	12" SQUARE x 12" DEEP CAST IRON BODY FLOOR SINK WITH ACID RESISTANT COATED INTERIOR FLASHING CLAMP, WEEP HOLES, ALUMINUM BOTTOM SOFTENING STRAINER, NICKEL BRONZE RIM AND SECURED HALF GRATE	NA	TRAP GUARD TG-1	NICKLE BRONZE	JAY R. SMITH	--	--	JOSAM, ZURN, MIFAB		2"		2"	
HB-1	FLUSH BOX TYPE HOSE BIBB, ALL BRASS SELF DRAINING BODY, LORSE, KEY KEY LOCK COVER	NA	DOUBLE CHECK VALVE, 3/4" HOSE THREAD OUTLET, PROVIDE WITH SHUTOFF BALL VALVE IN BRANCH PIPE	ROUGH BRASS	WOODFORD	B76	--	JOSAM J.R. SMITH WATS	CLOSE COUPLED FOR USE IN HEATED AREAS ONLY				3/4"
LAV-1	LAVATORY - 20x12" OVAL COUNTER MOUNTED, 4" CENTER FACEIT WITH TWO WRIST BLADE HANDLE CONTROL & 2" S/S SPOUT	YES	--	VITREOUS CHINA, CHROME STRAINER	AMERICAN STANDARD	0476.028	DELTA Z520L-FDM	ZURN CHICAGO KOHLER	1.2 GPM	2"	2"	1/2"	1/2"
MSB-1	4'x24"X14" DEEP MOP SERVICE BASIN WITH DRAIN FRONT 2" STAINLESS STEEL DRAIN, 6" WALL MOUNT FAUCET WITH 1/2" S/S SPOUT	NA	PROVIDE WITH FAT TRAP HEAVY DUTY 90° ELBOW HOSE & BRACKET, FAT TRAP STAINLESS STEEL	MOLDED STONE CHROME	FIAT	MSB2424	FAT 530-AA	ARCO FLORESTONE WILLIAMS	INTEGRAL VACUUM BREAKER COORDINATE WALL REINFORCEMENT FOR FAUCET BRACE	3"	2"	1/2"	1/2"
OD-1	OVERFLOW DRAIN CAST IRON BODY WITH BUMP FLASHING FLANGE AND CLAMP, UNDERDECK CLAMP	NA	REMOVABLE DOME STRAINER, INTEGRAL GRAVEL STOP, 2" HIGH WATER DAM STANDPIPE UNDER DOME STRAINER	CAST IRON	ZURN	Z100-W/C	--	JOSAM J.R. SMITH WATS					
RD-1	ROOF DRAIN CAST IRON BODY WITH BUMP FLASHING FLANGE AND CLAMP, UNDERDECK CLAMP	NA	REMOVABLE DOME STRAINER, INTEGRAL GRAVEL STOP	CAST IRON	JAY R. SMITH	1010Y-CD	--	JOSAM, ZURN, MIFAB					
S-1	8" x 16" x 2 1/2" SINGLE COMPARTMENT DELUXE HANDLE FAUCET, METAL CONSTRUCTION 6" SPOUT	YES	SIDE GRAY FAUCET OFFSET DRAIN OPENING FOR ADA COMPLIANCE	STAINLESS STEEL, CHROME FAUCETS	ELKAY	LRAD2219	DELTA 400L-FJH	JUST STANDYNE	6" HP DEEP SINK COORDINATE FAUCET HOLE CONFIGURATION WITH FAUCET	2"	2"	1/2"	1/2"
TD-1	TRAP DRAIN, PRECAST "READY-TO-TRY" 4" INTERNAL WITH INTEGRAL RAILS TO SUPPORT GRADE	NA	6" TRAP/6" KEYWAY GRATE 5800 CATCH BASIN	CAST IRON	JR SMITH	5814	--	POLYGRAN, ZURN, MIFAB		4"		2"	
TG-1	QUAD CLOSE TRAP SEAL DEVICE	NA	--	CHEMICAL RESISTANT ELASTOMER	JAY R. SMITH	--	--	JOSAM, ZURN, WATTS				2"	
WB-1	WALL BOX LAUNDRY RESSUOS WATER AND WASTE CONNECTIONS	NA	INTERNAL HAMMER ARRESTERS OPEN FRAME	ABS	SIOUX CHIEF	686-2913MP	--	DATEY, ZURN, GUY GARY		2"	2"	1/2"	1/2"
WC-1	FLOOR MOUNTED, TANK TYPE, VITREOUS CHINA WATER CLOSURE WITH ELONGATED BOWL	YES	HEAVY DUTY SEAT, COLOR SHALL MATCH FIXTURE	VITREOUS CHINA	AMERICAN STANDARD	211AA-104	--	KOHLER, TOTO, ZURN	HIGH EFFICIENCY FLUSH STAIN RESISTANT SURFACE HARD-WIRED POWER	4"	2"		1/2"
WF-1	WALL HUNG, NON-FREEZE, LOOKING BOX TYPE, ALL BRASS SELF DRAINING BODY, LOOSE KEY KEY LOCK COVER	NA	DOUBLE CHECK VALVE, 3/4" HOSE THREAD OUTLET, PROVIDE WITH SHUTOFF BALL VALVE IN BRANCH PIPE	ROUGH BRASS	WOODFORD	B87	--	JAY R. SMITH, JOSAM WATTS	SELF DRAINING BODY AND SHANK, SHANK LENGTH SUFFICIENT TO PREVENT FREEZING				3/4"

PLUMBING LEGEND													
NOTE: ALL ITEMS LISTED BELOW ARE USED ON THE SET OF PLUMBING DRAWINGS													
PLUMBING FIXTURE							PIPE/SYMBOLS						
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CH	DOMESTIC COLD WATER	HW	DOMESTIC HOT WATER	HW	DOMESTIC HOT WATER	CO	OVERFLOW	FL	FLOOR CLEANOUT	FM	FLOOR METER	FM	FLOOR METER
HC	HEATED WATER	HT	TEMPERED WATER	HW	HOT OR WASTE	SW	SOFTENED WATER	FD	FIRE DRAIN	FR	FIRE SPRINKLER	FD	FIRE DRIFT CONNECTION
PH	POTABLE WATER	PS	PRETREATED WATER	SP	SANITARY VENT	SV	SANITARY VENT	SD	STORM DRAIN	SD	STORM DRAIN	SD	STORM DRAIN
TH	TEMPERED WATER	TD	TODOR DRAIN	TD	TODOR DRAIN	WD	WASTE DRAIN	WD	WASTE DRAIN	WD	WASTE DRAIN	WD	WASTE DRAIN
WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT
WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT
WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT	WV	WASTE VENT

BACKFLOW PREVENTER SCHEDULE												
1. EQUIPMENT SCHEDULE BASED ON WATTS 2. EQUIPMENT SCHEDULE BASED ON PISCO 3. ACCEPTABLE MANUFACTURERS INCLUDE: ZURN-WILKINS, CASH-LACME, FEBCO, AMES 4. CONNECTIONS TO DOMESTIC WATER SYSTEM SHALL BE LEAD FREE												
SYMBOL	MODEL	TYPE	PRESSURE DROP - MAX (PSI)	INLET SIZE (IN)	OUTLET SIZE (IN)	LENGTH (IN)	REMARKS	NOTES				
BFP-1	UF008RS	REDUCED PRESSURE ZONE ASSEMBLY	13.00 PSI	2 1/4"	2 1/4"	33 1/4"	APPROVED FOR USE IN POTABLE WATER SYSTEMS; PROVIDE WITH AIR GAP FITTING AND ROUTE DISCHARGE FULL SIZE TO NEAREST FLOOR SINK.	1, 3, 4				
FBP-1	6" FBSB-05V	DOUBLE CHECK ASSEMBLY	7.50 PSI	6"	6"	50"	SPRAY COATED DUTILE IRON BODY DOUBLE CHECK BACKFLOW PREVENTER ASSEMBLY WITH OSY RESILIENT WEDGE GATE VALVES.	2, 4				

