

purchasing@bouldercounty.org

# INVITATION TO BID COVER PAGE

BID Number:	7108-20
BID Title:	1333 Iris Remodel – Mechanical HVAC and Plumbing
Mandatory Pre-Bid Meeting:	February 5, 2020 - 10:00 am 1333 Iris Ave, Boulder, CO 80302
BID Questions Due:	February 11, 2020
Submittal Due Date:	February 19, 2020
Email Address:	purchasing@bouldercounty.org
Documents included in this package:	Bid Instructions

**Terms and Conditions** 

Submittal Checklist Bid Tab Section Signature Page Drawings

Sample Contract

Insurance and W-9 Requirements

Specifications



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## **INSTRUCTIONS**

# 1. Purpose/Background

Boulder County Public Works (Building Services) is seeking proposals to provide Mechanical HVAC and Plumbing work for the 1333 Iris Remodel located at 1333 Iris Avenue, Boulder, CO 80304.

## 2. Mandatory Pre-Bid Meeting

A mandatory pre-bid meeting will be held on **February 5, 2020 at 10:00 a.m**. at 1333 Iris Ave., Boulder, CO 80302.

Bids from firms not represented at the mandatory, pre-bid meeting, and site visit will not be accepted.

## 3. Written Inquiries

All inquiries regarding this BID will be submitted via email to the Boulder County Purchasing Office at <a href="mailto:purchasing@bouldercounty.org">purchasing@bouldercounty.org</a> on or before 2:00 p.m. **February 11, 2020**. A response from the county to all inquiries will be posted and sent via email no later than **February 14, 2020**.

Please do not contact any other county department or personnel with questions or for information regarding this solicitation.

## 4. Submittal Instructions

BIDs are due at the Administrative Services Information Desk or email box (preferred) listed below, for time and date recording on or before **2:00 p.m. Mountain Time on February 19, 2020**. A bid opening will be conducted at 3:00 p.m. Mountain Time at county offices.

Your response can be submitted in the following ways. Please note that email responses to this solicitation are preferred, but are limited to a maximum of 50MB capacity. NO ZIP FILES ALLOWED. Electronic submittals must be received in the email box listed below. Submittals sent to any other box will NOT be forwarded or accepted. This email box is only accessed on the due date of your questions or proposals. Please use the Delivery Receipt option to verify receipt of your email. It is the sole responsibility of the proposer to ensure their documents are received before the deadline specified above. Boulder County does not accept responsibility under any circumstance for delayed or failed email or mailed submittals.

**Email** purchasing@bouldercounty.org; identified as **BID** # **7108-20** in the subject line.

-OR-

US Mail
One (1) unbound copy of your submittal, printed double-sided, 11 point, on at least 50% post-consumer, recycled paper must be submitted in a sealed envelope, clearly marked as BID # 7108-20, to the Administrative Services Information Desk located at 1325 Pearl Street, Boulder, CO 80302.

All BIDs must be received and time and date recorded by authorized county staff by the above due date and time. Sole responsibility rests with the bidder to see that their BID response is received on time at the stated location(s). Any BIDs received after due date and time will be returned to the bidder.

The Board of County Commissioners reserves the right to reject any and all BIDs, to waive any informalities or irregularities therein, and to accept the proposal that, in the opinion of the Board, is in the best interest of the Board and of the County of Boulder, State of Colorado.

Americans with Disabilities Act (ADA): If you need special services provided for under the Americans with Disabilities Act, contact the ADA Coordinator or the Human Resources office at (303) 441-3525 at least 48 hours before the scheduled event.



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## **TERMS AND CONDITIONS**

- 1. Bidders are expected to examine the drawing, specifications, schedule of delivery, and all instructions. Failure to do so will be at the bidder's risk.
- 2. Each bidder will furnish the information required in the Invitation to Bid.
- 3. The Contract/Purchase Order will be awarded to that responsible bidder whose submittal, conforming to the Invitation to Bid, will be most advantageous to the County of Boulder, based on best value not only price.
- 4. The County of Boulder reserves the right to reject any or all bids and to waive informalities and minor irregularities in bids received, and to accept any portion of or all items proposed if deemed in the best interest of the County of Boulder to do so.
- 5. No submittal will be withdrawn for a period of thirty (30) days subsequent to the opening of bids without the consent of the County Purchasing Agent or delegated representative.
- 6. A signed purchase order or contract furnished to the successful bidder results in a binding contract without further action by either party.
- 7. Late or unsigned bids will not be accepted or considered. It is the responsibility of bidders to ensure that the bid arrives at the Administrative Services Information Desk prior to the time indicated in the "Invitation to Bid."
- 8. The proposed price will be exclusive of any Federal or State taxes from which the County of Boulder is exempt by law.
- 9. Any interpretation, correction or change of the bid documents will be made by

Addendum. Interpretations, corrections and changes of the bid documents made in any other manner will not be binding, and bidder will not rely upon such interpretations, corrections and changes. The County's Representative will not be responsible for oral clarification.

10. Confidential/Proprietary Information: Bids submitted in response to this "Invitation to Bid" and any resulting contract are subject to the provisions of the Colorado Public (Open) Records Act, 24-72-201 et.seq., C.R.S., as amended. Any restrictions on the use or inspection of material contained within the bid and any resulting contract will be clearly stated in the bid itself. Confidential/proprietary information must be readily identified, marked and separated/packaged from the rest of the bid. Co-mingling of confidential/proprietary and other information is NOT acceptable. Neither a bid, in its entirety, nor bid price information will be considered confidential/proprietary. Any information that will be included in any resulting contract cannot be considered confidential.

The Boulder County Attorney's Office retains sole authority for determining whether the Colorado Open Records Act requires or permits Boulder County to disclose proposal or bid documents, or any information contained therein, pursuant to an open records request.

- 11. Boulder County promotes the purchase/leasing of energy efficient, materials efficient and reduced toxic level products where availability, quality and budget constraints allow. Bidders are expected whenever possible to provide products that earn the ENERGY STAR and meet the ENERGY STAR specifications for energy efficiency with power management features enabled. Bidders are encouraged to offer products and equipment with post-consumer recycled-content materials. Products should be packaged and delivered with a minimum amount of recycled packaging that adequately protects the product, but is not excessive.
- 12. Pursuant to Colorado law (House Bill 1292), in any bidding process for public works in which a bid is received from a non-resident bidder who is from a state that provides a percentage bidding preference, a comparable percentage disadvantage will be applied to the bid of that bidder. Bidders may obtain additional information from the Department of Personnel's website: http://www.colorado.gov/dpa/.



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## **SPECIFICATIONS**

Project includes renovation of an existing office building at the Mental Health building at 1333 Iris Ave in Boulder, Colorado. Building is currently vacant.

## **SCOPE OVERVIEW:**

- The first floor will be remodeled, reusing existing mechanical systems and rebalancing existing and new dampers and diffusers.
- Ducts coming down from (E) AHU-3 will be replaced and provided with new accessible balancing dampers.
- A makeup air unit will be installed on the roof to provide ventilation air for the existing AHU-4 located and serving the basement.
- MC to inspect and repair ductwork as necessary to ensure operational integrity of existing system. MC shall seal all ductwork, new and existing. Note: ductwork inspection and repairs are to the extent that ceiling tiles are to be removed, please reference the reflected ceiling plans.
- A few plumbing fixtures will be demolished and/or relocated, and a couple hand sinks installed. Associated piping will be demolished and new installed as necessary.



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# **INSURANCE AND W-9 REQUIREMENTS**

#### PAYMENT & PERFORMANCE BONDS

Both a payment and a performance bond are required for this project and must each equal 100% of the proposed cost. Please include the cost of this bonding into the total proposed cost.

## **INSURANCE REQUIREMENTS**

General Liability \$1,000,000 Each Occurrence

\$2,000,000 General Aggregate

\$2,000,000 Products Completed Operations Aggregate

3 years Products/Completed Operations

**Excess or Umbrella** May be required if higher limits are requested.

Automobile Liability \$1,000,000 Each Accident

\*Including Hired & Non-Owned Auto

## Worker's Compensation and Employer's Liability

Statutory limits

Note that the above insurance amounts are the minimum required for this project. **Proof of current insurance must be provided with your proposal in the form of a sample certificate or your proposal will be deemed non-responsive.** If you require a waiver of insurance requirements (e.g. Workers' Compensation and sole proprietorships) you may request one in your response with an explanation.

New certificates will be requested if the contract process takes more than 30 days after an award.

## W-9 REQUIREMENT

Provide a copy of your business's W-9 with your proposal.



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## **SUBMITTAL SECTION**

The bidder's attention is especially called to the items listed below, which must be submitted in full as part of the BID. Failure to submit any of the documents listed below as a part of your BID, or failure to acknowledge any addendum in writing with your BID, or submitting a bid on any condition, limitation or provision not officially invited in this Invitation to Bid (BID) may be cause for rejection of the BID.

# **THIS CHECKLIST MUST BE SUBMITTED AS PART OF YOUR BID PACKAGE:** Bidder will check each box indicating compliance:

INCLUDED	ITEM							
	Name and Address of the Partners and Subcontractors if applicable							
	A detailed project schedule with an all-inclusive total cost							
	Information on the relevant experience of key personnel							
	State your compliance with the Terms and Conditions in the Sample							
	Contract contained in this BID. Specifically list any deviations and							
	provide justification for each deviation.							
	Submit three references for similar projects your company has completed within the last three years and contact information							
	Insurance Certificate							
	W-9							
	Signature Page							
	Addendum Acknowledgement(s) (If Applicable)							



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# **BID TAB**

most responsib lowest price. Bo	for one and/or each item as listed below. Work shall be a lie Bid that best satisfies the requirements of the project oulder County reserves the right to make the award or to the County, to waive any informalities, or to reject	ect, not necessarily on the n the basis of the Bid deemed
All work descri	bed in the Drawings, Specifications and Addenda for	this project:
	canical HVAC - Work consists of all labor and materials work including TAB services.	required for mechanical
	dollars	(\$)
Duration	Working Days	
	bing - Work consists of all labor and materials requintures and domestic hot and cold piping requirements.	
	dollars	(\$)
Duration	Working Days	
Item #3 –Comb	ine Mechanical HVAC and Plumbing are awarded to	same contractor.
	dollars	(\$)

**Alternates:** Provide a separate page for any proposed alternates, with description of alternate and impact to cost or timing of work.



**Contact Information** 

Company Name including DBA

# Boulder County Purchasing 1325 Pearl Street Boulder, CO 80302

purchasing@bouldercounty.org

# **SIGNATURE PAGE**

Response

List Type of Organization (Corporation, Partnership, etc.)	
Name, Title, and Email Address of Person	
Authorized to Contract with Boulder County	
Company Address	
Company Phone Number	
Company Website	
By signing below I certify that: I am authorized to bid on my company's I am not currently an employee of Bould None of my employees or agents is curr I am not related to any Boulder County (Sole Proprietorships Only) I am not a P	der County. rently an employee of Boulder County.
Signature of Person Authorized to Bid on Company's Behalf	

Note: If you cannot certify the above statements, please explain in a statement of explanation.

# 1333 IRIS REMODEL

# 1333 IRIS AVENUE **BOULDER, COLORADO 80304**

# **Building Permit Submittal**



# VICINITY MAP

#### TYPICAL ARREVIATIONS

4	ASSEMBLY OCCUPANCY	MAN
NC .	ACOUSTIC ONLY HERMAN MILLER	MAT.
AC/GL	ACOUSTIC AND GLASS HERMAN MILLER	MAX.
A.D.A	AMERICAN DISABILITY ACT (COMPLIES WITH)	
AF.F.	ABOVE FINISHED FLOOR	MET.
RCH.	ARCHITECT	MIR.
B.	BUSINESS OCCUPANCY	MIN.
10		
	BOTTOM OF	N.I.C.
BLDG.	BUILDING	O.C.
	BEAM	OCC.
CA	CARD ACCESS	O. DIA.
CL.	CENTER LINE	OPP.
CLG.	CEILING	OTS.
CONC.	CONCRETE	P-E
CONTR	CONTINUOUS	PL.
CONST.	CONSTRUCTION	PH.
COORD	COORDINATE	PRMT.
OPT.	CARPET	PROP.
T	CERAMIC TILE	P.T.D.
DEB.	DRY ERASE BOARD	PTD.
DF.	DRINKING FOUNTAIN	R.
SIA.	DIAMETER	R.C.P.
00	DUAL OUTLET	RE
EA.	EACH	RB
QUIPT.	EQUIPMENT	S
S	ELECTRONIC STRIKE	S.A.C.
TC.	ET CETERA	SB.
X	EXISTING	S.C.
TX(P)	EXPOSED	S.CONC
XT.	EXTERIOR	SIM.
E	FIRE EXTINGUISHER	SO
D	FLOOR DRAIN	SPEC.
R	FIRE RATED	SS
1.C.	GENERAL CONTRACTOR	STL
SA.	GAGE	STO
SALV.	GALVANIZED	STRUCT
W.B.	GYPSUM WALL BOARD	THICK.
IDWR.	HARDWARE	T.
IGHT.	HEIGHT	T.O.
B.C. NS.	INTERNATIONAL BUILDING CODE	T.P.
	INSULATION	TYP.
NT.	INTERIOR	U.N.O.
ion.	JOINT	V.B.
OT.	KITCHEN	V.LF.
NM.	LINOLEUM	W/
		WC

MATERIAL MAXIMUM MECHANICAL METAL MIRROR MINIMUM NOT IN CONTRACT ON CENTER OCCUPANCY OUTSIDE DIAMETER OPEN TO STRUCTURE PUBLIC ESTABLISHED ZONING PERMIT PROPERTY PAPER TOWEL DISPENSER RISER REFLECTED CEILING PLAN RUBBER BASE SWITCH SUSPENDED ACOUSTICAL CEILING SOUND BOARD SOLID CORE SEALED CONCRETE SIMILAR SIMILAR SINGLE OUTLET SPECIFICATION STAINLESS STEEL STEEL STRUCTURAL THICKNESS TOILET PAPER DISPENSER LINLESS NOTED OTHERWISE

WITH WATER CLOSET

WORK POINT

MANUFACTURER

#### **GENERAL NOTES:**

- The contract documents include these drawings. Any discrepancies found among the drawings these general notes, and the site conditions shall be reported to the Architect who shall address such incredistencies in senting. Any work done by the contractor after discovery of cuck error shall be done at the contractor's risk. The contractor shall verify and familiarize themselves with all drawings prior to proceeding with any work or fabrication.
- proceeding with any work or fahrcation.

  Michanical and privating systems are to confron to work requirements indicated herein and suitable for life the confront private and are to confirm the confirmation of the same area, the larger scale drawing and smaller scale drawings as the confirmation ones precise.

  Architectural plans show the desired layout of furniture and celling gift. Notify architect is writing if there is a discrepancy between Architectural, Michanical, and Electrical.

#### **BOULDER COUNTY ELECTRICAL NOTES:**

CONFERENCE ROOMS

ADD POWERBOX IN CENTER OF ROOM (UNDER TABLE). ADD POWER TO CODE AND DATA JACKS ON OPPOSITE WALLS, TYP

TV WITH POWER & DATA ON SHORT WALL AWAY FROM DOOR, OR AS NOTED ON

OPEN OFFICE

ADD WHIP PER EACH RUN OF HERMAN MILLER ADD ONE OUTLET ON WALL PER STATION.

2-3 CIRCUITS DEPENDING ON FRIDGE GFCI'S ABOVE COUNTER PER CODE.

WORK WITH IT MANAGER TO LOCATE WAPS. CONFIRM ACTIVE PORTS WITH IT MANAGER.

#### CODE INFORMATION

CONSTRUCTION SHALL COMPLY WITH THE 2012 IBC.

OCCUPANCY TYPE: B -BUSINESS (OFFICE AREAS)

A - UNCONCENTRATED ASSEMBLY (CLASS ROOMS)

TYPE OF (NEW) CONSTRUCTION; IIIB = unprotected, non-combustible

ZONE: P (Public)

THIS PROJECT WILL BE CONSTRUCTED TO MEET THE ADA CODE REQUIREMENTS

ALL ELECTRICAL IS EXISTING AND TO BE RELOCATED AS NEEDED. RECONFIGURING OFFICE WORKSTATIONS ON FIRST FLOOR. WE ARE NOT CHANGING BUILDING USAGE OR SQUARE FOOTAGE. THE BASEMENT IS TO BE UNOCCUPIED.

SHOULD WE PENETRATE ANY RATED WALL ASSEMBLIES THE PENETRATION WILL BE IN COMPLIANCE WITH IBC 2015 CHAPTER 7 REQUIREMENTS FOR WALL PENETRA

THIS PROJECT WILL REMAIN FULLY SPRINKLERED, MEETING IBC AND CITY OF BOULDER REQUIREMENTS. ANYTHING ENTERING/EXITING RATED ASSEMBLIES WILL BE IN COMPLIANCE

EXIT DOOR CALCULATION SEE A002

SITE PLAN

1" = 200'-0"

A001

# PLUMBING FIXTURE COUNT

### **ADA COMPLIANCE**

SEE A403 FOR TYPICAL GRAB BAR HEIGHTS, FIXTURE AND TOILET ACCESSORY HEIGHTS, DOOR CLEARANCES, SWITCHES AND CARINET LOCATIONS AND DIMENSIONS

TYPICAL SYSTEM FURNITURE MOUNTING HEIGHTS ON SHEETS A104, A105, AND A106

#### PROJECT DATA

PROJECT ADDRESS; 1333 Iris Avenue, Boulder, CO 80304

PROJECT DESCRIPTION:

Interior renovation of portion of first floor of County office building. Electrical and lighting upgrades. Some mechanical changes. Conversion of office space to break room, removal of 1 toilet room and 1 sink.

No additional square footage is added with this remodel. Basement (without windows) to be classified as "not suitable for County use" = unoccupied.