GAS FIRED WATER HEATER SCHEDULE													
NOTES: 1. EQUIPMENT SCHEDULE BASED ON BRADFORD WHITE 2. ACCEPTABLE MANUFACTURERS INCLUDE: INREIN AD SMTH, STATE 3. BURNER SHALL BE DESIGNED TO FIRE ON NATURAL GAS, 7" W C, 81 BTU/CF 4. WATER HEATER SHALL BE PROVIDED WITH MANUFACTURER SUPPLIED, INTEGRAL HEAT TRAP ON SUPPLY AND DISCHARGE CONNECTIONS.													
SYMBOL	MODEL	STORAGE CAPACITY	INPUT (BHP)	INLET WATER TEMP (°F)	OUTLET WATER TEMP (°F)	RECOVERY RATE (GPH @ 90° RISE)	FLUE SIZE (IN)	VOLTAGE	PHASE	DIAMETER (IN)	HEIGHT (IN)	OPERATING WEIGHT (LBS)	NOTES
WH-1	WT40C	40	33	60	120	12	3/4"	240V	1PH	18"	36"	160	1.3

DOMESTIC EXPANSION TANK SCHEDULE									
NOTES: 1. EQUIPMENT SCHEDULE BASED ON AMTROL 2. ACCEPTABLE MANUFACTURERS INCLUDE: AMTROL, TACO AND WATTS 3. ASME RATED									
SYMBOL	MODEL	CAPACITY (GAL)	DIAMETER (IN)	HEIGHT (IN)	OPERATING WEIGHT (LBS)	SYSTEM CONNECTION (IN)	ACCEPTANCE FACTOR	REMARKS	
DE-1	ST42C	2.0	8	14	10	3/4"	0.65	1.3	

INTERCEPTOR SCHEDULE											
1. EQUIPMENT SCHEDULE BASED ON COPELAND PRECAST 2. ACCEPTABLE MANUFACTURERS INCLUDE: JENSEN, OLDCASTLE 3. REFER TO DIAGRAMS FOR COMPLETE DIMENSIONS											
SYMBOL	SERVICE	MODEL	MATERIAL	LENGTH	WIDTH	HEIGHT	VOLUME (GAL)	DRY WEIGHT (LBS)	NOTES		
INT-1	PARKING GARAGE	I1032	Concrete	8' - 10"	4' - 10"	8' - 6"	800.00	1600.00	1.3		

SUMP PUMP SCHEDULE													
NOTES: 1. EQUIPMENT SCHEDULE BASED ON WEL 2. ACCEPTABLE MANUFACTURERS INCLUDE: STANTEC, ZOELLER, AURORAHYDROMATIC													
SYMBOL	SERVICE	PUMP TYPE	MODEL	GPM	HEAD (FT W.C.)	MIN HP	RPM	FULL LOAD AMPS	ELECTRICAL CONNECTION	VOLTAGE	PHASE	DISCH SIZE (IN)	REMARKS
SP-1	PARKING GARAGE	Vertical	VP1000	1000	20	1.5	3450	10.0	3	240V	3PH	4"	

BCHA - COFFMAN STREET REDEVELOPMENT

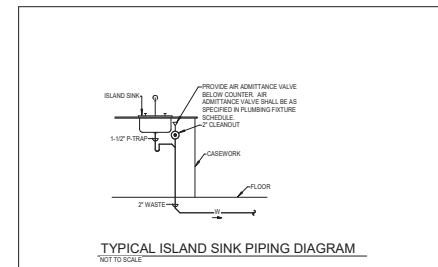
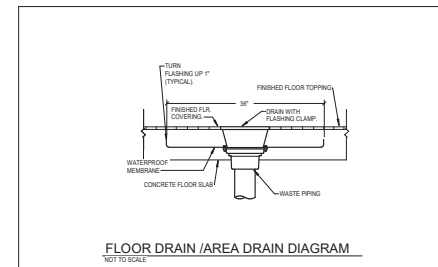
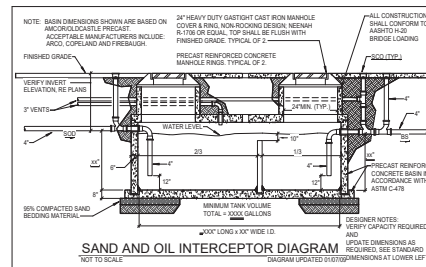
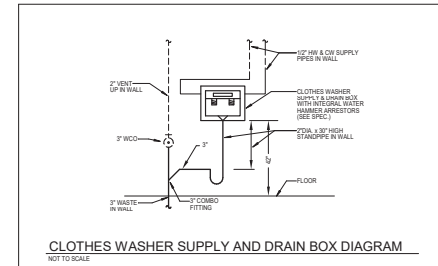
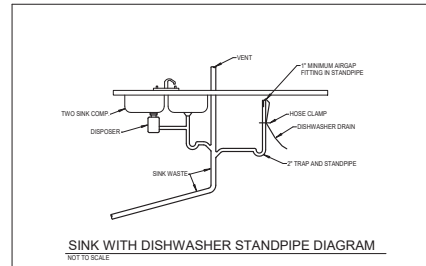
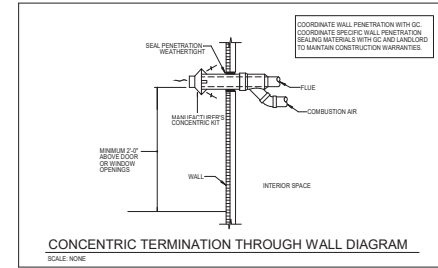
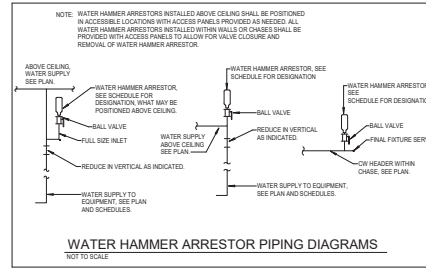
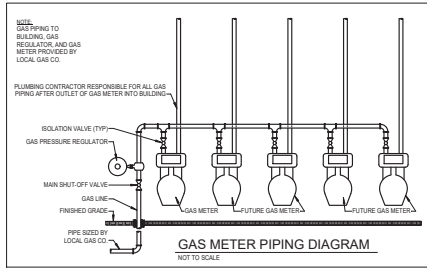
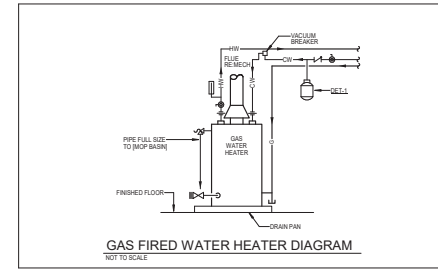
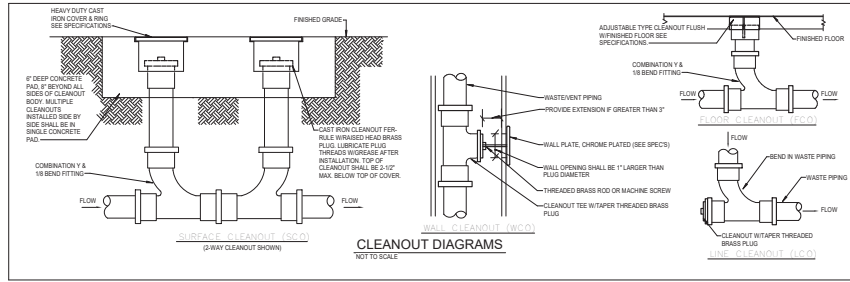
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**MEP ENGINEERING INC.**  
 3402 Thruway, Suite 101, Denver, CO 80233-3323  
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ISSUED FOR:	Δ	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.29.2018
100% CD PROGRESS		11.30.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		1.11.2019
SCALE:	1/8" = 1'-0"	
DRAWN BY:	EMM	
CHECKED BY:	MAB	
JOB NUMBER:	18154	

PLUMBING SCHEDULES  
**P0.10**

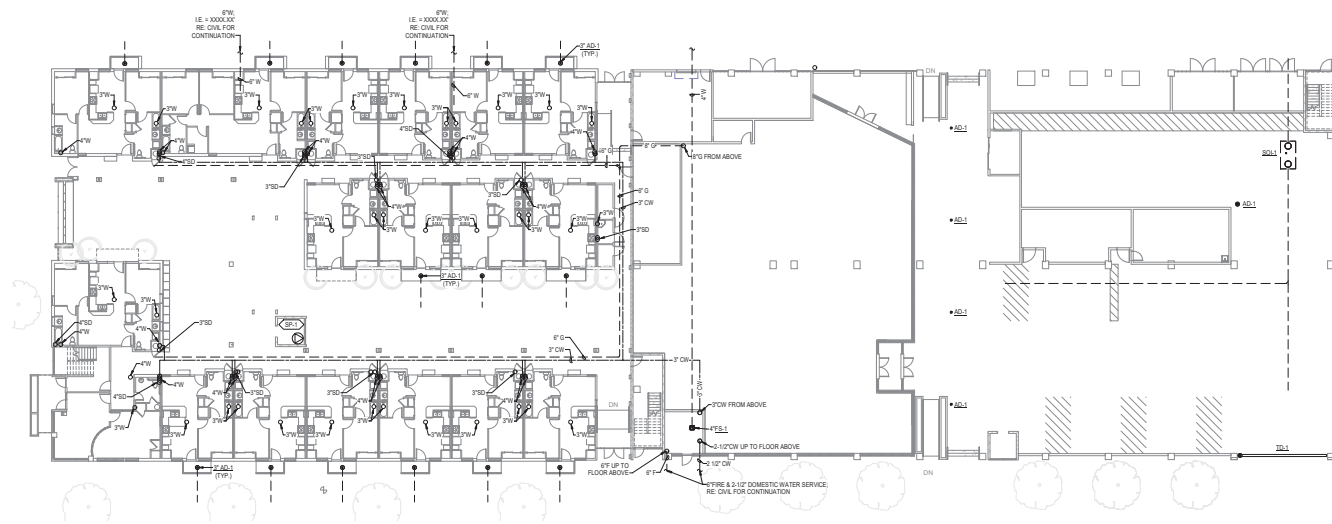
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SCALE: 1/8" = 1'-0"  
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CHECKED BY: MAB  
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**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501



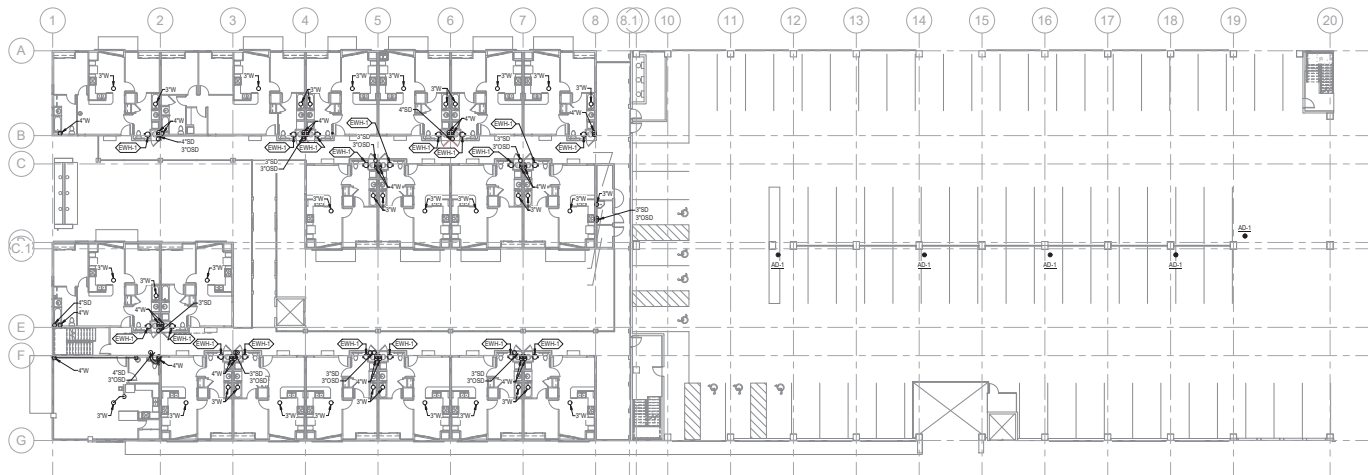
**UNDERGROUND PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
SD SUBMITTAL		06.25.2018
100% DD PROGRESS		11.30.2018
DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		1.11.2019
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DRAWN BY:	EMM	
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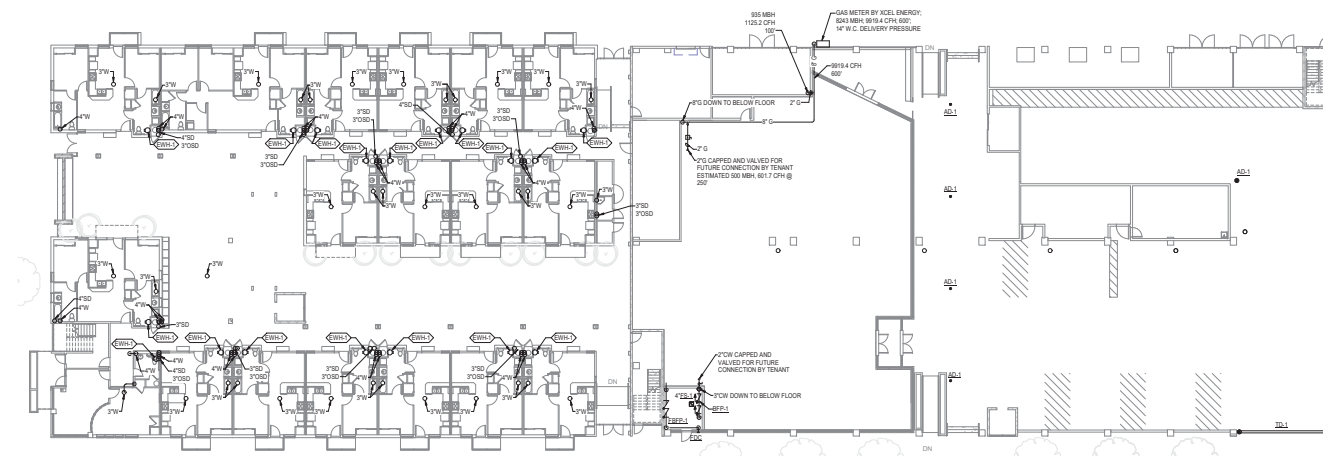
**UNDERGROUND  
PLUMBING PLAN**