PARCEL INFORMATION:
Andress 1333 Iris Avenue City Boulder County of Boulder 146319200068

Parcel Number Mailing Address City, State, Zip

Square Feet 762.558

RENOVATION SQUARE FOOTAGE: BUILDING TOTAL: 1ST FLOOR

1ST FLOOR 28,426 SF BASEMENT FLOOR 4,025 S.F = UNOCCUPIED

#### PROJECT DIRECTORY

P.O. BOX 471 BOULDER, CO 80306

ARCHITECT: 8OULDER COUNTY ADMIN. SERVICES BUILDING SERVICES DIVISION 2020 13TH ST BOULDER CO 80302

ARCHITECT OF RECORD: MACKENZIE SCHOOFS

ELECTRICAL ENGINEER: ACKERMAN ENGINEERING, INC. ACKERMAN ENGINEERING, INC. 3000 YOUNGFIELD ST., SUITE 264 WHEAT RIDGE, CO 80215 ELECTRICAL DESIGNER: LAURA LUCAS ELECTRICAL ENGINEER: DON ACKERMAN flucas@aeiconsulting.com 720-708-6207

MECHANICAL ENGINEER PCD ENGINEERING 323 3RD AVENUE #100 J23 PHD AYENDE, \$100 LONGMONT, CO 80501 MECH. ENGINEER: PETER D'ANTONIO MECH. ENGINEER: EMILY JACOBSON peterglipcdengineering.com 303-678-1108 x707 303-678-1108 v703

SHEET INDEX

A104

A105

A106

A401

A403

A404

A602

MP0.5

P1.0

ED-111

ED-500

E-600

E-601

COVER SHEET EGRESS PLAN EXISTING LANDSCAPE SITE PLAN FIRST FLOOR DEMOLITION PLAN

ELEVATIONS

ENLARGED DI ANS

ENLARGED PLANS

INTERIOR ELEVATIONS DOOR SCHEDULE

MECHANICAL NOTES MECHANICAL SCHEDULES & DETAILS MECHANICAL VENTILATION CALCULATIONS

PLUMBING PLANS

PARTIAL ROOF PLAN

COVER SHEET

DOOR ELEVATIONS AND DETAILS

FINISH SCHEDULE AND WALL TYPES

COMMERCIAL MANDATORY MEASURES MECHANICAL LEGEND & NOTES

BOULDER ENERGY CODE CHECKLISTS MECHANICAL SOUTH PLAN

MECHANICAL NORTH AND ROOF PLANS

FIRST FLOOR REMODEL POWER PLAN

ELECTRICAL ONE LINE DEMOLITION

ELECTRICAL SCHEDULES AND DETAILS.

ENERGY CONSERVATION COMPLIANCE

FIRST FLOOR REFLECTED CEILING DEMO PLAN

FIRST FLOOR REFLECTED CEILING REMODEL PLAN

FIRST FLOOR POWER DEMO PLAN

REFLECTED CEILING DEMOLITION PLAN FIRST FLOOR REMODEL PLAN

FIRST FLOOR REFLECTED CEILING PLAN

FIRST FLOOR FINISH PLAN FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE

FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE

FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE ELEVATIONS

INTERIOR ELEVATIONS AND ADA MOUNTING HEIGHTS

GENERAL CONTRACTOR: BOULDER COUNTY ADMIN. SERVICES **BUILDING SERVICES DIVISION** 2020 13TH ST BOULDER CO MANS MARC DOMINGUEZ, 303-994-1623 mdominguez@bouldercounty.org

ELECTRICAL CONTRACTOR:
BOULDER COUNTY ADMIN. SERVICES
BUILDING SERVICES DIVISION
2020 13TH ST
BOULDER, CO 80302 MARTIN MARINO, 303-434-4834 mmarino@bouldercounty.org



BUILDING SERVICES DIVISION

P.O.BOX 471 BOULDER, CO



# COUNTY REMODE BOULDER 1333 IRIS

SHEET COVER SHEET

FILE NAME

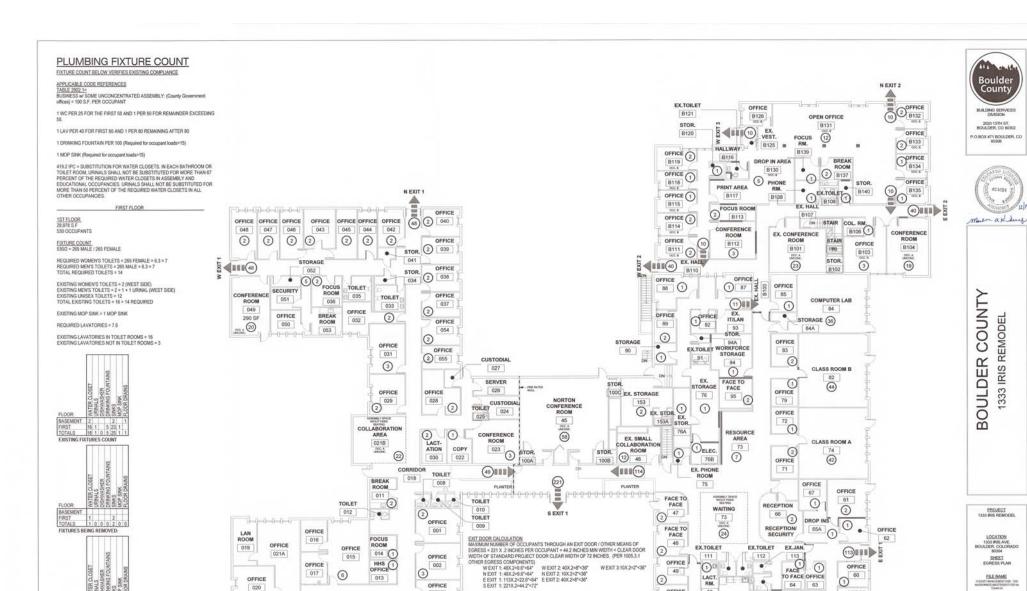
REVISIONS

A001





**BUILDING DIAGRAM** 1" = 40'-0"



S EXIT 1: 221X 2=44.2\*<72\*

OFFICE

003

ROOM

004

(2)

(18)



64 63

OFFICE

57

TOILET EX.ADA

OFFICE

56

TOILET 114

55

2

OFFICE

59

2

OFFICE

58

OFFICE

OFFICE

51

2

2

50

BREAK ROOM

52

(24)

A002

REVISIONS

FIRST FLOOR EGRESS PLAN 3/32" = 1'-0" A002

(11)

OFFICE 2

007

OFFICE

006

(2)

OFFICE

005

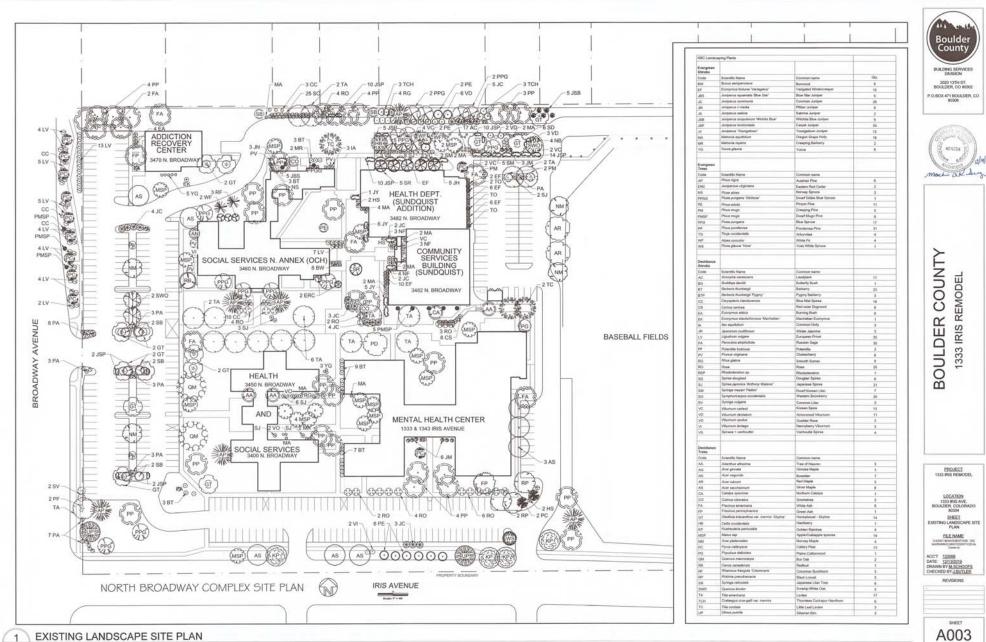
3

020

OPEN OFFICE

021

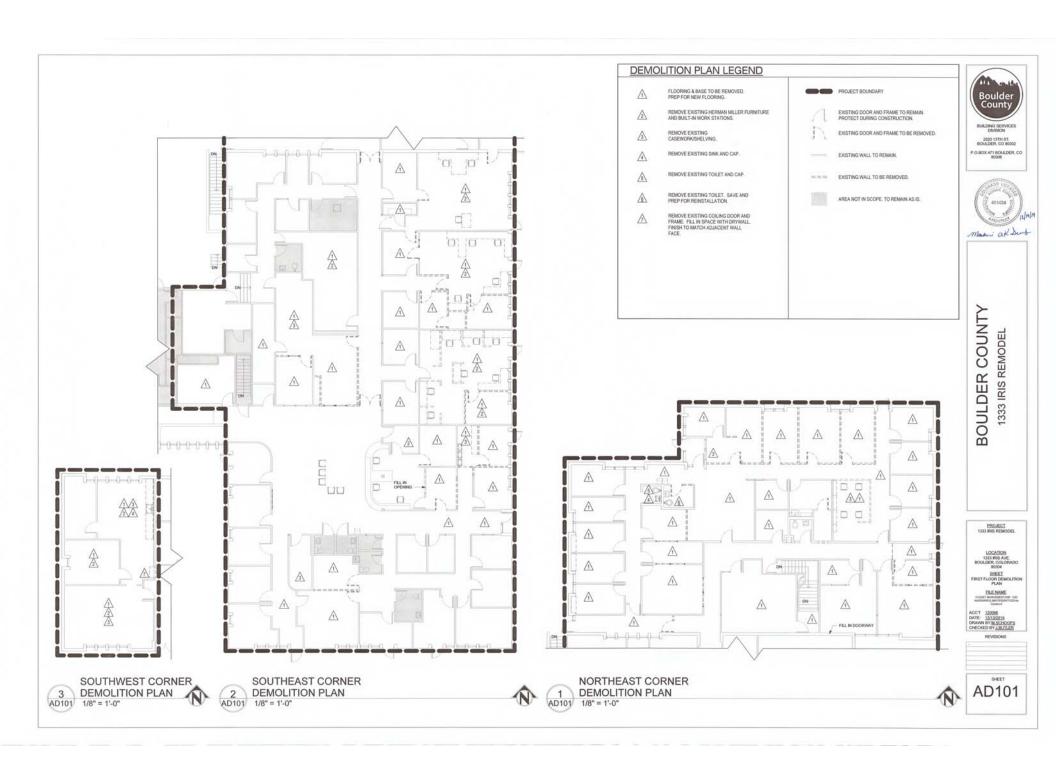


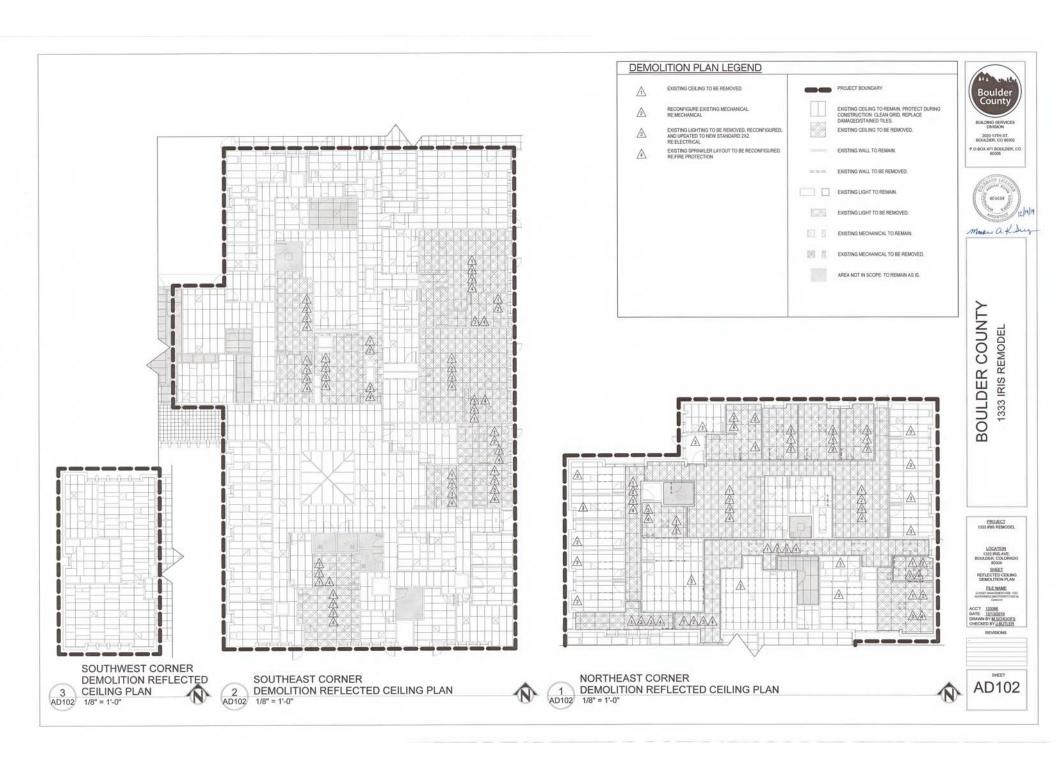


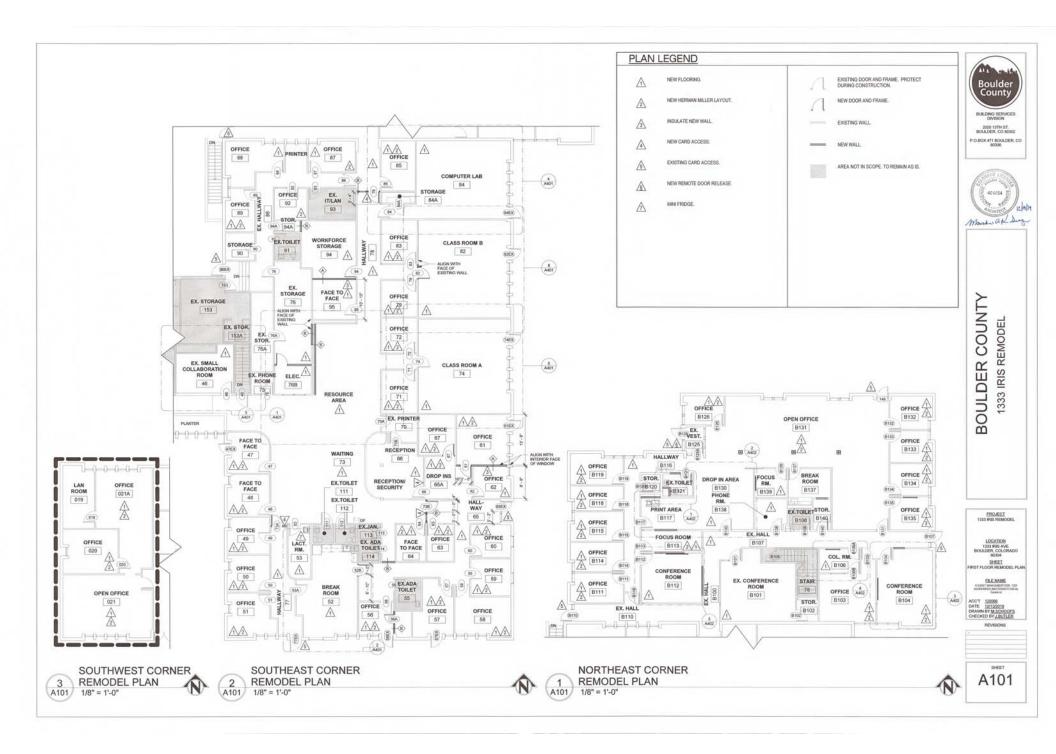
A003

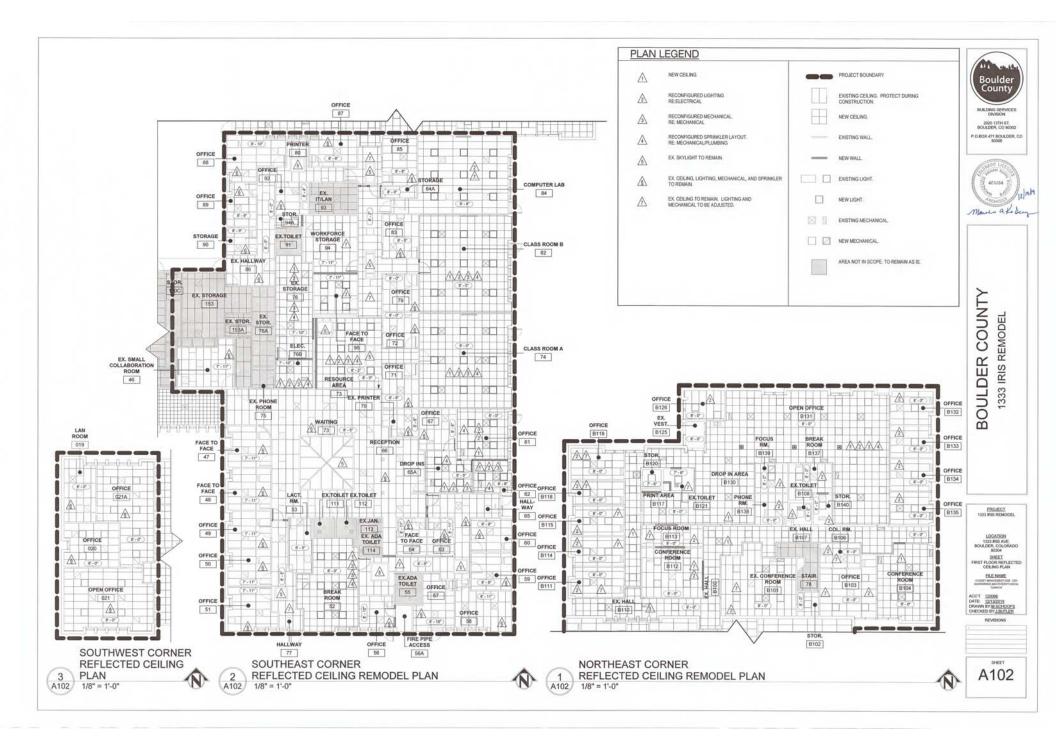
1/8" = 1'-0"