**P1.00**



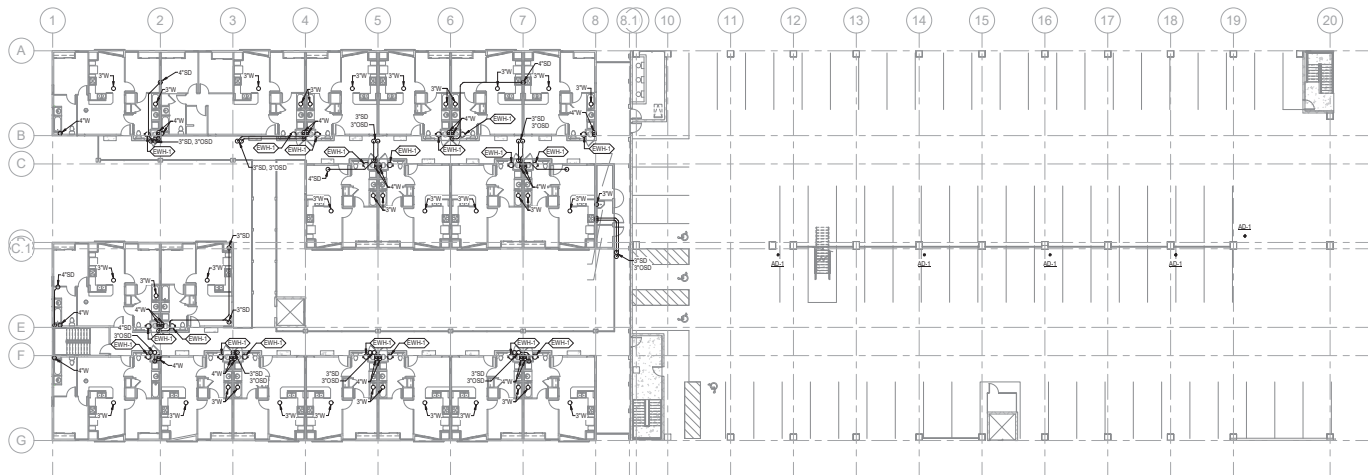


**LEVEL 2 PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

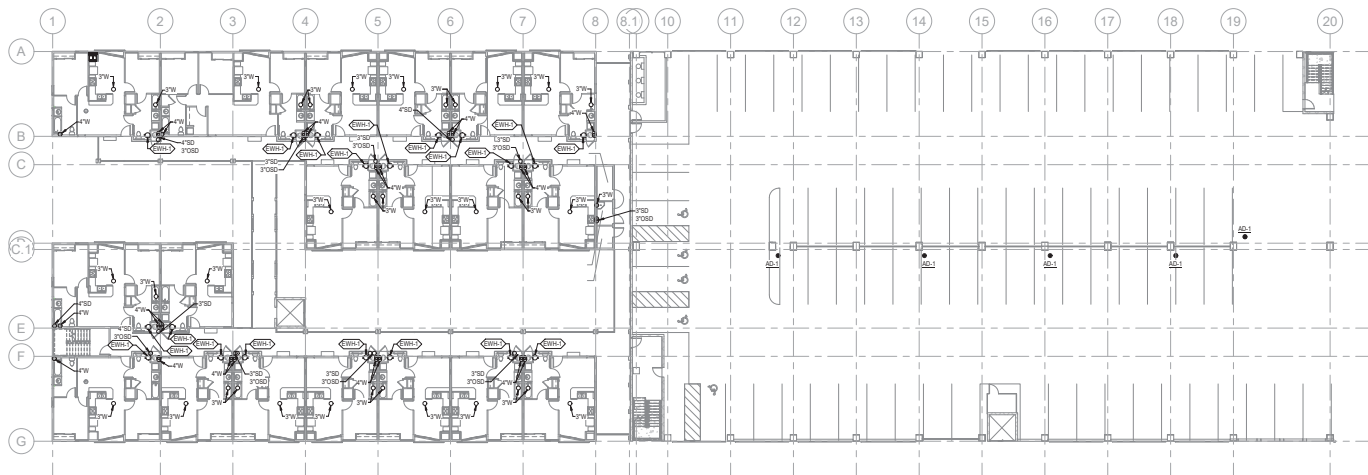


**LEVEL 1 PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

ISSUED FOR:	△	DATE:
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DD SUBMITTAL 100%		12.19.2018
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SCALE:		1/8" = 1'-0"
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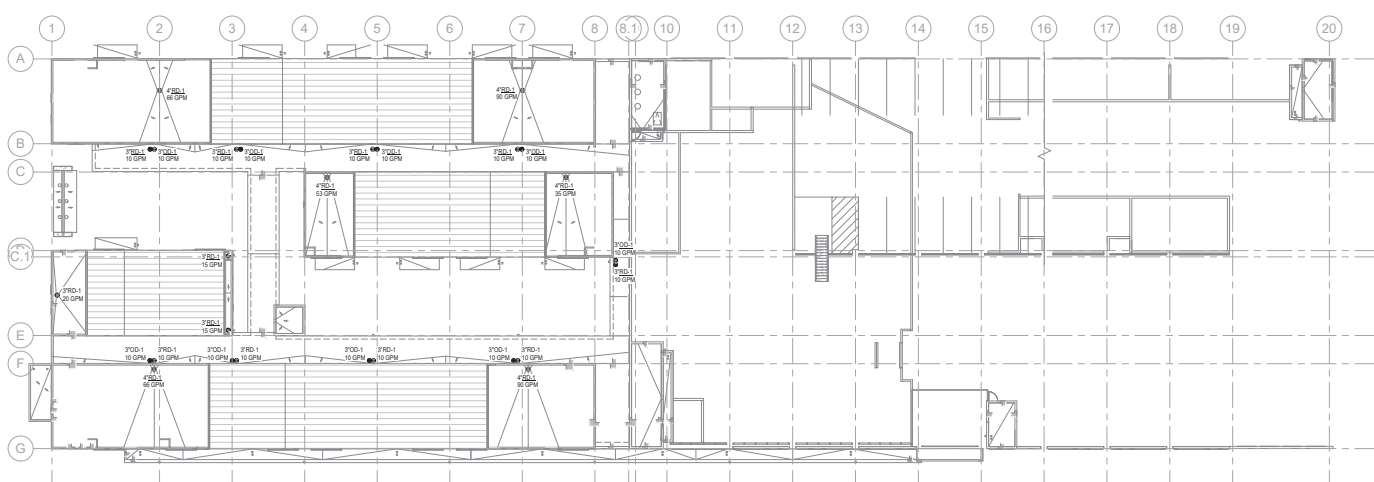


**LEVEL 4 PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"



**LEVEL 3 PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

ISSUED FOR:	△	DATE:
PRE-APP MEETING		06.06.2018
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DD SUBMITTAL 100%		12.19.2018
DD REVISIONS		1.11.2019
SCALE:		1/8" = 1'-0"
DRAWN BY:		EMM
CHECKED BY:		MAB
JOB NUMBER:		18154



**ROOF PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"

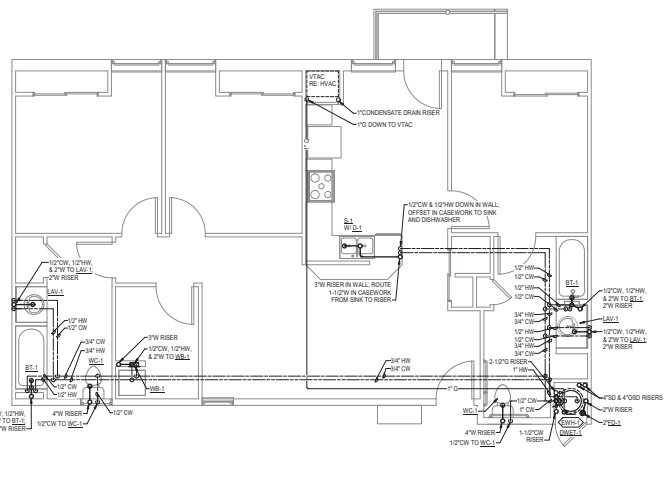
**BCHA - COFFMAN STREET  
REDEVELOPMENT**  
COFFMAN STREET, LONGMONT, CO 80501

ISSUED FOR:	△	DATE:
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JOB NUMBER:		18154

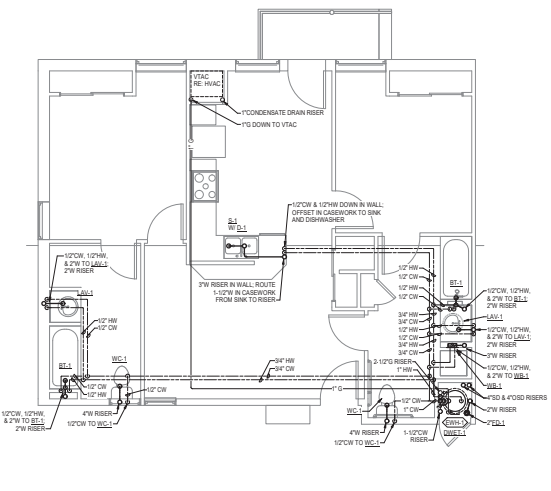
**PLUMBING ROOF  
PLAN**  
**P1.30**



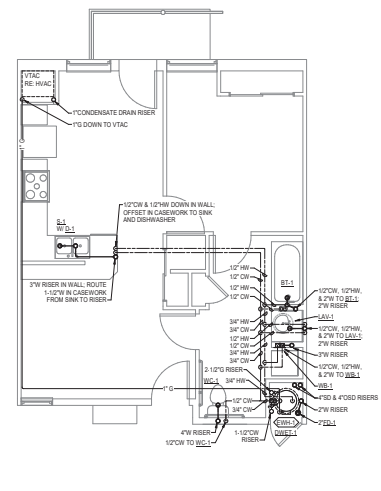
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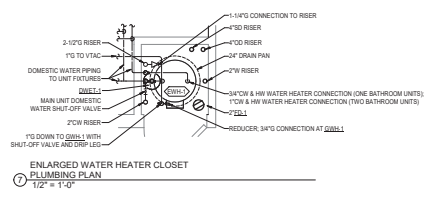
**UNIT 3G-A PLUMBING PLAN - ALTERNATE**  
SCALE: 1/8" = 1'-0"



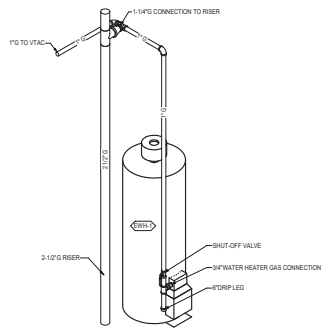
**UNIT 2G-A PLUMBING PLAN - ALTERNATE**  
SCALE: 1/8" = 1'-0"



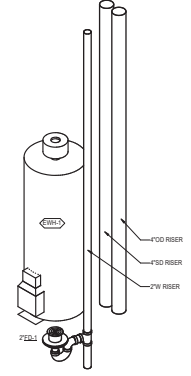
**UNIT 1G-A PLUMBING PLAN - ALTERNATE**  
SCALE: 1/8" = 1'-0"



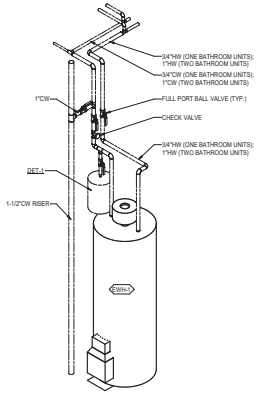
**ENLARGED WATER HEATER CLOSET PLUMBING PLAN**  
1/2" = 1'-0"



**WATER HEATER CLOSET ISOMETRIC - NATURAL GAS**



**WATER HEATER CLOSET ISOMETRIC - WASTE & STORM**



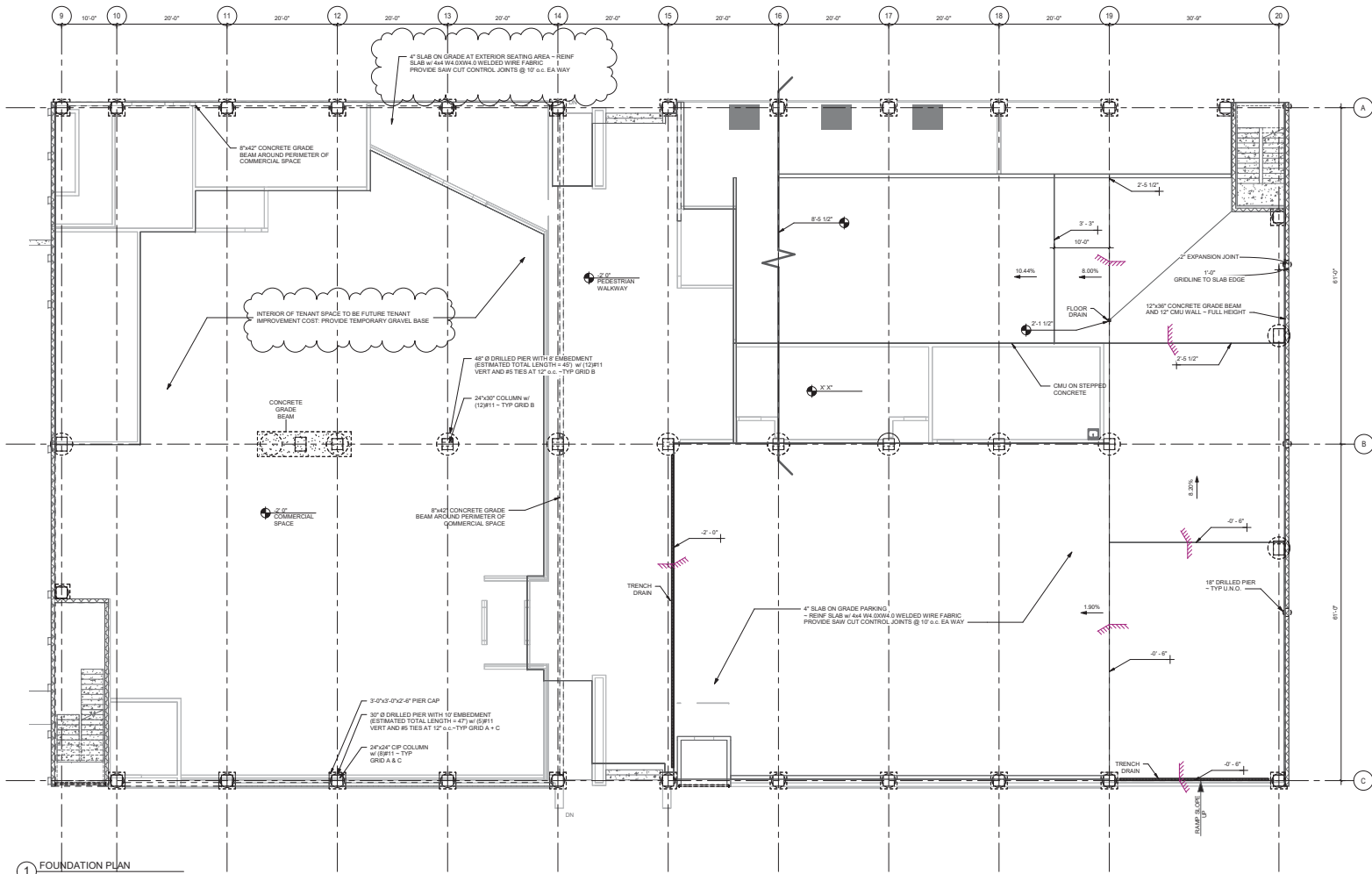
**WATER HEATER CLOSET ISOMETRIC - DOMESTIC WATER**

ISSUED FOR:	DATE:
PRE-APP MEETING	06.06.2018
SD SUBMITTAL	06.29.2018
100% DD PROGRESS	11.30.2018
DD SUBMITTAL 100%	12.19.2018
DD REVISIONS	1.11.2019