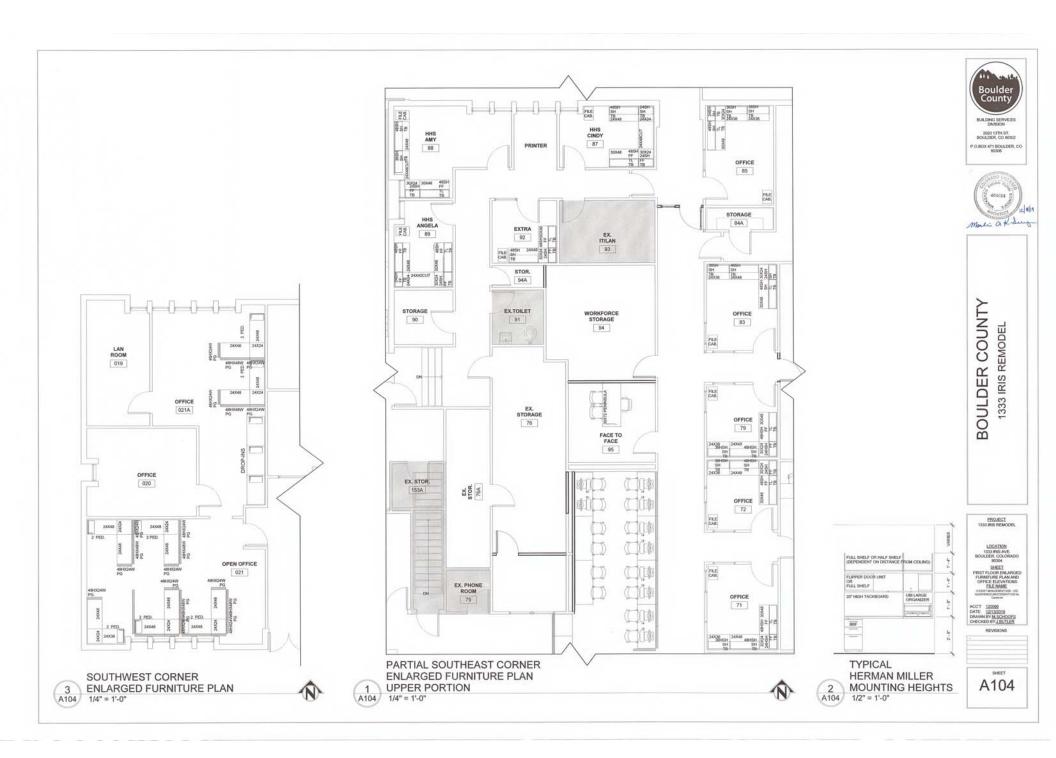


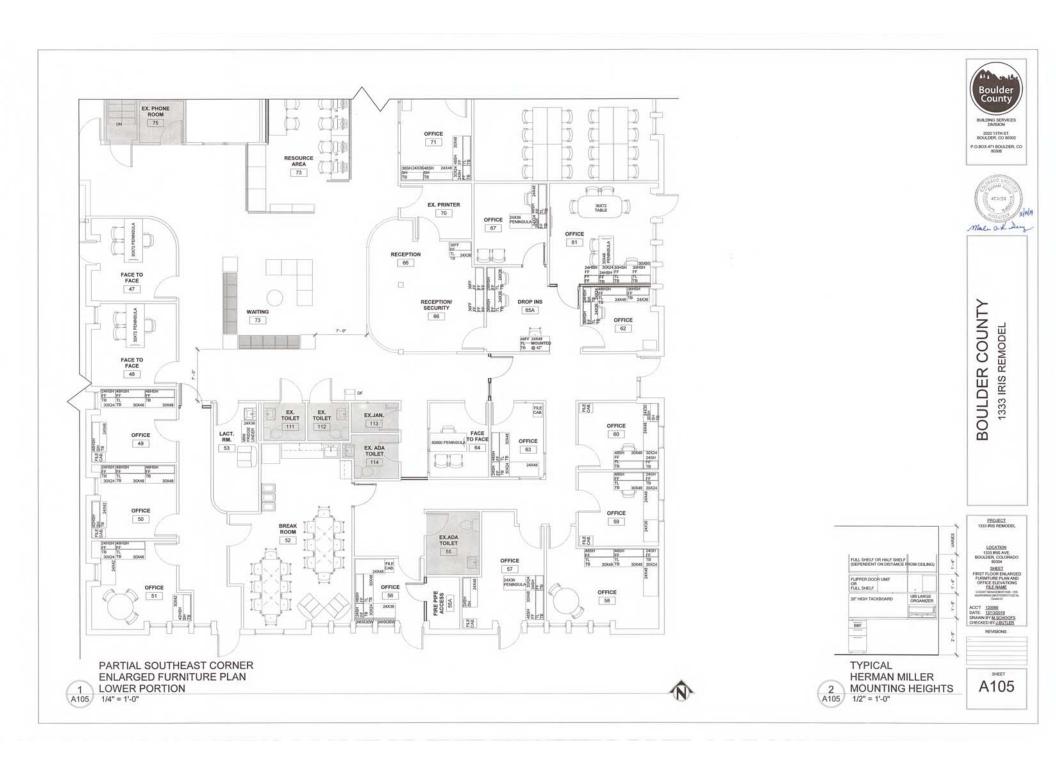


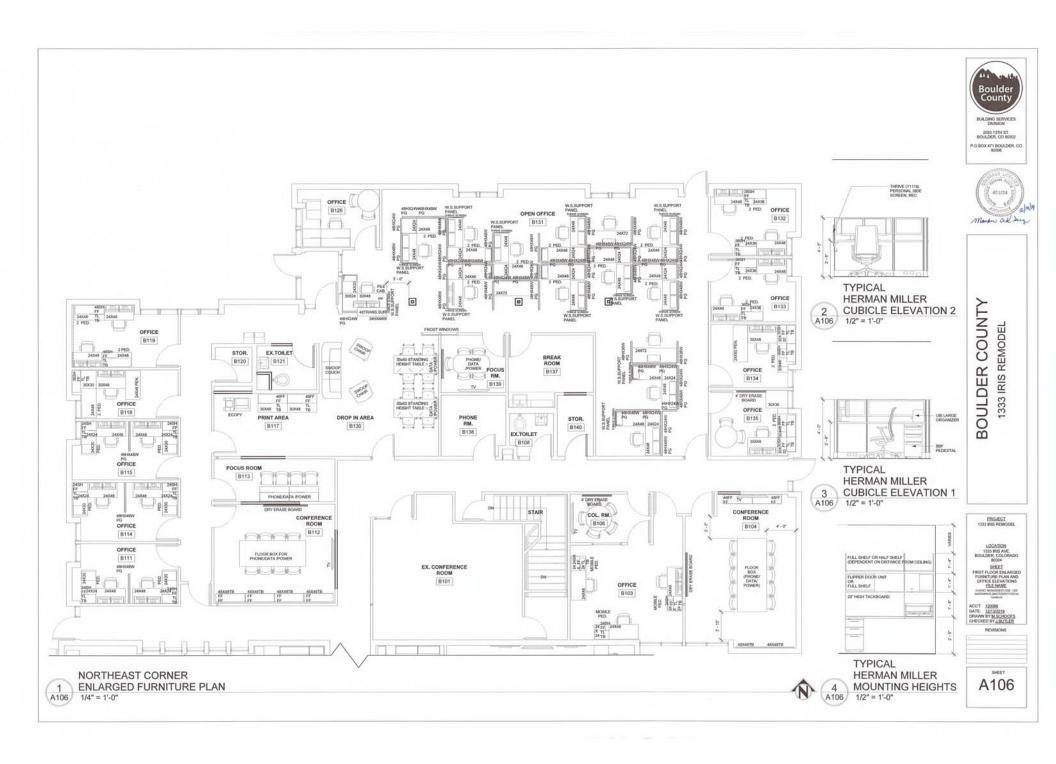


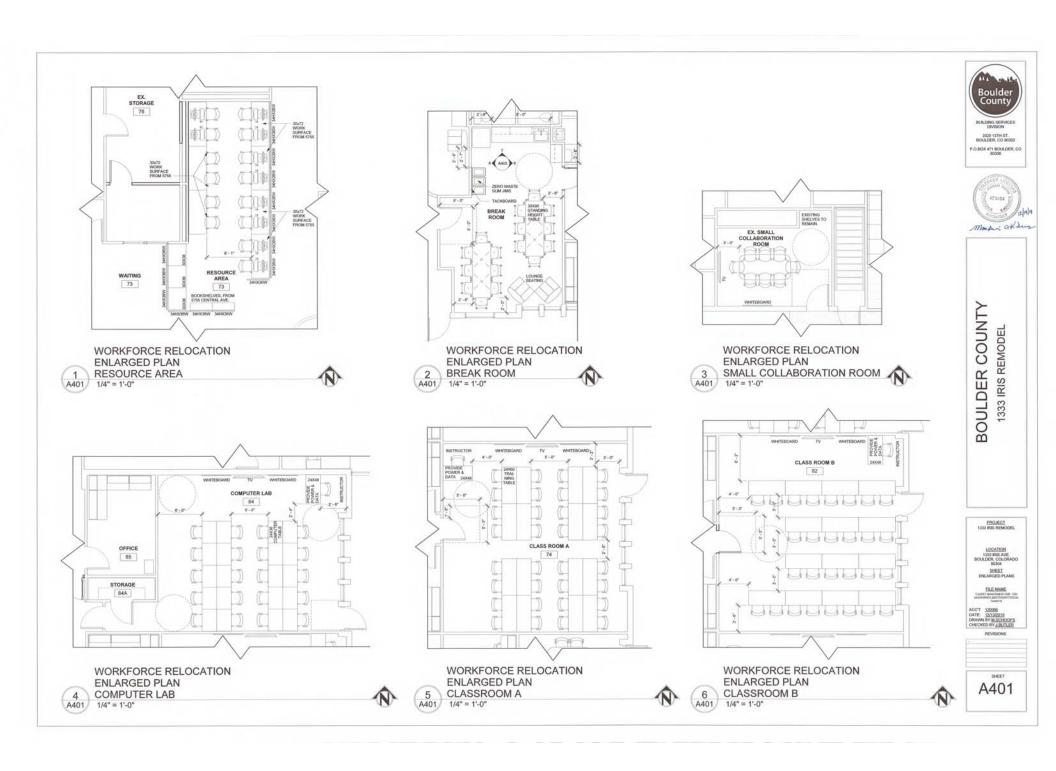


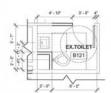




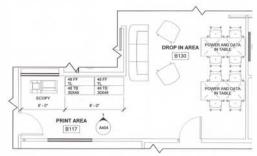




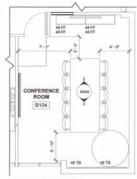




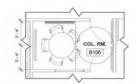
**NORTH WING** 1 ADA TOILET ROOM 1/4" = 1'-0"



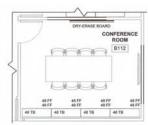
NORTH WING 2 A402 CASUAL 1/4" = 1'-0" CASUAL WORK AREA AND PRINT AREA



**NORTH WING** CONFERENCE ROOM 1 3 CONFER A402 1/4" = 1'-0"



NORTH WING 4 SMALL COLLABORATION ROOM A402 1/4" = 1'-0"



NORTH WING **CONFERENCE ROOM 2** A402 1/4" = 1'-0"





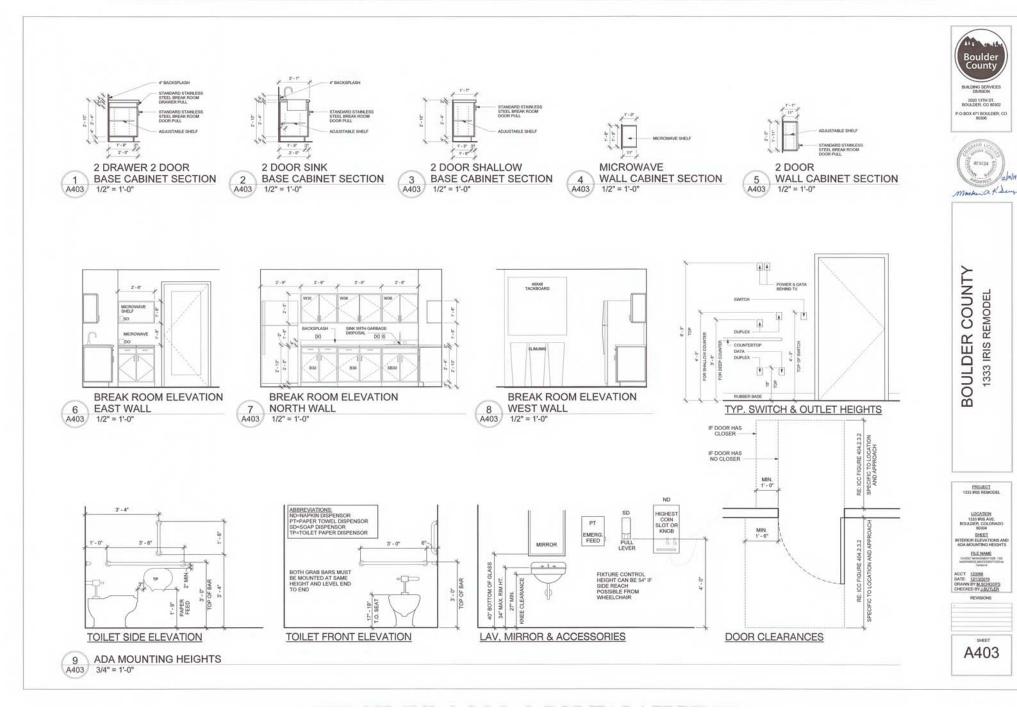


**BOULDER COUNTY** 1333 IRIS REMODEL

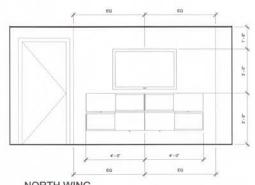
SHEET ENLARGED PLANS

ELE NAME

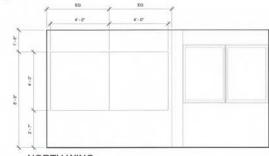
REVISIONS



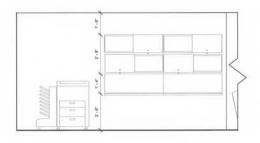
1333 IRIS REMODEL



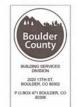
NORTH WING CONFERENCE ROOM 1 NORTH ELEVATION 1/2" = 1'-0"



NORTH WING
CONFERENCE ROOM 1 SOUTH ELEVATION
1/2" = 1'-0"



NORTH WING 1 PRINT AREA ELEVATION 1/2" = 1'-0"