SCALE:	As Indicated
DRAWN BY:	EMM
CHECKED BY:	MAB
JOB NUMBER:	18154

**ENLARGED UNIT  
PLUMBING PLANS -  
ALTERNATES**  
**P2.00**

**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET LONGMONT, CO 80501



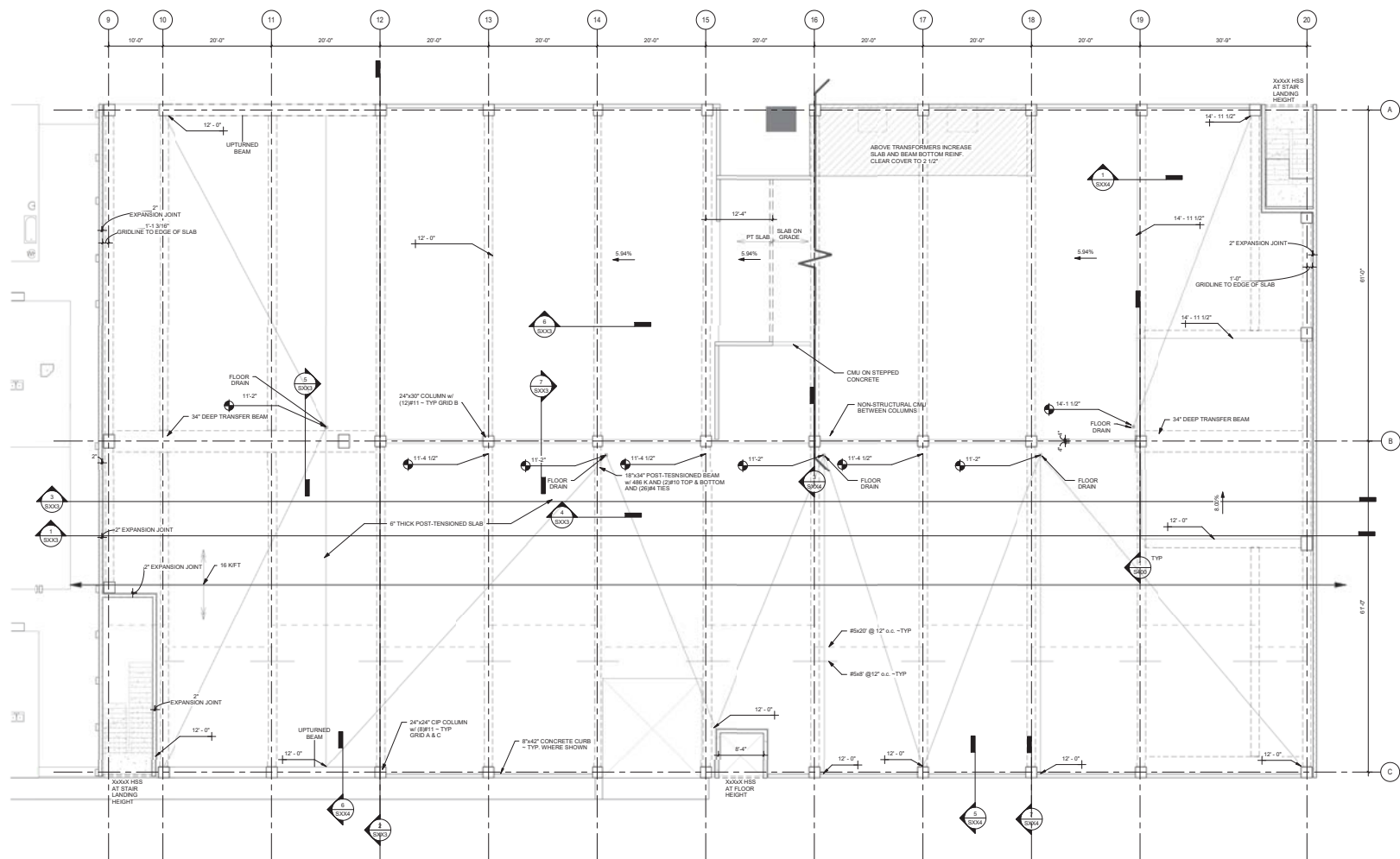
**1 FOUNDATION PLAN**  
1/8" = 1'-0"

ISSUE:	△	DATE:
100% DD		12.19.2018
DD REVISIONS		1.11.2019
SCALE:		1/8" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

LEVEL 1 / FOUNDATION PLAN

**S101**

**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET LONGMONT, CO 80501



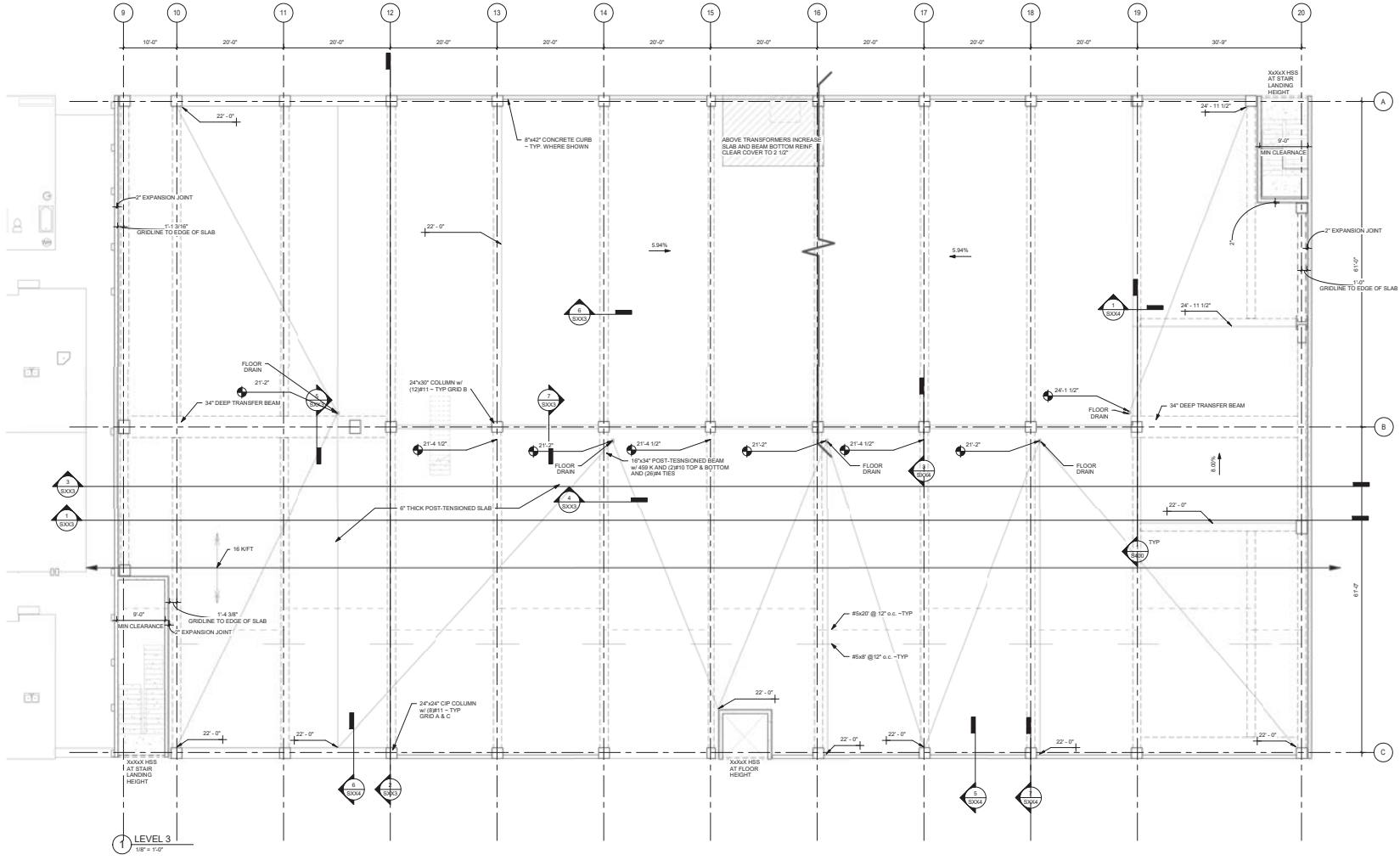
1 LEVEL 2  
1/8" = 1'-0"

ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:		1/8" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

LEVEL 2 FRAMING PLAN

**S102**

**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET LONGMONT, CO 80501



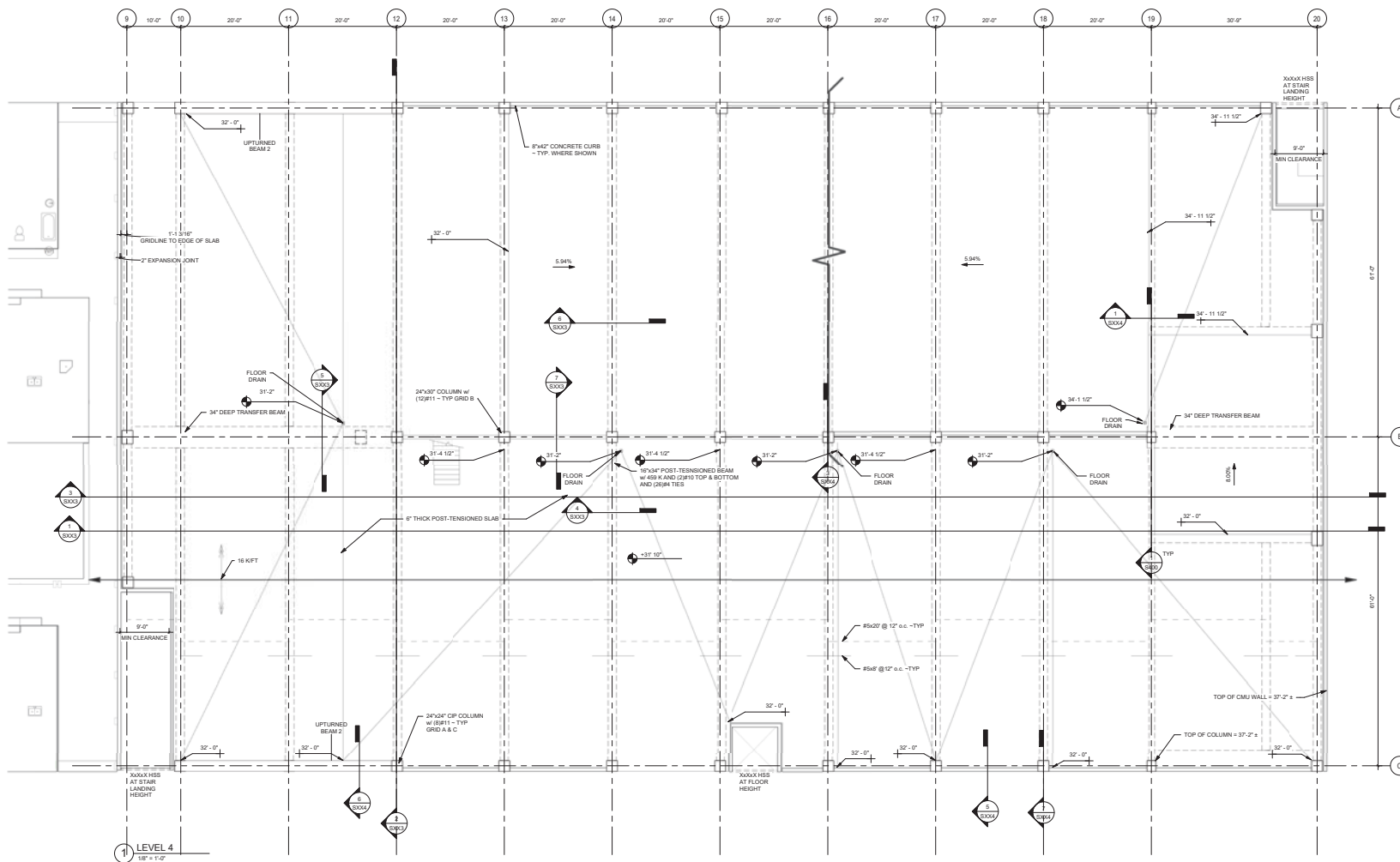
ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:	1/8" = 1'-0"	
DRAWN BY:	PJM	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

LEVEL 3 FRAMING PLAN

**S103**

**BCHA - COFFMAN STREET REDEVELOPMENT**

COFFMAN STREET LONGMONT, CO 80501



1 LEVEL 4  
1/2" = 1'-0"

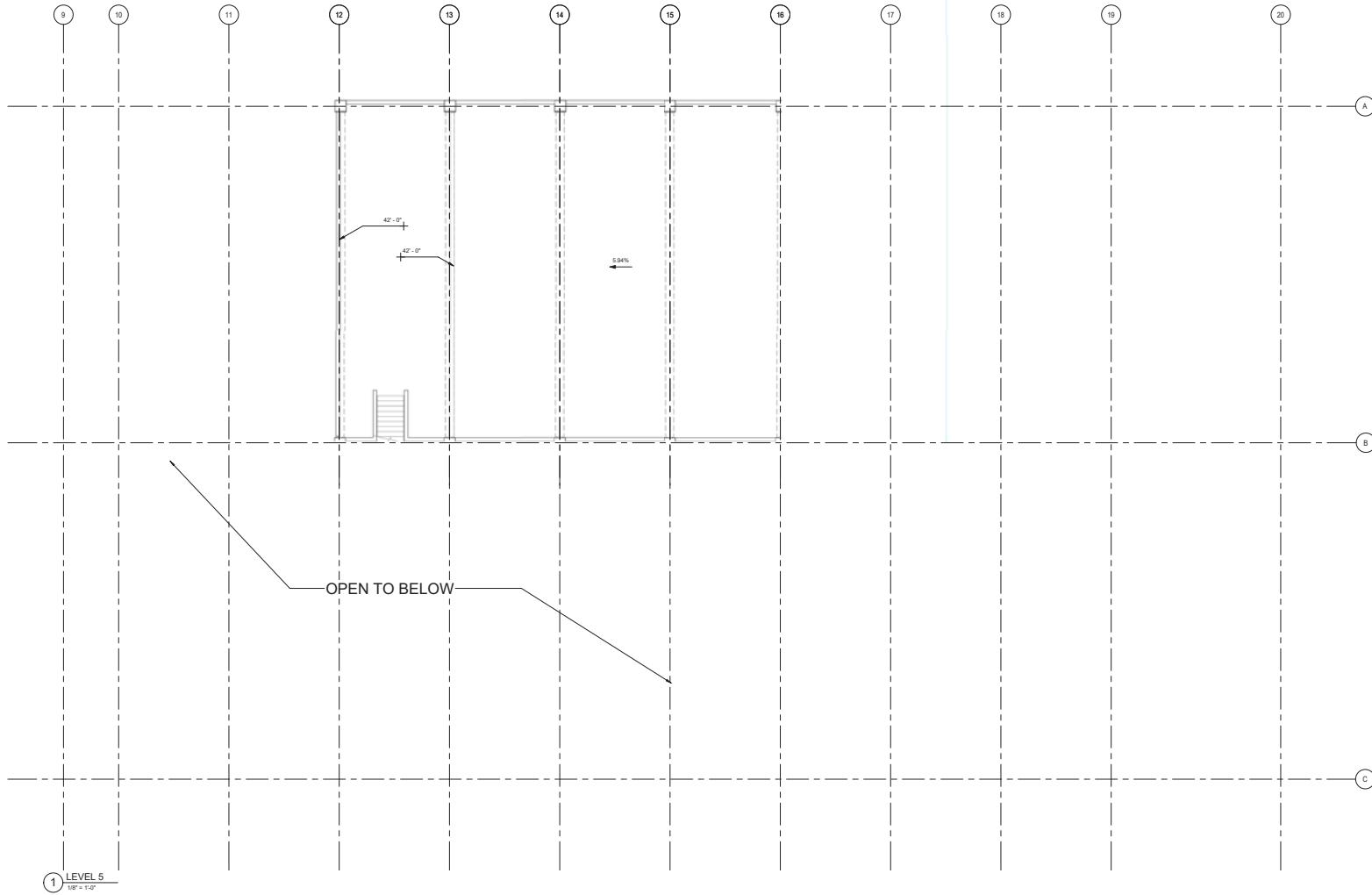
ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:	1/8" = 1'-0"	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