# BOULDER COUNTY

PROJECT
1333 PIES REMODEL

LOCATION
LOCATION
BOOLDER COLONDO
BOOM
SMEET
NUTERON ELEVATORS
610212 CONCINENT COLONDO
MULTIPLE C

CHECKED BY <u>JBUTLER</u>
REVISIONS

## WORKFORCE AND HHS RELOCATION REMODEL DOOR AND FRAME SCHEDULE

OPG.			DO					FRAM			HDWF.	RAND FRAME SCHEDOLE	OPG.			DO	ons				FRAN	IFS			
NO.	WIDTH	HEIGHT			FINISH	TYPE	MAT.	FINISH		DEPTH	GROUP	REMARKS	NO.	WIDTH	HEIGHT			FINISH	TYPE	MAT.	FINISH		DEPTH	HDWE. GROUP	REMARKS
46	EX.	EX.	EX.	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	0	TOUCH UP PAINT AS NEEDED.	112	EX	EX.	EX.	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	7.	TOUCH UP PAINT AS NEEDED.
47	EX.	EX	EX	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.	115	EX.	EX.	EX.	EX.	PAINT	EX	EK.	PAINT	EX	EX.	-	TOUCH UP PAINT AS NEEDED.
	11000		-	10000	- 3.500.00	1,000	-	200000	_	-	.0	TOOCH OF PARTI AS NEEDED.	625/01	10000		1.00		10000000		-	2250.11.5			0.	
47EX	EX.	EX.	EX	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	6A	(t	114	EX.	EX.	EX	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	7:	TOUCH UP PAINT AS NEEDED.
48	EX.	EX.	EX	EX.	PAINT	EX	EX	PAINT	EX.	EX.	0	TOUCH UP PAINT AS NEEDED.													
49	EX.	EX	EX	EX.	PAINT	EX	EX.	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.	B101	EX.	EX.	EX.	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	81	FROST GLASS IN DOOR.
50	EX.	EX.	EX	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.	8102	EX.	EX	EX.	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	40.	TOUCH UP PAINT AS NEEDED.
51	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.	8103	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	.61	
52A	fix.	EX.	tx.	EX.	PAINT	EX.	EX	PAINT	EX.	EX.	8	TOUCH UP PAINT AS NEEDED.	B104	3.0	7.0"	1.04"	WD	PAINT	C	EX.	PAINT	EX.	EX.		FROST GLASS IN DOOR.
52B	20	7-0"	1.54*	WD	PAINT	0	101	PAINT	c			The Michigan Control of Thomas	B106A	20	TO	1.50	WD	PAINT	C	EX.	PAINT	EX.	EX.		FROST GLASS IN DOOR.
53	EX.	EX	£X.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	-	TOUCH UP PAINT AS NEEDED.	B106B	EX	EX	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	- 5	TOUCH UP PAINT AS NEEDED.
	EX.	EX.	EX	EX.	PAINT	Ex	EX.	PAINT	EX.	EX.	,	TOUCH UP PAINT AS NEEDED; PROVIDE LOCK THAT IDENTIFIES	B107	EX.	EX	EX.	EX.	EK.	-	EX.	EX	EX.		EX.	BILLONG CONTROL CONTROL
10	100000	-		1000	-	-		-			- 6	IF OCCUPIED OR VACANT.	2000	11,500		10.555	5.75.05	-	EX.			17.70	EX.	EX.	CARD ACCESS TO REMAIN
10	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.	B108	EX.	DX.	£X.	fix.	PAINT	EX.	EX.	PARIT	EX.	EX.	7	TOUCH UP PAINT AS NEEDED.
MA	2-6	70	13/4"	WD	PAINT	A	HM	PAINT	A.	61	64	T.	B109	EX.	EX	£X.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	EX.	TOUCH UP PAINT AS NEEDED.
MEX	EX.	EX.	DX.	EX.	DX.	EX.	DC.	EX.	EX.	EX.	64		8110	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	CARD ACCESS TO REMAIN.
i7	EX.	EX.	EX	EX.	PAINT	EX	EX	PART	EX.	EX.	5	TOUGH UP PAINT AS NEEDED.	B111	Ex.	EX.	EX	EX.	PAINT	EX	EX.	PAINT	EX.	EX.	5	TOUGH UP PAINT AS NEEDED.
JEX	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	64	7	8112	37-0"	70	13/4"	WD	PAINT	C	EX.	PART	EX.	EX.		FROST GLASS IN DOOR.
a.	EX.	EX.	EX.	EX.	PAINT	EX	EX.	PARIT	EX.	EX.	8	TOUCH UP PAINT AS NEEDED.	B113	3-0"	re	13/4"	WD	PAINT	С	ex.	PARKE	ex.	DX.		FROST GLASS IN DOOR.
10	EX.	EX.	EX.	EX	PAINT	EX	EX.	PAINT	EX	EX.		TOUCH UP PAINT AS NEEDED	Rita	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PARIT	EX.	EX.		TOUCH UP PAINT AS NEEDED.
0	EX.		-	1000	17.00	-	-	-	11,000		-			-	1.00	-	100	17.001	-		110000	-	-	-	MATERIAL PROPERTY AND AND AND ADDRESS OF THE PARTY AND ADDRESS OF THE P
	-	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	- 1	TOUCH UP PAINT AS NEEDED.	B115	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PART	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.
11	3/-01	7-0	1 3/4"	WD	PAINT	0	HM	PAINT	С		2	*	B116	3.0	7.0	13/4"	WD	PAINT	С	EX.	PART	EX.	EX.	4 Off 8	FROST GLASS IN DOOR.
nEX.	EX	EX.	£X.	£X.	tx.	EX.	EX.	EX	EX.	EX	64	G.	8117	3.0	7.0"	13/4"	WD	PAINT	С	EX.	PAINT	EX.	EX.	4	PROST GLASS IN DOOR.
2	EL	EX.	EX	£X.	PAINT	EX.	EX.	PAINT	Ex.	EX.	5	TOUCH UP PARIT AS NEEDED.	8118	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.
8	EL	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUGH UP PAINT AS NEEDED.	8119	EX.	EX	.EX.	EX	PAINT	EX.	EX.	PAINT	EX.	EX.	- 6	TOUCH UP PAINT AS NEEDED.
4	DE	EX.	EX	EX.	PAINT	EX.	EX	PANT	EX.	EX.		TOUCH UP PAINT AS NEEDED.	B120	EX.	EX.	£X	EX.	PAINT	8X	EX	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.
SEX	EX.	EX.	EX.	EX	EX.	EX.	ex.	EX	ex.	EX.	+	EX CARD ACCESS	8121	31-0"	7-07	134	WD	PAINT	A	HM	PAINT	A .	5"	- 7	G
	EX	EX.	EX.	EX.	PAINT	EX.	EX.	PARIT	EX.	EX.	3	TOUCH UP PAINT AS NEEDED, CARD ACCESS	8125	EX.	EX.	EX.	EX.	EX	EX.	EX.	Ex.	EX	EX.	-	Alter Charles in the Co
	3.0	70	134"	WD	PAINT	0	Hit	PAINT	c			TOUCH OF PARTI AS RECUELS, CARD ALLESS			-			_	_		_	-		£X.	CARD ACCESS TO REMAIN. ADD REMOTE BUZZER.
r.		-								-		-	B125A	DX.	EX.	EX	EX	EX.	EX.	EX.	Ex.	EX.	EX.	EX.	
DA :	EX.	EX.	EX.	EX	PAINT	EX.	EX.	PAINT	EX.	EX.	3	TOUCH UP PAINT AS NEEDED.	B126	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	8.	TOUCH UP PAINT AS NEEDED.
06	DX.	EX.	EX.	EX	PAINT	EX.	EC	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.	8130	31-0"	7.0	13/4"	WD	PAINT	C	HM	PAINT	c	5'	4	PROST GLASS IN DOOR.
1	EX.	EX.	EX.	EX.	PAINT	EX.	EC.	PAINT	EX.	EX.	3	TOUCH UP PAINT AS NEEDED.	B131	31-01	7.0	13/4"	WD	PAINT	C	HM	PAINT	c	5"	4	FROST GLASS IN DOOR.
2	DC.	EX.	EX.	EX	PAINT	ex.	Ex.	PART	EX.	EX.	3	TOUCH UP PAINT AS NEEDED.	B132	EX.	EX	EX	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.
DA.	3/47	ro	1 3/4"	WD	PAINT	c	1484	PAINT	c	9		CARD ACCESS	B133	EX.	EX	EX.	EX.	PAINT	EX.	EX.	PARCE	EX.	EX.		TOUCH UP PAINT AS NEEDED
160	30	7:0"	13/4"	WD	PAINT	D	HM	PAINT	-	-		CARD ACCESS	B134	EX.	EX	EX	_	PAINT			PAINT			-	
30		_	_		-	_		_			_		_	-	_	-	EX.	_	EX.	EX.	_	EX.	EX.		TOUCH UP PAINT AS NEEDED.
4:	EX	EX.	. EX.	EX	PANT	EX.	EX	PAINT	EX	EX.	8	TOUCH UP PAINT AS NEEDED.	B135	EX.	EX	EX	EX	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.
4EX	EX.	EX.	EX.	EX	EX.	EX.	EX	EX	EX.	EX.	- 6A	•	B137	31-0"	70	13/4"	WD	PAINT	С	HM	PAINT	С	57	4	FROST GLASS IN DOOR.
5	EX.	EX.	EX.	EX.	PAINT	EX.	EX	PAINT	EX.	EX	7	TOUCH UP PAINT AS NEEDED.	8136	31-01	7-0"	13/0	WD	PAINT	0	HM	PAINT	6	- 82	7	FROST GLASS IN DOOR.
W.	EX.	EX.	EX.	EX	PAINT	EX.	EX:	PAINT	EX.	EX		TOUCH UP PAINT AS NEEDED.	8139	31-0"	7-0"	13/4"	WD	PART	С	HM	PANT	c	5"	5	FROST GLASS IN DOOR.
nga.	EX	£X.	EX.	EX.	PART	EX	EX.	PART	EX.	EX	6.	TOUCH UP PAINT AS NEEDED.	B140	3'-0"	70	13/4"	WD	PAINT	A.	HM.:	PAINT	A	57		TOUCH UP PAINT AS NEEDED.
rea	30'	7.0"	13/4"	WD	PAINT	A	1464	PAINT	Α.	- 1		7±	B148	EK	EX.	EX.	EX	PAINT	EX	EX.	PAINT	EX.	EX.	EX.	CARD ACCESS TO REMAIN.
	20	7.0"	134	WD	PARIT	D.	Heat	PAINT	n			CARD ACCESS	-	-		-	-	77400	100			100			CONTROL OF TOTAL OF THE STATE O
	11.00	100.00	, or second		134431	-	1101	-1441	-			C. W. T. D. T. D. C.		540.5	100									-	
9.:	EX	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	3	TOUCH UP PAINT AS NEEDED.	019	DC.	EX.	EX.	EX:	PAINT	EX.	EX.	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.
2	3.0	7-0"	1.5/4"	WD	PANT	,B:	HM	PAINT	В	- 6"			000	DX.	EX:	EX	EX.	PAINT	EX.	EX.	PAINT	EX	EX.	8	TOUCH UP PAINT AS NEEDED.
SEX	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	∴6A		021	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX	6.	TOUCH UP PAINT AS NEEDED.
9	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX	EX.	.3	TOUCH UP PAINT AS NEEDED.													
4	EX:	EX.	EX.	EX.	PART	EX.	EX.	PAINT:	EX.	EX.	8	TOUCH UP PAINT AS NEEDED.													
4A	EX.	tox.	EX	EX.	PANT	EX.	EX.	PAINT	EX.	EX.		TOUCH UP PAINT AS NEEDED.			1										
4EX	EX.	DX.	EX.	EX.	EX.	EX.	EX.	EXC.	EX.	EX.	GA.	A COMPANY OF THE PARTY OF THE P										_			
-	1,000		7,000		700		40.5	100000			- SA													_	
9	EX:	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX	. 5	TOUCH UP PAINT AS NEEDED.													
	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX		TOUCH UP PAINT AS NEEDED.													
OEX.	EX.	EX	EX	EX.	EX.	EX.	EX.	EX.	EX.	EX	1.	TOUCH UP PAINT AS NEEDED, CARD ACCESS.													
0	EX.	EX.	EX	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	5	TOUCH UP PAINT AS NEEDED.													
	EX.	EX.	EX.	EX.	PANT	EX.	EX.	PART	EX.	EX.	- 5	TOUCH UP PAINT AS NEEDED.													
	EX	EX.	EX.	Ex.	PANT	EX.	Ex.	PART	EX	EX.		TOUCH UP PAINT AS NEEDED.												_	
		1.775	- 1100		10000		70.5	10000	100	7.5	- 7	Provide a contraction of the					-								
	EX	EX.	EX	EX	PANT	EX.	EX.	PAINT	EX	EX.	6	TOUCH UP PAINT AS NEEDED.					-								
5	EX	EX	EX	EX.	PAINT	EX.	EX.	PAINT	EX.	EX	7	TOUCH UP PAINT AS NEEDED.													
2	EX	EX.	EX.	EX.	PANT	EX.	EX.	PAINT	EX.	EX	5	TOUCH UP PAINT AS NEEDED.													
3	EX.	EX.	EX.	EX.	PANT	EX.	EX.	PAINT	EX.	EX.	8	TOUCH UP PAINT AS NEEDED.													
7	3.0"	7-0"	134	WO	PANT	Α.	108	PAINT	A	5'	6													-	
4	115757	1000		EX.	PAINT	EX.	EX.	PAINT	£X.	EX.	6	TOUCH UP PAINT AS NEEDED.													
HA.	EX.	EX:	EX																						
44	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	ex.															

HARDWARE GROUPS

1. ENTRANCE EXISTING

2. PIPE NATED
1 PASSAGE BET
1 WALL DOOR STOP
1 SURFACE CLOSURE

2A. FIRE PATED 1 CAASH BAR 30A VON DUPRIN 1 DOOR STOP 1 SURFACE CLOSURE

OFFICE LOOKING
 I ENTRANCE (AB) SET
 WALL DOOR STOP

4. PLISHPULL 1 PLISHPULL PLATE SET 1 WALL DOOR STOP 1 CLOSER

1 PASSAGE SET 1 WALL DOOR STO

6. STOREROOM 1 STOREROOM SE

6A. STOREROOM 1 STOREROOM SET 1 SURFACE CLOSER

F. PRIVACY 1 PRIVACY SET WITH OCCUPANCY HIDICATOR 1 SURFACE CLOSER

8. CLASSROOM 1 CLASSROOM SET 1 SURFACE CLOSER

NOTE: TOUCH UP OR REPAINT ALL FRAMES, AS NEEDED. CONSULT ARCHITECT FOR TOUCH UP/REPAINT COLORS.



DIVISION 2020 13TH ST. BOULDER, CO 80302 P.O.BOX 471 BOULDER, CO 80308



BOULDER COUNTY 1333 IRIS REMODEL

> PROJECT 1333 IRIS REMODE

LOCATION
1333 RIS AVE
BOULDER COLORADO
80304
SHEET
DOOR SCHEDULE

FILE NAME

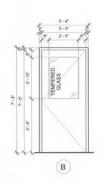
GASSIT WANGSHARM 1839 1839
HACISHANGS AND REPROVISION IN

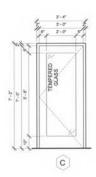
ACCT 120066 DATE: 12/13/2019 DRAWN BY M SCHOOLS CHECKED BY J BUTLER

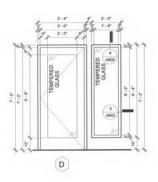
REVISION

SHEET



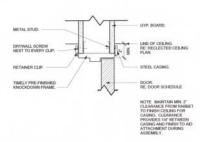






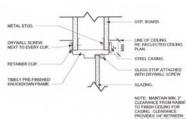
1 DOOR TY A602 1/2" = 1'-0"

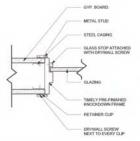
DOOR TYPES



GYP. BOARD RETAINER CLIP DRIYWALL SCREW NEXT TO EVERY CLIP

2 DOOR H A602 3" = 1'-0" DOOR HEAD 3 DOOR JAMB A602 3" = 1'-0"





WINDOW HEAD A602 3" = 1'-0"

5 A602 3" = 1'-0" WINDOW JAMB

Boulder County BUILDING SERVICES DIVISION 2020 13TH ST. BOULDER, CO 80302 P.O.BOX 471 BOULDER, GO 80306



**BOULDER COUNTY** 1333 IRIS REMODEL

LOCATION 1233 PUS AVE. BOULDER, COLORADO 80304 SHEET DOOR ELEVATIONS AND DETAILS

FILE NAME

SUCCEST MANAGEMENT TOOL

SECTION TO CHARGE THE CONTROL CONT

REVISIONS

#### ROOM FINISH SCHEDULE

B100 OFFICE

B107 EX. HALL

BYON EX. TOLET

B104 CONFERENCE ROOM CPT

CPT FIB

EX.

no.

EX.

EX

PAINT EX.

PAINT EX.

PARIT EX.

PAINT EX.

PAINT EX. PAINT EX. PAINT EX. PAINT EX.

PART EX.

PANT EX.

PAINT EX.

PAINT EX.

PAINT EX.

PAINT EX.

PAINT EX.

				9			-	LLS													
ROOM	ROOM NAME	FLOOR	BASE	NO	RTH	EA	ST	50	HTU	WE	ST		CEILIN	G	REMARKS	ROOM	ROOM NAME	FLOOR	BASE	NO	RTH
NUMBER				FINISH	MAT.	HEIGHT		NUMBER	NAME			FINISH	MAT.								
46	EX. SMALL, COLLABORATION ROOM	CPT	RBL	PANT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX	CLEAN GRID: REPLACE STAINED/DAMAGED TILES	B110	EX HALL	CPT	RB	PAINT	EX.
47	FACE TO FACE ROOM	EX.	EX	PAINT	EX	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX	CLEAN GRID: REPLACE STAINED/DAMAGED TILES	B111	OFFICE	CPT	RB	PAINT	EX.
48	FACE TO FACE ROOM	EX.	DC:	PAINT	EX.	PAINT.	EX.	PANT	EX.	PART	EX.	EX.	EX.	EX.	CLEAN GRID: REPLACE STAINED/DAMAGED TILES CLEAN GRID: REPLACE	B112	CONFERENCE ROOM	CPT	RB	PAINT	EX.
49	OFFICE	EX.	DC.	PAINT	EX.	PAINT	EX.	PANT	EX.	PANT	EX.	Ex:	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID: REPLACE	8113	FOCUS ROOM	CPT	RB	PAINT	EX.
50	OFFICE	EX.	DC.	PANT	DX.	PAINT	EX.	PANT	EX.	PANT	EX.	EX.	EX.	EX.	STANED/DAMAGED TILES CLEAN GRID: REPLACE	B114	OFFICE	CPT	RB	PAINT	EX.
51	OFFICE	EX.	EX	PANT	EX.	PANT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX	STAINED/DAMAGED TILES	B115	OFFICE	CPT	RB	PAINT .	EX.
52	BREAK ROOM	OPT VOT	RB .	PANT	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	SAC	SAC	8:0"	CLEAN GRID: REPLACE	B116	HALLWAY	CPT	RD	PAINT	EX.
53	LACTATION ROOM	EX.	EX:	PAINT	EX.	PAINT	EX.	PANT	EX.	PAINT	£X.	EX.	fix.	EX.	STAINED/DAMAGED TILES TOUCH-UP/REPAINT	8117	PRINT AREA	CPT	RB	PAINT	EX.
55	EX. ADA TOILET	EX.	EX.	PAINT	DC.	PAINT:	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX.	CERING CLEAN GRID; REPLACE	8118	OFFICE	CPT	RB.	PAINT	EX.
50	OFFICE	EX.	EX.	PAINT	EX.	PAINT	QVP.	PANT	EX	PAINT	EX.	EX.	EX.	£X.	STANED/DAMAGED TILES CLEAN GRID; REPLACE	B110	OFFICE	CPT	RB.	PAINT	EX.
57	OFFICE	EX.	EX.	PAINT	EX.	PAINT	EX.	PANT	EX	PAINT	EX.	EX.	EX.	EX.	STANED/DAMAGED TILES CLEAN GRID, REPLACE	B120	STORAGE	CPT	RB	PAINT	EX.
58	OFFICE	EX.	EX.	PAINT	EX.	PAINT	EX:	PAINT	EX	PAINT	EX.	EX.	EX.	EX	STAINED DAMAGED TILES CLEAN GRID: REPLACE	B121	EX. TOILET	EX.	EX.	PAINT	EX.
59	OFFICE	EX.	EX	PANT	EX.	PAINT	EX.	PANT	EX	PART	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID: REPLACE	B125	EX. VESTIBULE	CPT	RG	PAINT	EX.
60	OFFICE	EX.	EX.	PAINT	EX.	PAINT	EX.	PANT	EX	PAINT	EX.	EX.	EX.	EX.	STANED DAMAGED TLES	B126	OFFICE	CPT	RE	PAINT	EX.
.01	OFFICE	CPT	RB.	PANT	EX	PAINT	EX.	PANT	GYP.	PAINT	£X.	SAC	SAC.	8-0"		B150	DROP IN AREA	CPT	RB	PAINT	EX.
62	OFFICE	CPT	AB .	PANT	GYP,	PAINT	EX.	PANT	EX.	PAINT	EX.	SAC.	SAC.	8-9"	CLEAN GRID REPLACE	B131	OPEN OFFICE	CPT	RB	PAINT	EX.
63	OFFICE	EX.	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX	PAINT	EX.	EX.	EX.	EX.	STAINED:DAMAGED TILES CLEAN GRID; REPLACE	B132	OFFICE	CPT	RB	PAINT	EX.
64	FACE TO FACE ROOM	EX.	D.	PANT	EX.	PARKT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX.	STANEDIDAMAGED TILES CLEAN GRID: REPLACE	B133	OFFICE	CPT	RO	PAINT	EX.
86	HALLWAY	tx.	EX.	PANT	EX.	PARET	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES	B194	OFFICE	CPT	RIS	PAINT	EX.
RSA	DROP INS	CPT	PIES	PANT	CYP	PAINT	EX.	PART	£X.	PAINT	EX.	SAC	SAC	8-5"	CLEAN GRID; REPLACE	8135	OFFICE	CPT	RB	PANT	EX GYR
66	RECEPTION	EX.	EX.	PANT	EX.	PART	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID: REPLACE	8137	BREAK ROOM	EX.	EX.	PAINT	EX.
67	OFFICE	CPT	RB	PANT	EX	PAINT	EX.	PAINT	EX.	PANT	EX.	EX.	EX.	EX.	STANED/DAMAGED TILES CLEAN GRID: REPLACE	8158	PHONE ROOM	CPT	RIB	PAINT	EX.
70	EX. PRINTER ROOM	EX.	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN ORIO: REPLACE	B159	FOCUS ROOM	CPT	RB	PAINT	EX.
71	OFFICE	CPT	RE	PANT	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID: REPLACE	B140	STORAGE	CPT	RB	PAINT	EX.
72	OFFICE	CPT	RII	PANT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	SAC.	EX.	EX	STAINED DAMAGED TILES		The state of the s				
75	WAITING/RESOURCE AREA	OPT DX	HB EX	PANT	EX.	PAINT	DX.	PARIT	EX.	PAINT	EX.	GB	OB	8.5 8.0		019	LAN ROOM	EX.	EX.	EX.	EX.
74	CLASSROOM A	CPT	PIB	PAINT	EX	PAINT	EX.	PAINT	EX.	PAINT	EX.	SAC.	SAC	8-0"	CLEAN GRID: REPLACE	020	OFFICE	CPT	RS .	PART	EX.
75	EX. PHONE ROOM	EX.	EX.	PANT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID, REPLACE	021	OPEN OFFICE	CPT	RB	PAINT	EX.
76	STORAGE	CPT	PMI.	PANT	EX.	PART	EX.	PARIT	GYF.	PAINT	EX.	SAC	SAC	7-10"	STAINED/DAMAGED TILES CLEAN GRID; REPLACE	021A	OFFICE	CPT	PIS .	PART	EX.
76A	STORAGE	CPT	PIB.	PAINT	£X.	PAINT	EX.	PANT	EX.	PAINT	EX.	ex.	EX.	EX.	STANED DAMAGED TILES CLEAN GRID: REPLACE						
768	ELECTRICAL ROOM	S.CONC.	PID.	PAINT	GYP.	PADET	£X.	PANT	EX.	PAINT	EX.	SAC.	SAC	7-10'	STAINED/DAMAGED TILES CLEAN GRID: REPLACE						
79	OFFICE	CPT	HB	PANT	EX	PAINT	£X.	PANT	EX.	PAINT	EX.	EX.	EX	EX.	STAINED/DAMAGED TILES CLEAN GRID: REPLACE						
82	CLASSROOM B	CPT	RB.	PANT	EX	PAINT	EX.	PANT	EX.	PAINT	EX.	SAC.	SAC	81-01	STAINED DAMAGED TILES CLEAN GRID, REPLACE						
83	OFFICE	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED DAMAGED TILES CLEAN GRID: REPLACE				_		
84	COMPUTER LAB	CPT	RS .	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STANED DAMAGED TILES			B	AT	TACH TOP O	OF WALL T
84A	EX. STORAGE	CPT	RB	PANT	EX.	PART	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	CLEAN GRID; REPLACE STAINED DAMAGED TILES			181	AC	OUSTING C	ELING TIL
85	OFFICE	OPT	Rtt.	PANT	EX.	PART	EX.	PANT	EX	PAINT	EX.	EX.	Dt.	EX.	CLEAN GRID; REPLACE STAINED: DAMAGED TILES						
86	EX. HALLWAY	EX.	EX.	PAINT	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX.	CLEAN GRID; REPLACE STAINED/DAMAGED TILES CLEAN GRID; REPLACE						
87	OFFICE	EX.	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	STAINED/DAMAGED TILES CLEAN GRID: REPLACE						
200	OFFICE	EX.	EX	PAINT	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX	STANED DAMAGED TRES CLEAN GRID: REPLACE	1					
89	OFFICE	EX.	EX	PAINT	EX.	PAINT	EX.	PANT	EX.	PANT	EX.	EX.	EX	EX.	STAINED/DAMAGED TILES CLEAN GRID: REPLACE	1		B			
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92	OFFICE	EX.	EX:	PAINT.	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX	CLEAN GRID; REPLACE STAINED/DAMAGED TILES						
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94	WORKFORCE STORAGE	EX.	EX:	PAINT	EX.	PAINT	EX.	PANT	EX.	PAINT	EX.	EX.	EX.	EX	CLEAN GRID: REPLACE STAINED/DAMAGED FILES				50	r GYPSUM V	WALLBOAR
96	FACE TO FACE ROOM	CPT	RB.	PANT	GYP.	PAINT	EX.	PAINT	EX	PAINT	EX.	SAC.	S.A.C.	7:11	CLEAN GRID; REPLACE STAINED/DAMAGED TILES						
.111	EX. TOLET	EX.	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX	PAINT	EX.	EX.	EX.	EX.	CLEAN GRID: REPLACE STAINED DAMAGED TILES				ME	SULATION F TIGATION	UNI SOUNE
112	EX TOLET	EX.	EX.	PAINT	EX	PAINT.	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	CLEAN GRID: REPLACE STAINED DAMAGED TILES	1		B			
113	EX.JANITOR CLOSET	EX.	Ex.	PAINT	EX	PAINT	EX.	PARCE	EX.	PAINT	EX.	DC.	EX.	EX.	CLEAN GRID; REPLACE STAINED/DAMAGED TILES CLEAN GRID; REPLACE			8			
114	EX. ADA TOILET	EX.	EX:	PAINT	ex.	PAINT	EX	PART	EX.	PAINT	EX.	EX.	EX.	EX.	CLEAN GRID; REPLACE STAINED/DAMAGED TILES						
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8101	EX. CONFERENCE RM.	CPT	RB	PAINT	EX.	PAINT	EX.	PANT	EX	PAINT	EX.	EK.	EX.	EX.	CLEAN GRID; REPLACE STAINED/DAMAGED TILES	1		CHEXISTIN	0		
B102	STORAGE	CPT	PB :	PAINT	EX.	PAINT	EX.	PAINT	EX	PAINT	EX.	EX.	EX:	EX.	CLEAN GRID; REPLACE STAINED DAMAGED THESE	1	WA	I, THICKNES	IS NO	TE WALL T	OGOTOR

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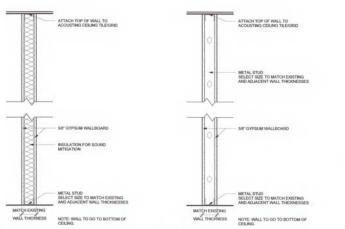
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WALL TYPE A

A603 1 1/2" = 1'-0"

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WALL TYPE B

2 WALL TYP A603 1 1/2" = 1'-0"

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EX. EX.

SAG. SAG. BO

BAC SAC FF

SAC SAC F6"

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BOULDER COUNTY 1333 IRIS REMODEL

LOCATION 1333 IRIS AVE. BOULDER, COLORADO 80304 SHEET FINISH SCHEDULE AND WALL TYPES ELE NAME STANDED BARMCEMENT (SEE - 120) MACHINERICA BARGE (SEE - 120) NA CAMBRIAN

ACCT 120066 DATE 12/13/2019 DRAWN BY M SCHOOFS CHECKED BY J BUTLER REVISIONS

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BOULDER COUNTY 1333 IRIS REMODEL

LOCATION
1333 BIG AVE
BOULDER, COLORADO
BOSCOA
BREET
COMMIRCOL MANDATORO
MARGORES
FILE INME
ENTE INMENDENT COLORADO
COMMITTE COLORADO
DATE: 12713/2013
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SYMBOL	ABBREVIATION	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	
OTHEOL	(E)	EXISTING (LIGHT LINE)	0	PIPE UP AND DOWN ELBOW	70	SMOKE DETECTOR	
	(D) DEMO	TO BE DEMOLISHED		PIPE DOWN TEE		DUCT SIZE INDICATING SHEET METAL	
	(N)	NEW (HEAVY LINE)		PIPE CONTINUATION	20/16	DIMENSIONS. FIRST NUMBER WIDTH	
-CHR-	CHR	DUAL TEMPERATURE RETURN		PIPE FLOW DIRECTION (SHOWN TO RIGHT)		AND SECOND IS DEPTH (INCHES).	
-CHS -	CHS	DUAL TEMPERATURE SUPPLY		PIPE REDUCER		DUCT ELBOW WITH TURNING VANE	
—CR—	CR	CHILLED WATER RETURN		PIPE UNION AND CAP		DOO! EEDOW WITH TOTAL OF WALE	
_cs	cs	CHILLED WATER SUPPLY	-5	BALL VALVE, GATE VALVE		DUCT TEE WITH TURNING VANES	
-cwr-	CWR	CONDENSER WATER RETURN	-&-	MOTORIZED VALVE - 2-WAY	1 <del>- 1</del> 4	DOO! ILL WIII IGUING VALE	
-cws-	cws	CONDENSER WATER SUPPLY	_æ	MOTORIZED VALVE - 3-WAY		MANUAL DAMPER WITH LOCKING	
-HWR-	HWR	HEATING WATER RETURN	&	PRESSURE REDUCING VALVE		QUADRANT.	
-HWS-	HWS	HEATING WATER SLIPPLY	—R—	CHECK VALVE	l n		
HPC-	HPC	HIGH PRESSURE CONDENSATE	-Øw-	BUTTERFLY VALVE. GLOBE VALVE	1 <del></del>	MOTORIZED DAMPER	
- HPS	HPS	HIGH PRESSURE STEAM		BALANCE VALVE	=		
-LPC-	LPC	LOW PRESSURE CONDENSATE	_ <del>v</del>	STRAINER		FLEXIBLE DUCT CONNECTOR	
- LPS —	LPS	LOW PRESSURE STEAM		HOSE-END DRAIN VALVE		SPIN-IN FITTING WITH DAMPER	
- MPC	MPC	MEDIUM PRESSURE CONDENSATE		STRAINER WITH BLOW-OFF		45° DUCT TAKE-OFF	
- MPS -	MPS	MEDIUM PRESSURE STEAM		VENTURI	\		
PC	PC PC	PUMPED CONDENSATE		GAS COCK		RECTANGULAR SUPPLY AIR DUCT UP	
RD	RD RD	REFRIGERANT DISCHARGE	——————————————————————————————————————	PLIMP		RECTANGULAR RETURN AIR DUCT UP	
-RD	RI RI	REFRIGERANT LIQUID	-02200-	DUAL CHECK BACKELOW PREVENTOR			
RS	RS RS	REFRIGERANT SLICTION	-01/20-	REDUCED PRESSURE BACKFLOW		RECTANGULAR EXHAUST AIR DUCT UP	
	cw	DOMESTIC COLD WATER	-040-	PREVENTOR	6	ROUND DUCT UP	
	HW	DOMESTIC COLD WATER		PRESSURE-TEMPERATURE TAP		NOOND DOOT OF	
	HWC	DOMESTIC HOT WATER DOMESTIC HOT WATER CIRCULATION	4)	PRESSURE-TEMPERATURE RELIEF		DOOR UNDERCUT	
	A I	AIR PIPING (COMPRESSED)		VALVE	· 🔈	FIRE DAMPER	
n	n l	DRAIN		AIR VENT	٥	FIRE AND SMOKE DAMPER	
-DIG-	DIC	DE-JONIZED WATER CIRCUI ATION		PIPE GUIDE OR SLEEVE	۵	SMOKE DAMPER	
	E I	EIDE		PIPE EXPANSION JOINT	۵	EXISTING FIRE DAMPER	
FOR	FOR	FUEL OIL RETURN		PIPE ANCHOR	_		
_FOS	FOS	FUEL OIL SUPPLY	_ •	FIFE ANCHOR		SUPPLY DIFFUSER	
_FOV —	FOV	FUEL OIL VENT	(9)	VACUUM RELIEF VALVE		RETURN OR TRANSFER GRILLE	
G	G G	GAS		VACOUM RELIEF VALVE	"	EVHALIST COLLE	
_ GW	GW	GREASE WASTE	Ū.	THERMOMETER		EXHAUST GRILLE	
_w_	IW	INDIRECT WASTE		THERMONETER		CARBON MONOXIDE SENSOR	
_ MA —	MA	MEDICAL AIR	Ø	PRESSURE GAUGE	_		
N	MA N	MEDICAL AIR NITROGEN		THEODONE GRODE	0	THERMOSTAT OR TEMPERATURE SENSOR FOR DEVICE "XXX"	
- ORDI	ORDI	OVERFLOW ROOF DRAIN LEADER	₽≈	FLOW SENSOR	0	HUMIDISTAT OR HUMIDITY SENSOR	
- ORDL —	ORDL	OVERFLOW ROOF DRAIN LEADER OXYGEN		FLOW SENSOR FLOOR DRAIN	Ι ΄	FOR DEVICE "XXX"	
- 1			⊕————————————————————————————————————	FLOOR DRAIN FLOOR SINK-FULL-3/4-HALF GRATE	0	CARBON DIOXIDE SENSOR	
-RDL	RDL SAN	ROOF DRAIN LEADER SANITARY WASTE	.a	DRAIN ABOVE	•	CONNECTION NEW TO EXISTING	
SMS —	SAN	SANITARY WAS TE SNOW MELT SUPPLY	ø	ROOF DRAIN			
-SMS	SMS	SNOW MELT SUPPLY SNOW MELT RETURN	0	ROOF DRAIN - OVERFLOW			
-SMR-	SOD	SAND AND OIL DRAIN	0	DOWNSPOLIT NOZZI F			
_ SOD —   _ ST —	SOD	SAND AND OIL DRAIN STORM	<u> </u>	CLEANOUT - VERTICAL			
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vac	VAC	VACUUM	W+H =				
_v_	w	WASTE	Ψ+ +	WALL HYDRANT, HOSE BIBB			
vv					DIFFUSER -		
	AFF	ABOVE FINISHED FLOOR				THROW BLOCKING	
	AFG	ABOVE FINISHED GRADE			FLEX	NECK SIZE	
	EC	ELECTRICAL CONTRACTOR			17	<del></del>	
	EOR	ENGINEER OF RECORD			RIGID DUCT DIFFUSER		
	GC	GENERAL CONTRACTOR					
	MC	MECHANICAL CONTRACTOR	1			LL SYMBOLS ON THIS LEGEND ARE	
	PC PC	PLUMBING CONTRACTOR				Y USED ON THIS PROJE	

#### PROJECT DESCRIPTION

PROJECT INCLUDES RENOVATION OF AN EXISTING OFFICE BUILDING AT THE MENTAL HEALTH BUILDING AT 1333 IRIS AVE IN BOULDER, COLORADO. THE FIRST FLOOR WILL BE REMODELED, REUSING EXISTING MECHANICAL SYSTEMS AND REBALACING EXISTING DAMPERS, WHILE A MAKEUP AIR UNIT WILL BE INSTALLED ON THE ROOF TO PROVIDE VENTILATION AIR FOR THE EXISTING AHU 4 LOCATED AND SERVING THE BASEMENT. A FEW PLUMBING FIXTURES WILL BE DEMOUSHED AND A COUPLE HAND SINKS INSTALLED.