LEVEL 4 FRAMING PLAN

**S104**



**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET LONGMONT, CO 80501

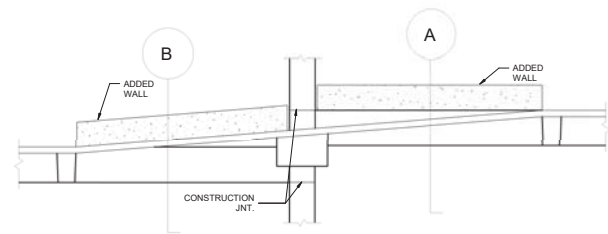
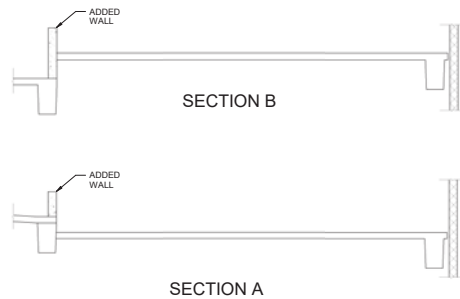


ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:	1/8" = 1'-0"	
DRAWN BY:	Author	
CHECKED BY:	Checker	
JOB NUMBER:	0907-16	

LEVEL 5 FRAMING PLAN

**S105**

**BCHA - COFFMAN STREET REDEVELOPMENT**  
COFFMAN STREET LONGMONT, CO 80501

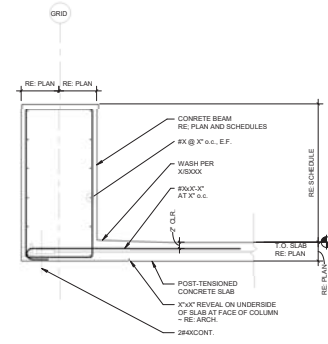


1 SECTION AT JUMP RAMP  
1/4" = 1'-0"

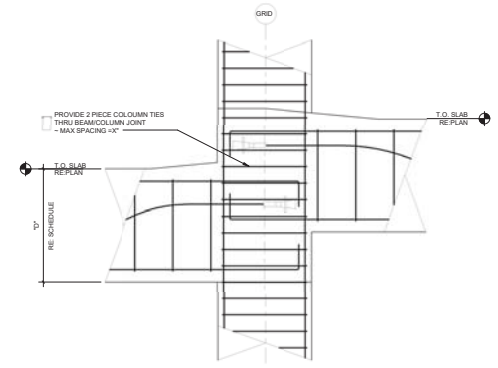
ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:		1/4" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

FRAMING DETAILS  
**S400**

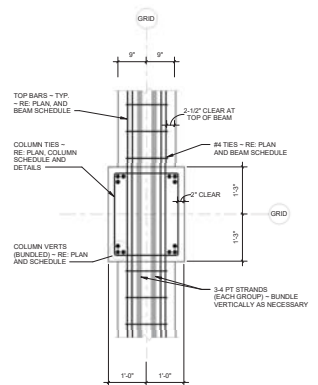




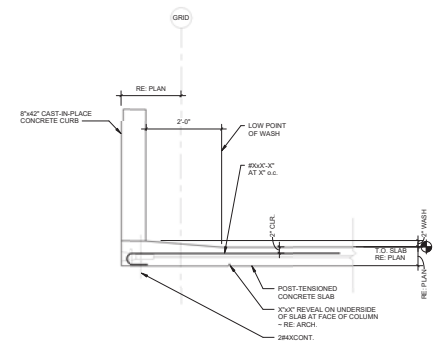
6 SECTION AT UPTURNED BEAM  
3/4" = 1'-0"



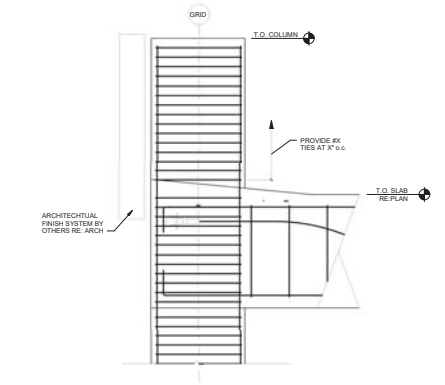
3 SECTION AT SPLIT RAMP  
3/4" = 1'-0"



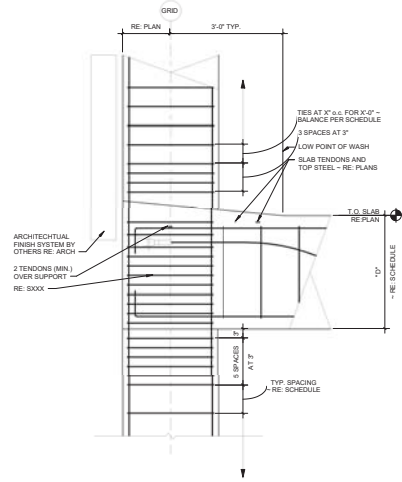
8 PLAN VIEW OF BEAM/COLUMN JOINT AT CONTINUOUS BEAMS  
3/4" = 1'-0"



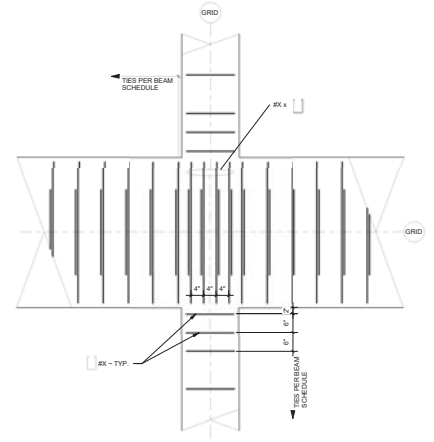
5 P/T SLAB AT EXTERIOR  
3/4" = 1'-0"



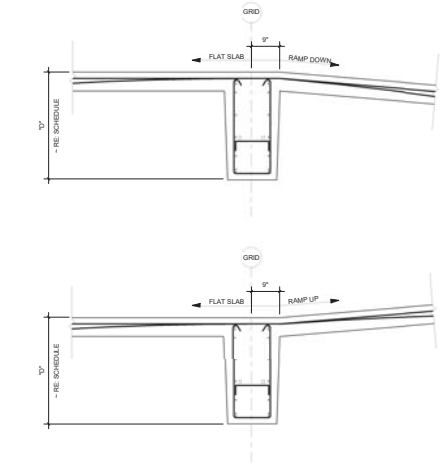
2 SECTION AT TOP OF COLUMN  
3/4" = 1'-0"



7 EXTERIOR BEAM/COLUMN JOINT  
3/4" = 1'-0"



4 PLAN DETAIL OF HANGER REINFORCEMENT  
3/4" = 1'-0"



1 BEAM SECTION AT TRANSITION TO RAMP  
3/4" = 1'-0"

ISSUE:	△	DATE:
100% DD		12.19.2018
SCALE:		3/4" = 1'-0"
DRAWN BY:		Author
CHECKED BY:		Checker
JOB NUMBER:		0907-16

POST TENSIONED  
DETAILS CONT

**SXX4**