#### SPECIFICATION GENERAL NOTES

- A. REVIEW THE CONTRACT CONDITIONS AND GENERAL REQUIREMENTS FOR INFORMATION THAT APPLIES. B. THE WORD "PROVIDE" IS LISED TO MEAN "FURNISH AND INSTALL."
- . PROVIDE ALL ITEMS FOR A COMPLETE AND SUCCESSFUL OPERATION OF ALL SYSTEMS SHOWN ON
- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF THE WORK LOCATIONS HE DRAWINGS ARE UNICATION. AND NUICATE GENERAL ARRANGEMENT OF THE WORK LOCATION ARE APPROXIMATE UNLESS DIMENSIONED. MINOR MODIFICATIONS IN LOCATION ARE STEELD RECUIREMENTS ARE ACCEPTABLE. REFER TO LATEST ARCHITECTURAL DRAWINGS FOR EXACT WALL LOCATIONS AND DIMENSIONS.
- LAY OUT ALL WORK IN ADVANCE. DO NOT DESACE THE WORK OF OTHER TRADES OF THE EVISTING
- G. LOCATION OF PIPES, DUCTS, SWITCHES, PANELS, EQUIPMENT, AND FIXTURES SHALL BE ADJUSTED TO ACCOMMODATE THE WORK OR INTERFERENCES ANTICIPATED AND ENCOUNTERED. DETERMINE THE EXACT
- ACCOMMODATE THE WORK OR INTERFERENCES ANTICIPATED AND ENCOUNTERED. DETERMINE THE!
  ROUTE AND LOCATION OF EACH PIPE AND DUCY PRIOR TO FABRICATION.

  G.A. RIGHT-OF-WAY: LINES WHICH PITCH SHALL HAVE THE RIGHT-OF-WAY OVER THOSE WHICH DO NOT
  PITCH LINES WHOSE ELEVATIONS CANNOT BE CHANGED SHALL HAVE THE RIGHT-OF-WAY OVER
  LINES WHOSE ELEVATIONS CAN BE CHANGED.
- G.B. OFFSETS. THANSITIONS, AND CHANGES AN DIECTION-OFFSETS, TRANSITIONS, AND CHANGES IN DIRECTION OF PIECE AND DUCTS SHALL BE MADE AS REQUIRED TO MANTAIN PROPER HEADROOM AND PITO OF SUPINS, LIBES WHETER OR NOT INDICATED O
- ALL PENETRATIONS OF FIRE RATED WALLS, FLOORS, NO CELLINGS SHALL HAVE THE SPACE AROUND PENETRATIONS SEALED WITH A FRE BANGER SEALANT MEETING THE ROUNGEMENTS OF UL. SYMMARD HITS AND ASTIME 218. SEATLAL SEALANT IN FULL COMPLIANCE WITH MANUFACTURERS STANDARD MSTALLATION INSTRUCTIONS.
- ALL MATERIALS LOCATED ABOVE CEILING SHALL BE SUITABLE FOR USE WITHIN A RETURN AIR PLENUM AS REQUIRED BY THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
- WHEN USING A TORCH OR OTHER FLAME-PRODUCING DEVICE ON THIS PROJECT, CONTRACTOR SHALL WHISH LORING A LOWGH OF THATE PRODUCING DEVICE ON THIS PROJECT CONTINUED SHALL SUPPLIES THE PROPERTY OF THE PROPERTY OF THE BUILDING AND CONNECTED TO AWATER SUPPLY ON THE PREMISES WHERE SAID BURNING OF DEPARTON IN PERFORMED COMBUSTIBLE MINERAL IN THE CLOSE PROGRAMOTY OF OREY LARE SAUL LE PROPERTY CANADAMY TO AWATER THE WINTERFAL IN THE CLOSE PROGRAMOTY OF OREY LARE SAUL LE PROPERTY CANADAMY TO AWATER THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE CONTINUED OF THE PROPERTY OF THE CONTINUED OF THE PROPERTY OF THE CONTINUED OF THE PROPERTY OF THE TOP OF THE THE TOP OF THE PROPERTY OF THE PROPERTY OF THE TOP OF THE TOP OF THE PROPERTY OF THE TOP OF TH
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING THE PROJECT AND TAKE INTO CONSIDERATION CONDITIONS THAT MAY AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE APPROVED FOR FAILURE TO VISIT THE SITE PRIOR TO PERICING THE WORK.
- APPRICIPED FOR FALLINE, ID VISIT THE SILE PROCEST IO FRANKES THE STORM AMAZINA CONTRICTS EST OF THESE DRIVINGS AT THE SITE WITH ALL DAMAGES OR DEVAITIONS FROM THE ORIGINAL DRAWINGS MEATTH AMAGED DITHER IN RECOCCES. THIS SHALL BE A DATE OF THE ORIGINAL DRAWINGS AND THE SILE OR PROFESSION OF THE STORM AND THE EMBORISHMENT OF REPORTS AT THE ORIGINAL EST OR PROFESSION OF THE CONTRICT OF THE STORM AND THE CONTRICT OF THE CONTRICT OF THE STORM AND THE CONTRICT OF THE CONTRICT OF
- MATERIAL SHALL BE AS SPECIFIED. SUBSTITUTIONS WILL BE CONSIDERED IF SUBMITTED FOR PRIOR MATERIAL SHILL BE AS SECRETED. SUSTTITUTED WILL BE CONSIDERED IF SUBMITTED FOR PROOF. APPROVING AT LEAST ONCE (I) THESE PROOF TO THE COMMENT BOATE. SUSTTITUTIONS SHOULD BE APPROPRIATE INCLUDING: I) COMMARS SOURTED AND THE COLLETTES OF THE PROPOSED SUSTTITUTION WITH APPROPRIATE INCLUDING: I) COMMARS SOURTED ON THE RELEAST OF THE WORK EXCLUSE OF THE SUBSTITUTION. 3) COST DATA COMPARION THE PROPOSED SUBSTITUTION WITH THE PROPOSED SECRETED THE SUBSTITUTION. THE PROPOSED SUBSTITUTION WITH THE PROPOSED SECRETED THE SUBSTITUTION. THE PROPOSED SUBSTITUTION WITH THE PROPOSED SUBSTITUTION.
- SUBMIT ELECTRONIC PDF OF MANUFACTURER'S SHOP DRAWINGS FOR EQUIPMENT AND DEVICES. PRIOR TO SUBMITTING THE SHOP DRAWINGS FOR REVIEW, THE CONTRACTOR SHALL REVIEW AND CERTIFY SAME AS TO COMPLIANCE WITH THE PLANS AND SPECIFICATIONS AND FOR DIMENSIONAL SUITABILITY FOR THE APPLICATIONS.
- WHEN ALTERNATE OR SUBSTITUTED EQUIPMENT IS USED, CONTRACTOR IS RESPONSIBLE FOR COORDINATING SPACE REQUIREMENTS, CONFIGURATIONS, CHANGES IN SUPPORTS OR STRUCTURE MEMBERS, ELECTECAL REQUIREMENTS, AND COORDINATION OF OTHER TRADES THAT MAY BE AFF BY THEIR USE CONTRACTOR IS RESPONSIBLE FOR VERFINING THE SAME WHEN USING LISTED APP MANUFACTURES OTHER THAN THE BASIS OF RESIST.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR TESTING OF INSTALLED EQUIPMENT.
- THE CONTRACTOR SHALL DEMONSTRATE THE PROPER OPERATION AND CALIBRATION OF ALL SYSTEMS TO THE OWNER, AT A TIME AS AGREED TO BY THE OWNER AND DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL SYSTEMS WITHIN 15 DAYS OF THE COMPLETION OF THE PROJECT.
- STATEMENT WITH SURFACE THE CONFECTION OF THE PROJECT.

  THE CONTRICTION SHALL INCLIDE THE COST FOR COMMISSIONING TO VERIFY THE PERFORMANCE OF THE SYSTEM CONTRICLS SHOWN ON THIS DRAWING. THIS INCLIDES PERPARISH OR ADMISSIONING PROVIDED A FINAL VERIFYING THE OPERATION OF ALL SYSTEMS PER COOK REQUIREMENTS, AND PROVIDINGS A FINAL COMMISSIONING REPORT IS DUBMIT TO ENGINEER FOR REVIEW. FINAL COMMISSIONING REPORT IS DUE WITHIN 80 DAYS OF COMPLETION OF THE PROJECT.

#### ODES, REGULATIONS, AND STANDARDS;

- ALL WORK SHALL BE IN STRICT ACCORD WITH LOCAL GOVERNING LAWS, ORDINANCES, AND REGULATIONS: ALL WORK MUST BE IN FULL ACCORDANCE WITH ALL CODES, ORDINANCES, AND CODE RULINGS. CONTRACTOR SHALL PROVIDE. WITHOUT EXTRA CHARGE, THE LABOR AND MATERIALS REQUIRED FOR FULL CODE COMPLIANCE.
- ALL MATERIALS SHALL BE NEW AND SHALL COMPLY WITH THE SPECIFICATIONS ON DRAWINGS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LOCAL FEES, PERMITS, AND SERVICES OF INSPECTION
  AUTHORITIES REQUIRED BY THE WORK OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR ALL
  INSPECTIONS WHEN THEY BECOME DUE AND SHALL NOT COVER ANY WORK UNTIL APPROVED BY THE
  INSPECTION AUTHORITY.

#### GUARANTEE:

- A. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP, MATERIALS, AND EQUIPMENT PROVIDED FOR THE PROJECT AGAINST DEFECTS AND/OR FAULTY WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL REPAIR AND/OR REPLACE DEFECTIVE OR FAULTY WORKS OR EQUIPMENT, AND SHALL BE RESPONSIBLE FOR THE REPAIR ANDIOR REPLACEMENT OF OTHER PROPERTY OR WORK DAMAGED AS A RESULT, WITHOUT CHARGE TO THE OWNER AND AS QUICKLY AS POSSIBLE, DURING THE GUARANTEE PERIOD.

MECH	HANICAL DRAWING INDEX												
			Ξ	IS	SUE	DA	TE -	DES	CRI	PTIC	ON		
DRAWING NUMBER	DRAWING TITLE	5.3.2019 - PERMIT REVIEW SET	11.28.2019 - PERMIT REVIEW SET	12.10.2019 - COORDINATION SET	12.12.2019 - PERMIT SET								
MP0.1	MECHANICAL LEGEND & NOTES	•		•									
MP0.2	MECHANICAL NOTES	•						П			П	П	
MP0.3	MECHANICAL SCHEDULES & DETAILS	•		•	•							П	
MP0.4	MECHANICAL VENTILATION CALCULATIONS	П		•				П			П	П	
MP0.5	BOULDER ENERGY CODE CHECKLISTS	•	•	•	•	Г	Г	Г	Г		П	П	
M1.0	MECHANICAL SOUTH PLAN	•		•	•							П	
M1.1	MECHANICAL NORTH AND ROOF PLANS	П		•				П			П	П	
P1.0	PLUMBING PLANS			•								П	
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		L	L	L	L	L	L	L	L	Ш	Ш		

#### DUILDING CODE DATA

PARTIAL SHEET ISSUE (SKETCH)

FULL SHEET ISSUE.

BUILDING	CODE DATA	
DISCIPLINE	CODE	EDITION
GENERAL	INTERNATIONAL BUILDING CODE	2012
HVAC / MECHANICAL	INTERNATIONAL MECHANICAL CODE	2012
PLUMBING	INTERNATIONAL PLUMBING CODE	2012
ELECTRICAL	NATIONAL ELECTRIC CODE	2017
FIRE PROTECTION	INTERNATIONAL FIRE CODE	2012
FIRE PROTECTION	NFPA STANDARDS	CURRENT
FUEL	INTERNATIONAL FUEL GAS CODE	2012
ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE	2012
ENERGY	BOULDER ENERGY CONSERVATION CODE	2017
ACCESSIBILITY	HANDICAPPED ACCESSIBILITY CODE (ICC/ANSI A117.1)	2009
LOCAL AMMENDMENTS	CITY OF BOULDER	CURRENT

(9) PARTIAL SHEET RISULE (SKELER):

THE BERRAWINGS AND SPECIFICATIONS FOR THIS PROJECT ARE COPYRIGHT 2019, PCD ENGINEERING
SERVICES, INC., WHICH SHALL RETAIN ALL RIGHTS OF OWNERSHIP AND COPYRIGHT FOR THE INFORMATION
AND DIAT DESCRIPTION FOR THE WINDOWNERS OF A PROJECT OF THE WINDOWNERS OF THE WINDOWNERS OF THE WINDOWNERS OF THE BIT OF THE WINDOWNERS OF THE BIT OF THE BIT OF THE WINDOWNERS OF THE BIT OF T

JURISDICTION (AHJ).

B. ALL WORK SUBJECT TO INSPECTION BY THE AHJ AT THE PROJECT SITE FOR COMPLIANCE.

#### SPECIFICATION GENERAL NOTES CONTINUED

#### DEMOLITION NOTES:

- VERIFY LOCATION OF EXISTING SYSTEMS AND EXISTING FIELD CONDITIONS
- REVIEW ALL SHEETS FOR OTHER DEMO AND REMOVAL REQUIREMENTS. COORDINATE ALL DEMOLITION WORK WITH THE ARCHITECTURAL DRAWINGS
- ALL CONFLICTS, OMISSIONS OR CONCERNS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING FOR A WRITTEN RESOLUTION. BEFORE PROCEEDING WITH WORK SO INVOLVED.
- UNLESS SPECIFICALLY NOTED TO THE CONTRARY, REMOVED MATERIALS SHALL NOT BE REUSED IN THE WORK. SALVAGED MATERIALS THAT ARE TO BE REUSED SHALL BE STORED SAFE AGAINST DAMAGE AND TURNED OVER TO THE APPOPRIATE TRADE FOR REUSE.
- WHERE INDICATED. SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER. THESE MATERIALS ARE TO BE REMOVED BY THE SUBCONTRACTOR AND TURNED OVER TO THE OWNER WITHOUT DAMAGE. ALL OTHER SALVAGED MATERIALS SHALL BECOME THE PROPERTY OF THE SUBCONTRACTOR, WHO SHALL REMOVE AND LECALLY DISPOSE OF OR [PREFEARBLY) RECYCLE THEM MAYOF FROM THE PREMISES.
- WORK THAT HAS BEEN CUT OR PARTIALLY REMOVED SHALL BE PROTECTED AGAINST DAMAGE UNTIL COVERED BY PERMANENT CONSTRUCTION.
- CLEAN ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REUSED. REMOVE ALL MUD, DEBRIS, RUST AND OTHER EXTRANEOUS MATERIALS SO THAT THE EXISTING EQUIPMENT AND ALL ACCESSORIES CAN BE REPAINTED AND REPAIRED AS REQUIRED TO PLACE IN PRIST CLASS WORKING CONDITION.
- WHERE EXISTING EQUIPMENT IS REMOVED, PIPING OR CONDUIT SHALL BE CAPPED UNDER THE FLOOR OR BEHIND THE WALL FACE, UNLESS OTHERWISE NOTED.
- 10. REPAIR ALL WALL, FLOOR, AND CEILING PENETRATIONS TO MAINTAIN THE EXISTING FIRE RATING.



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NOTICE: DUTY OF COOPERATION Re

REVISIONS											
DATE	DESCRIPTION	NO.									
2.12.2019	PERMIT SET	0									

BOULDER, CO 80304 NOTES MECHANICAL LEGEND & 1333 IRIS REMODEL BOULDER COUNTY 1333 IRIS AVENUE, B PROJECT OWNER: ADDRESS

DRAWN BY: EJ CHECKED BY: DO PROJECT NO: 19019

#### PLUMBING GENERAL NOTES

- THE NEW PLUMBING SYSTEMS SHALL BE BY THE PLUMBING CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO:
- 1.1. THE PLUMBING FIXTURES AND EQUIPMENT AS SCHEDULED OR LISTED.
- 1.2. THE WATER DISTRIBUTION SYSTEMS WITH: WATER SERVICE ENTRANCE, BACKFLOW PREVENTION, PRESSURE REGULATION, PIPING, VALVES, INSULATION, WATER HEATING EQUIPMENT, PUMPS, CONTROL SYSTEMS, ETC.
- THE WASTE AND VENT SYSTEMS WITH: PIPING, TRAPS, INTERCEPTORS, CLEANOUTS, VALVES, INSULATION, ETC.
- . ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND/OR ORDINANCES, INCLUDING, BUT NOT LIMITED TO PIPE SIZE.
- CONTRACTOR SHALL MAINTAIN FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY LEAKS IN PIPING SYSTEMS WHICH HE HAS BUILT OR IMDDIFIED IN ANY WAY. ALL DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- DRO IECT DESIGN CONDITIONS ARE-
- 4.1. LOCATION: BOULDER, COLORADO, BOULDER COUNTY.
- 4.2. SITE ELEVATION: 5413 FEET.
- 4.3. DOMESTIC WATER PROVIDED BY: CITY OF BOULDER WATER DEPARTMENT.
  4.3.1. DESIGN CONDITIONS PER CITY WATER DEPARTMENT ARE:
- 4.3.1.1. MINIMUM DESIGN WATER PRESSURE: 50 PSI. 4.3.1.2. MAXIMUM DESIGN WATER PRESSURE: 75 PSI.
- INSTALL ALL PIPING TRUE AND PLUMB, PARALLEL OR PERPENDICULAR TO BUILDING CONSTRUCTION. USE ONLY NEW MATERIALS, CLEAN AND FREE OF RUST.
- PROVIDE DIELECTRIC UNIONS AT ALL PIPING CONNECTIONS OF DISSIMILAR METALS.
- . DOMESTIC WATER PIPING ABOVE GRADE;
- DOMESTIC WATER PIPING BELOW GRADE TYPE "K" SOFT DRAWN COPPER WITH WROLIGHT COPPER BRAZED ORIESTIC WATER PHYRIB BELGUY BONDE: FIFE A SOFT JONAWN COFFER WITH WOUGHT COFFER DEAD.

  FITTINGS, USE ONLY CANFIELD BRAZESAFE 66 BRAZING ALTOY OR APPROVED EQUAL DO NOT USE LEAD OR ANTIMONY BRAZING ALLOYS. INSTALL WITHOUT JOINTS WHERE POSSIBLE. IF JOINTS ARE REQUIRED, LOCATE THEM ON THE RECORD DRAWINGS WITH DIMENSIONS TO WALLS OR OTHER REFERENCE POINTS.
- INSULATE DOMESTIC HOT WATER PIPING AND HOT WATER RECIRCULATION PIPING ABOVE GRADE WITH 1 THICK SNAP-ON TYPE FIBERGLASS PIPE INSULATION WITH SELF SEALING ALL-SERVICE JACKET, FLAME RETARDANT. INSULATE DOMESTIC COLD WATER PIPING ABOVE GRADE WITH 1/2" THICK SNAP-ON TYPE FIBERGLASS PIPE INSULATION WITH SELF SEALING ALL-SERVICE JACKET, FLAME RETARDANT. ALL WATER VALVES AND FITTINGS SHALL BE INSULATED WITH MOLDED OR MITERED FIBERGLASS (SAME THICKNESS A ASSOCIATED PIPING), FINISHED WITH A BRUSH COAT OF B.F. 30-35, 6 OZ. CANVAS AND A SECOND COAT OF SEALANT. NO STAPLES SHALL BE USED ON WATER PIPE INSULATION.
- INTERIOR SOIL, WASTE, AND VENT PIPING ABOVE GRADE SERVICE WEIGHT IRON SOIL PIPE AND NO-HUB FITTINGS, (PVC SCHEDULE-40 SOLID CORE PLASTIC PIPE AND FITTINGS MAY BE USED WHERE ALLOWED BY THE BUILDING DEPARTMENT AND NOT LOCATED IN NEW OR EXISTING RETURN AIR PLENUM.)
- INTEDIOD SOIL WASTE AND VENT DIDING BELOW CRADE. SERVICE WEIGHT CAST IDON HER AND SDIGOT SOIL PIPE AND FITTINGS WITH NEOPRENE GASKETS. (PVC SCHEDULE-40 SOLID CORE PLASTIC PIPE AND FITTINGS MAY BE USED WHERE ALLOWED BY THE BUILDING DEPARTMENT.)
- 2 SLOPE ALL SANITARY WASTELLINES DOWN TOWARDS DRAIN MINIMUM SLOPE FOLIALS 1/4\* PER LINEAR FOOT FOR PIPING 2-1/2" DIAMETER AND SMALLER; 1/8" PER LINEAR FOOT FOR ALL PIPING 3" DIAMETER AND LARGER, SLOPE ALL SANITARY VENT LINES TOWARD TRAP SERVED AT MINIMUM 1/10" PER LINEAR FOOT.
- ALL REQUIRED SAWCUTTING, EXCAVATING, AND BACKFILLING SHALL BE PERFORMED BY PLUMBING CONTRACTOR FOR INSTALLATION OF NEW PLUMBING PIPING. CONCRETE FLOOR PATCHING SHALL BE PERFORMED BY G.C
- 4. ALL CORE DRILLING THROUGH CONCRETE FLOORS, WALLS, OR ROOF SHALL BE PROCEED BY X-RAYING, THIS WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONDUCTED IN COMPLIANCE WITH BUILDING STANDARD REGULATIONS.
- ALL PIPE INSULATION MATERIALS SHALL CONFORM TO ASTM 84, NFPA 50A AND 255 AND UL 723 NOT TO EXCEED RATING OF 25 FLAME SPREAD AND 50 SMOKE DEVELOPED. ALL INSTALLED INSULATION SHALL MEET
- 8. INSULATION EXPOSED OUTSIDE SHALL BE COVERED WITH AN ALUMINUM JACKET OR OTHER ENGINEER
- MOUNT LAVATORY AT REQUIRED ELEVATION FOR HANDICAP USAGE WHERE REQUIRED. INSULATE ALL EXPOSED PIPING PER CODE REQUIREMENTS. RE: ARCHITECTURAL DRAWINGS.
- WEATHERPROOF ALL PLUMBING ROOF PENETRATIONS PER CODES AND ROOFING MANUFACTURER RECOMMENDATIONS, PLUMBING VENT PENETRATIONS SHALL BE CAST IRON AND ONE SIZE LARGER THAN REQUIRED VENT SIZE.
- ALL MATERIAL AND EQUIPMENT PROVIDED AND INSTALLED UNDER THIS SECTION SHALL BE NEW AND II CLEAN AND BRIGHT CONDITION. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO ENS CLEAN AND BRIGHT CONDITION. THE CONTRACTOR SHALL TAKE ALL MEASURES INCESSARY TO ENSIRE AND MAINTAIN THE QUALITY OF THE INSTALLATION ALL PIPON SHALL BE FLUENDED WITH CLEAN WATER PRIOR TO BEING FLACED INTO SERVICE TO ENSIRE THAT ALL RESIDUAL CUTTING OIL. SLAG. THREAD TAPE, FLUX OR DITT HAS BEEN PURGED. IN ADDITION TO FLUSHING, THE DOMESTIC WATER PIPING SHALL BE STERLIZED TO ELIMINATE ALL CONTAINANTION IN ACCORDANCE WITH IP'C RECOMMENDATIONS.
- 0. PROVIDE FREEZE PROTECTION FOR PIPING WITHIN UNHEATED SPACES.
- 21. ALL PIPING, EQUIPMENT, ETC. SHALL BE IDENTIFIED.
- 22. ALL SAFETY RELIEF VALVES SHALL BE VENTED TO ATMOSPHERE OR PIPED TO FLOOR, NEAREST FLOOR SINK, OR OTHER APPROVED RECEPTOR REDUCED PRESSURE BACKFLOW PREVENTORS SHALL BE PROVIDED WITH ATTACHED FUNNEL PIPED TO THE NEAREST FLOOR SINK, RECEPTOR, OR OUTSIDE.
- PRESSURE REDUCING VALVES SHALL BE INSTALLED ON ALL WATER SERVICES WHERE THE WATER PRESSURE EXCEEDS 80 PSI.
- 24. BACKFLOW PREVENTORS SHALL BE INSTALLED AND CERTIFIED BY PLUMBING CONTRACTOR PER THE LOCAL WATER UTILITY COMPANY REQUIREMENTS.
- 25. ALL PIPING TO BE HUNG ON ADJUSTABLE SPLIT RING HANGERS OF SIMILAR MATERIAL AS THE PIPE UNLESS OTHERWISE NOTED. PIPING RACKED ON WALLS SHALL BE RACKED ON UNI-STRUIT TYPE SUPPORTS. PIPE HANGER SPACING PER THE PLUMBING CODE REQUIREMENTS.
- PROVIDE ALL CURBS, SUPPORTS, AND ANCHORS FOR MECHANICAL WORK. NO CHAIN, TAPE OR WIRE MAY BE USED FOR HANGING OR SUPPORTING.
- RECEIVE, UNCRATE, ASSEMBLE, ENSURE, AND INSTALL ALL EQUIPMENT FURNISHED BY THIS CONTRACT (AND FURNISHED BY THE OWNER) IN CONFORMANCE TO MANUFACTURER'S STANDARD INSTALLATION INSTRUCTIONS.
- 28. THIS CONTRACTOR SHALL COORDINATE ALL PIPING PRIOR TO INSTALLATION.
- 29. PROVIDE SLEEVES AND COLLARS FOR ALL PIPES THROUGH WALL FLOORS, AND CEILINGS, SEAL ALL EXTERNAL PENETRATIONS OF FIRE RATED WALL, FLOORS, AND CEILINGS WITH APPROVED FIRE STOP MATERIAL IN COMPLIANCE WITH ASTM E814 AND UL 1479.
- A MINIMUM CLEARANCE OF 30 INCHES SHALL BE PROVIDED AROUND ANY EQUIPMENT (I.E., FANS PUMPS, BOILERS, AIR CONDITIONERS, ETC.) FOR SERVICE AND MAINTENANCE.
- 1 TEST ALL DIDING SYSTEMS IN WHICH ANY ALTERATIONS HAVE BEEN MADE FOR COMPLIANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING AND FUELIGAS CODE. DOMESTIC HOT AND COLD WATER PIPING SHALL BE SUBJECT TO 100 PSIG FOR A MINIMUM OF 24 HOURS, DOMESTIC WASTE AND VENT PIPING SHALL BE TESTED AT 10' STATIC HEAD FOR A PERIOD GREATER THAN 15 MINUTES. IF THE REQUIRED PRESSURE DROPS BY MORE THAN 5% DURING ITS TEST DURATION, INVESTIGATE T SOURCE OF THE LEAK, REPAIR THE LEAK, AND RETEST THE SYSTEM FOR THE REQUIRED TEST PERIOD. INSPECT ALL W & V JOINTS WHILE UNDER PRESSURE AND REPAIR ALL LEAKS.

#### **HVAC GENERAL NOTES**

- THE NEW MECHANICAL SYSTEMS SHALL BE BY THE MECHANICAL CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO:
- THE AIR DISTRIBUTION SYSTEMS WITH: AIR HANDLING EQUIPMENT, DUCTWORK, FLEXIBLE DUCT, DIFFUSERS, GRILLES, DAMPERS, CONTROL SYSTEMS, ETC.
- CONTRACTOR SHALL SECURE THE SERVICES OF AN INDEPENDENT TEST, ADJUST, AND BALANCE CONTRACTOR WHO IS A MEMBER OF THE NEBE OR EQUIVALENT, FOLLOWING ALL TAB WORK, SUBMIT TEST RESULTS IN A BOUND MANUAL, STAMPED AND SIGNED BY A CERTIFIED BAJALANCIS SUPERVISOR OR REGISTERED PE ON STAFF WITH TAB CONTRACTOR. REQUIRED FINAL AIR AND HYDRONIC BALANCES TOLERANCE SHALL BE +10% TO -5% OF QUANTITIES SHOWN ON THESE PLANS.
- PROJECT DESIGN CONDITIONS ARE:
- 3.1 LOCATION: BOLLINER COLORADO BOLLINER COLINTY
- SITE ELEVATION: 5413 FEET.
- HVAC DESIGN CONDITIONS PER PER CHVAC LOAD PROGRAM WHICH MEETS OR EXCEEDS ASHRAE 99% HEATING, 1% COOLING ARE: LOCATION USED FOR CONDITIONS: BOULDER, COLORADO.
- HEATING OUTDOOR DB: 0 DEGREES FAHRENHEIT.
  COOLING OUTDOOR DB:MCWB: 91/59 DEGREES FAHRENHEIT.
  INDOOR DESIGN TEMPERATURES:
- HEATING: 68 DEGREES FAI COOLING: 75 DEGREES FAHRENHEIT
- IDENTIFY ALL HVAC AND REFRIGERATION EQUIPMENT AS TO THE AREA SERVED BY THE EQUIPMENT. IDENTIFICATION SHALL BE ENGRAVED PLASTIC TAGS PERMANENTLY AFFIXED TO EACH PIECE OF EQUIPMENT.
- PROVIDE UL RATED FIRE OR FIRE/SMOKE DAMPERS WHERE INDICATED ON PLANS OR SCHEDULES. INSTALL PER BUILDING DEPARTMENT, UL, AND SMACNA REQUIREMENTS. INCLUDE LABELED ACCESS FOR DUCT AND CEILING/WALL STRUCTURES. ACCESS DOORS TO BE UL RATED IN ALL FIRE RATED ARCHITECTURAL ASSEMBLIES.
- PROVIDE ALL CURBS, SUPPORTS, AND ANCHORS FOR MECHANICAL WORK. NO CHAIN, TAPE OR WIRE MAY BE USED FOR HANGING OR SUPPORTING.
- RECEIVE, UNCRATE, ASSEMBLE, AND INSTALL ALL EQUIPMENT FURNISHED BY THIS CONTRACT AND FURNISHED BY THE OWNER IN CONFORMANCE TO MANUFACTURER'S RECOMMENDATIONS. DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. OVERALL OUTSIDE DUCT DIMENSIONS SHALL BE ADJUSTED TO ALLOW FOR LINER THICKNESS.
- I U ALLUW FOR LINERS I TIMEARDS.

  ALL SHEET MERT, DO BE MIDGE AND INSTALLED TO SMACHA STANDARDS (AND IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE) WITH 45 DEGREE MAXIMAM REDUCING, 30 DEGREE MAXIMAM DEPANDING TRANSITIONS. ALL EMPOSED RECENDALICAL TO DE PRIVAT LOCK GALVANIZED. SINCE BLADE TURNING VINES AND 15 CENTERLINE RADIUS FOR ALL ELBOWS AND TEES HIVE SUPPLY AND RETURN RECTANGULAR DUCTS TO HAVE: "THICK; LIGHZ DE POINT ACCORDIST DUCT LINER MINMAIN RE CLASS." I, V. 1-81.
- OUTSIDE AIR DUCTS TO HAVE R-8 1-1/2" THICK AND 1-1/2 LBCP DENSITY UL 181 CLASS ONE FIBERGLASS DUCT WARP. DUCT LINER SHALL BE ATTACHED WITH STD. CLIPS 19°C EACH WAY AND 100'S. COVERAGE OF FLAME PROOF ADDRESS. MERCEAS DUCT OF LAUN FOR FLINER SEA ALL DUCT TRAINFIN WITH TWO CONTA'S OF DUCT SEALANT. DUCT SEALANT DUCT SEALANT DUCT SEALANT SEALA DUCT WARP. PROVIDE ALUMINAM JACKET OVER DUCT WORK PROVIDE ALUMINAM JACKET OVER DUCT HOUSEINTO OUTSIDE BUILTON OUTSIDE BUI
- CAULK ALL DUCT JOINTS AND SEAMS AIR AND WATER TIGHT WITH PERMANENT COMMERCIAL CAULK PER MANUFACTURER'S RECOMMENDATIONS
- CONCEALED ROUND SUPPLY DUCTS SHALL BE LOW-PRESSURE CONSTRUCTION, SEALED AIRTIGHT AND EXTERNALLY INSULATED WITH 1-1/2; 3/4 LBI/CF DENSITY BLANKET INSULATION WITH FOIL SCRIM KRAFT FACING. FOIL TAPE ALL JOINTS, INMINIAM RS FIBERGLASS.
- EXPOSED ROUND DUCTS SHALL BE PAINT LOCK SPIRAL ONE GAGE HEAVIER THAN SMACNA STANDARD. HARD PIPE TO DIFFUSERS (NO FLEX) AND SEAL WITH CLEAR, PAINTABLE, SILICONE CAULK.
- ALL FLEXIBLE DUCTWORK SHOWN SHALL BE INSULATED, CLASS I, UL 181, SEMI-RIGID FLEXIBLE DUCT. R4.2 FLEXIMASTER 5M OR THERMOPILEX XMK, AND SHALL CONFORM TO LOCAL CODES. NO FLEX DUCT IN EXPOSED
- ALL FLEXIBLE DUCT TAKEOFFS SHALL BE CONICAL BELL MOUTH SPIN-IN FITTINGS WITH MANUAL VOLUME DAMPER WHERE POSSIBLE. MAKE CONNECTION WITH DRAW BANDS AT EACH END OF FLEX.
- ALL FLEXIBLE DUCT TO BE SAME SIZE AS DIFFUSER CONNECTION.
- LIMIT FLEXIBLE DUCTWORK TO 5-FT MAXIMUM LENGTH. THIS CONTRACTOR SHALL COORDINATE ALL DUCTWORK PRIOR TO INSTALLATION
- WEATHERPROOF ALL MECHANICAL ROOF PENETRATIONS PER CODES AND ARCHITECTURAL RECOMMENDATIONS
- PROVIDE SLEEVES AND COLLARS FOR ALL DUCTWORK AND PIPES THROUGH WALL, FLOORS, AND CEILINGS.
  SEAL ALL EXTERNAL PENETRATIONS OF FIRE RATED WALL, FLOORS, AND CEILINGS WITH APPROVED FIRE STOP
  MATERIAL IN COMPLIANCE WITH ASTM E 41 AND UL 1479.
- CONFIRM VOLTAGE, PHASE, AND AMPACITY WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT. ALL CONTROL AND INTERLOCK WIREALTH WITH ELECTRICAL CONTROL AND FRIOR TO GROERING EQUIPMENT.

  ALL CONTROL AND INTERLOCK WIREA FOR MECHANICAL CONTROL AND RECHANCIAL CONTROL AND
  THREE-PHASE MOTORS TO HAVE MAGNETIC STARTERS WITH PROTECTION ON ALL THREE LEADS. CONTROL AND
  HEATING/COOLING EQUIPMENT TO AUTOMATICALLY RESTART AFTER POWER FAILURE. ALL WITH IN CONDUIT AS
  REQUIRED BY COOLE.
- A MINIMUM CLEARANCE OF 30 INCHES SHALL BE PROVIDED AROUND ALL EQUIPMENT (I.E., FANS, PUMPS, BOILERS, AIR CONDITIONERS, ETC.) FOR SERVICE AND MAINTENANCE AND AS REQUIRED BY MANUFACTURERS INSTALLATION INSTRUCTIONS.
- ROOF MOUNTED EQUIPMENT LOCATED WITHIN 10 FEET OF THE EDGE OF THE ROOF SHALL BE PROVIDED WITH SAFETY RAILINGS AS REQUIRED PER CODES OR AS DETAILED ON THE DRAWINGS.
- REFRIGERANT PIPING SHALL BE TYPE "ARC" SOFT OR HARD DRAWN COPPER WITH WROUGHT COPPER BRAZED FITTINGS.
- INSULATE ALL EXPOSED NEW PIPING, VALVES AND FITTINGS FOR REFRIGERANT SUCTION LINE SERVICE:

  1/2" THICK ELASTOMERIC PIPE INSULATION INSTALLED IN COMPLIANCE WITH MANUFACTURERS STANDARD INSTALLATION INSTRUCTION.
- ALL PIPE INSULATION MATERIALS SHALL CONFORM TO ASTM 84, NFPA 50A AND 255 AND UL 723 NOT TO EXCEED RATING OF 25 FLAME SPREAD AND 50 SMOKE DEVELOPED, ALL INSTALLED INSULATION SHALL MEET OR EXCEED ASTRACE STANDARDS 90.1.
- ALL DUCT INSULATION EXPOSED OUTSIDE SHALL BE WEATHER PROTECTED AND UV RESISTANT WITH ALUMINUM SEE TEMPERATURE CONTROLS THIS SHEET FOR TEMPERATURE CONTROLS REQUIREMENTS.
- 29. CEILING CAVITY IS A RETURN AIR PLENUM IN PART OF THE SPACE.
- INSTALL ALL NEW MECHANICAL EQUIPMENT IN COMPLETE COMPLIANCE WITH MANUFACTURER'S STANDARD INSTALLATION INSTRUCTIONS, ARRANGE ALL EQUIPMENT TO PERMIT EASY REMOVAL OF COILS, MOTORS, FILTERS, AND ALL OTHER PARTS WHICH MIGHT REQUIRE PERIODIC REPLACEMENT OR MAINTENANCE.

#### TEMPERATURE CONTROLS

- THE HVAC SYSTEM CONTROLS ARE TO BE FULLY AUTOMATIC UNLESS OTHERWISE LISTED BELOW
- CONTROLS SHALL HAVE INTEGRAL FAULT DETECTION AND DIAGNOSTIC CAPABILITIES.
- ALL CONTROL SYSTEMS SHALL BE DESIGNED AND PROVIDED BY A CONTROL COMPONENT CAPABILITIES.

  ALL CONTROL SYSTEMS SHALL BE DESIGNED AND PROVIDED BY A CONTROL MANUFACTURER WHO HAS BEEN IN THE BUSINESS OF HAMUFACTURING, DESIGNING, AND INSTALLING CONTROL COMPONENTS FOR A MINIMUM OF TEN (10) YEARS
- COORDINATE WITH ELECTRICAL CONTRACTOR FOR INTERFACE WITH LINE VOLTAGE WIRING, CONNECTIONS, RELAYS, ETC.
- MAKE-UP AIR UNIT:
- MAKE-UP AIR PROVIDES VENTILATION AIR FOR BASEMENT AND SHALL BE IN CONSTANT OPERATION DURING OCCUPIED HOURS
- INTERLOCK TEMPERATURE DISCHARGE TEMPERATURES TO EXISTING THERMOSTAT TO MAINTAIN HEATING AND COOLING ROOM SETPOINTS.
- PROVIDE FREEZE STAT FOR UNIT. WHEN TEMPERATURE FALLS BELOW 40 DEGREES F (ADJ.) OUTSIDE AIR DAMPER TO CLOSE AND UNIT WILL SHUT OFF. SEND ALARM TO VISIBLE TO BUILDING OCCUPANT (LOCATION DETERMINED BY STAFF).



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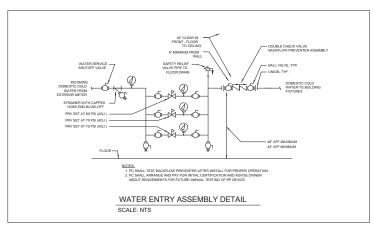
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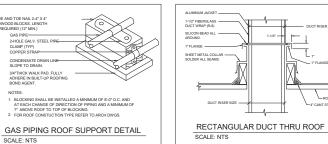
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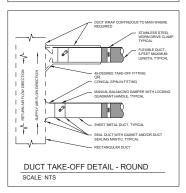
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> 8 BOULDER, ( 1333 IRIS REMODEL BOULDER COUNTY 1333 IRIS AVENUE, B NOTES MECHANICAL PROJECT

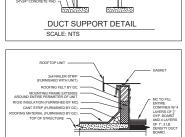
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GAS PIPE-



IND	INDIRECT-FIRED MAKE-UP AIR UNIT SCHEDULE																			
				FAN DATA				UNIT ELECTRICAL DATA			HEATING			COOLING						
TAG	MANUFACTURER	MODEL	SERVICE	AIR FLOW (CFM)	E.S.P. (IN W.C.)	HORSE POWER	OPER. ELEV. (FEET)	VOLTAGE/ PHASES	MIN. CIRCUIT AMPS	MAX. OCP		INPUT (MBH) (SL)	% EFF.	OUTPUT (MBH) (ALT)	REF.	NOMINAL TONS	EER	IEER	OUPUT (MBH) (ALT)	UNIT WEIGHT (LBS.)
MAU-1	CARRIER	62XE03	BASEMENT	650	0.5	1/3	5,413	208/3	21.2	30	N. GAS	75	80	50.4	R410A	3	12.0	13.1	32	1,800
NOTES:																				

OTES.
A PROVIDE 14" HIGH ROOF CURB.
B. SIDE DISCHARGE SUPPLY AIR.
C. 5-1 TURNDOWN MODULATING GAS HEAT CONTROL.
D. UNIT DISCONNECT SWITCH.
E. HALL GUARDS.
F. 2" MERV 8 FILITER.
C. CONTINUOUS OPERATION DURING OCCUPIED HOURS.

EQUALS BY: TRANE, LENNOX, AAON, YORK, DAIKIN.

SI	NGLE	DUCT V	/AV B	OX SC	HEDL	JLE						
							ELECTR	RICAL	D	IMENSION	s	
TAG	MANUF.	MODEL	SERVICE	INLET DIAMETER (INCHES)	NOMINAL CFM	INLET S.P. (IN W.C.)	VOLTS	VA	LENGTH (IN.)	HEIGHT (IN.)	DIAM. (IN.)	NOTES
ZD-1 CARRIER OPNDR06ZC B126 6 185 1.0 24 14 18 9 6 A-D												A-D
NOTE	S:	-										

LAVATORY, WALL HUNG, ACCESSIBLE BRAND = KOHLER MODEL K-2032 GREENWICH.

BRAD - KOHLER MODEL KÖÖZ GEENWICH SPECIFICATION SEMESTRAMING, THERE HALE WITH FOREIGN SOME, SEEF RIMMING, THERE HALE WITH OVERFOOD.

THERE HALE WITH OVERFOOD.

CENTIFEES, DORNOR FRINKS 16, SEMESTAN COULTET. SUPPLIES - LODGE KEY 14 TUTNEN ANGLE STOP VALVES WITH OFFICE AND EASES OF READED STAMLESS STEEL THE OFFICE AND EASES OF READED STAMLESS STEEL TEMPEROR VALVE 16 WATST SOUGH LISSES. SET AT 190 DEGREES 17, GUISTISTING PARTIES FROM THE WASTE 1-12" I TO AL CHROME PLATED FROMEIN FRAP WITH CLEM OUT MO OPTSET GIBB STRANGENT. AD APPROVED HITM FRANCE PARTIES.

SBK, COUNTERTO, ACCESSIBLE
BRAND = ELVAY MODEL LPAD222155.

BRAND = ELVAY MODEL LPAD222155.

SPECIPICATIONS = SINCLE BOWL, STANLESS STEEL,
25'21-14'-5-12', 4-Hote PJNCH, DROPH,
ADJGET = DELTA MODEL 4004-Hot, SBMGE HANDLE, 8"
CENTERS, CHROME FINNSI, 8" LONG SWINGS SPOUT, WITH
SPRAY HOSE, 15 GPM AREATOR.

SPANT PUSE, I.3 GPM ALEAULY.

ISPOSER - INSINKERATOR MODEL EVOLUTION ESSENTIAL, 3/4
HP, 120 VOLT, WITH STAINLESS STEEL GRID CHAMBER AND
COMPONENTS.

SUPPLIES - LOOSE KEY 1/4-TURN ANGLE STOP VALVES WITH
CHROME PLATED BRASS OR BRAIDED STAINLESS STEEL
SUPPLIES. WASTE = 1-1/2\* 17 GA. C.P. P-TRAP WITH CLEAN OUT. OTHER = ADA APPROVED WITH "TRUEBRO LAV GUARD" INSULATION KIT ON EXPOSED PIPING. NOTES: 1. PROVIDE SUITABLE REINFORCEMENTS FOR WALL HANGERS & SUPPORTS.

ALL LAVATORIES MUST HAVE ASSE 1070 TEMPERING VALVES AND ADA COMPLIANT TRAPS AND "TRUEBRO LAV GUARD" INSULATION KITS FOR ALL EXPOSED WASTE AND SUPPLY PIPES PER ADA REQUIREMENTS.

JOSAM SMITH SUN WADE ZURN JOSAM, SMITH, SUN, WADE, ZURN.
AMERICAN STANDARD, KOHLER, TOTO.
BK RESOURCES, DAYTON, ELKAY, JUST.
CHICAGO, DELTA, MOEN, PIONEER, SYMMONS.
BEMIS, CHURCH, OLSONITE.

CHICAGO, WOODFORD. BRASSCRAFT, CS&B, DEARBORN.

L-1

PROVIDE SUITABLE REIN
APPROVED EQUALS:
2.1. DRAINS:
2.2. CHINA:
2.3. STAINLESS SINKS:
2.4. FAUCETS:
2.5. SEATS:

2.6. HYDRANTS: 2.7. BRASS:

TES:
A. INTEGRAL SUPPLY AIR TEMPERATURE SENSOR.
B. CONNECT TO EXISTING CARRIER GENERATION II V.C.
MC TO PROVIDE 12024 VAC TRANSFORMER AND INS
D. MAINTAIN MINIMUM 3X DUCT DIAMETER OF STRAIGH

QUALS BY: APPROVED BY ENGINEER.

Œ	INLET DIAMETER (INCHES)	NOMINAL CFM	INLET S.P. (IN W.C.)	VOLTS	VA	LENGTH (IN.)	HEIGHT (IN.)	DIAM. (IN.)	NOTES		DIAMETER (INCHES)	SUPPLY AIR FLOW (CFM)	RETURN AIR FLOW (CFM)	EQUIVALENT RECTANGULAR SIZES (INCHxINCH)	NOTES
											4	32	25	4x3, 6x2	1, 2, 3
П	6	185	1.0	24	14	18	9	6	A-D	1	5	59	46	5x4, 6x3	1, 2, 3
- 05	SENSOR										6	95	73	6x5, 8x3.5, 10x3	1, 2, 3
IERA	TION II VVI	CONTROLS									7	140	108	6x6, 7x5, 8x4.5, 10x4	1, 2, 3
		TALL 24VAC V					NG.				8	200	156	7x7, 8x6, 10x5, 13x4	1, 2, 3
		I DOOT AT III	LI MIL OU		LOITE	Drum Lit.					10	360	280	9x8, 10x7.5, 13x6, 16x5	1, 2, 3
										J	12	580	460	11x10, 12x9, 14x8, 16x7, 20x6	1, 2, 3
											14	880	680	12x12, 15x10, 18x8, 24x6	1, 2, 3
_											16	1350	960	14x14, 17x12, 20x10, 26x8	1, 2, 3
	PLUN	/BING	FIXTL	JRE:	SC	HEDI	JLE				18	1700	1340	16x16, 18x14, 21x12, 26x10	1, 2, 3
Η.	TAG	DESCRIPT	ION		_						20	2300	1750	18x17, 19x16, 23x14, 32x10	1, 2, 3
-	BP-1 D	OUBLE CHEC	K VALVE BA	CKFLOW	PREVE	NTOR					22	2900	2260	19x19, 20x18, 24x16, 40x10	1, 2, 3
		BRAND = 3" V									24	3300	2810	21x21, 25x18, 30x15	1, 2, 3
SPECIFICATIONS = LEAD-FREE, PROVIDE STRAINER AND OUTLET  PRESSURE GAUGE.  PRV-1 DMESTIC WATER PRESSURE REDUCING VALVE  BRAND = WATTS MODEL LPAZZE.  SPECIFICATIONS = LEAD-FREE PROVIDE STRAINER AND OUTLET											RA SIZES     SIZE IS B.	BASED ON 0.05	WC PER 100' F	RESSURE DROP. PRESSURE DROP. DIMENSION. ADD INSULATION THICKNE	SS FOR SHEET
PRESSURE GAUGE.															

DUCT SIZING SCHEDULE

ROUND DUCT MAXIMUM MAXIMUM

TAG	FIXTURE	WASTE (INCHES)	VENT (INCHES)	COLD WATER (INCHES)	HOT WATER (INCHES)
L-1	LAVATORY	1-1/2	1-1/4	1/2	1/2
S-1	SINK	1-1/2	1-1/4	1/2	1/2

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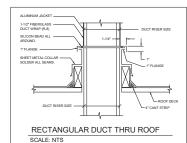
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NOTICE: DUTY OF COOPE

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		00 80304	DETAILS
ME: 1333 IRIS REMODEL	BOULDER COUNTY	1333 IRIS AVENUE, BOULDER, CO 80304	HANICAL SCHEDULES & DETAILS

DRAWN BY: EJ CHECKED BY: DO MP0.3



WHAP A SEA ALL EXTENSION DUCTYWEN WATER TOWN  WILLD ALL AROUND  TYPIC DIESET METAL  AND COMPRETE FROM  TYPIC DIESET METAL  AND COMPRETE FROM  TYPIC DIESET METAL  TYPIC DIESET METAL  TYPIC DIESET METAL  TYPIC DIESET METAL
DUCT SUPPORT DETAIL  SCALE: NTS

	_
ROOFTOP UNIT GASKET	
2x4 NALER STRIP (FURNISHED WITH UNIT)	
ROOFING FELT BY GC	
AROUND ENTIRE PERIMETER OF UNIT	
RIGID INSULATION (FURNISHED BY MC) ENTIRE	_
CANT STRIP (FURNISHED BY GC) CONFINE	
ROOFING MATERIAL (FURNISHED BY GC)	
TOP OF STRUCTURE AND 4 LA	YERS
√SUDGORDETGATONO  OF 1',3 L  OF 1',3 L	
DENSITY BOARD.	DUCT
ROOF CURB DETAL	
SCALE: NTS	

		AE 62.1 6.2.5 for multi-	,						
Room Name	Room Area	Room Type	Number of People	CFM/Person	CFM/sqft	Total Required OA CFM	Total Provided OA CFM	Zone Primary Airflow, Vpz (Max CFM)	Primary Outdoor Air Fraction, Zpz
				(E)VAV					
Drop In Area B130	365	Office spaces	2	5	0.06	40		250	
Break Room B137	105	Office spaces	1	5	0.06	15		100	
Phone Rm B138	40	Office spaces	1	5	0.06	10		50	
Stor. B139	60	Storage	0	0	0	0		20	
Open Office B111	500	Office spaces	3	5	0.06	57		380	
					Total	122	130	800	0.15
				(E)VAV					
Office B119	115	Office spaces	1	5	0.06	15		150	
Office B118	95	Office spaces	1	5	0.06	14		160	
Office B115	115	Office spaces	1	5	0.06	15		170	
Office B114	115	Office spaces	1	5	0.06	15		170	
Office B111	115	Office spaces	1	5	0.06	15		170	
Hallway B116	215	Corridors	0	0	0.06	17		165	
Ex. Hall B110	185	Corridors	0	0	0.06	14		115	
					Total	105	115	1,100	0.10
				(E)VAV-					
Open Office B111	650	Office spaces	4	5	0	25		480	
					Total	25	30	480	0.05
				(E)VAV-					
Conference Room B101	345	Conference/meeting	18	5	0	113		480	
				(E)VAV-	Total 3C	113	130	480	0.24
Col. Rm. B106	75	Conference/meeting	4	5	0.06	31		100	
Office B103	215	Office spaces	2	5	0	13		250	
					Total	44	50	350	0.13
				(E)VAV-	3D				•
Conference Room B104	300	Conference/meeting	15	5	0	94		530	
					Total	94	105	530	0.18
				(E)VAV-	3E				•
Office B132	105	Office spaces	4	5	0	25		150	
Office B133	100	Office spaces	1	5	0.06	14		150	
Office B134	100	Office spaces	4	5	0	25		150	
Office B135	100	Office spaces	1	5	0.06	14		150	
					Total	78	90	600	0.13
				(E)Zone	6				
Print Area B117	125	Office spaces	1	5	0.06	16		90	
Focus Room B113	95	Office spaces	1	5	0.06	14		75	
Ex. Hall B100	215	Corridors	0	0	0.06	17		100	
Ex. Hall B107	305	Corridors	0	0	0.06	23		150	
Conference Room B112	225	Conference/meeting	12	5	0.06	92		310	
					Total	162	170	725	0.22
				ZD-1					
Office B126	85	Office spaces	1	5	0	7		185	
					Total	7	15	185	0.04
					TOTAL	750	835	5,250	
								Max Zpz	0.24
							System	Vent Efficiency, Ev	0.9
							Uncorrected Outdo	or Air intake. Vou	750

/entilation Calculations - Basement							
Room Name	Room Area	Room Type	Number of People	CFM/Person	CFM/sqft	Total Required OA CFM	Total Provided OA CFM
Offices	1875	Office spaces	10	5	0.06	163	250
Training Rooms	337	Computer lab	9	10	0.12	131	200
Corridors	1045	Corridors	0	0	0.06	63	100
Mechanical Rooms	484	Storage rooms	0	0	0.12	59	100
Basement Exhaust	80	Restrooms, Mech Rms	0	0	0	0	(500)
					Total	416	SEO.

lation Calculations Comply with: AS	I INAL UZ.I	ı					m
Room Name	Room Area	Room Type	Number of People	CFM/Person	CFM/sqft	Total Required OA CFM	Total Provid OA CFM
Entry Lobby	530	Main entry lobbies	6	5	0.06	62	620
Norton Conference Room 45	895	Conference rooms	45	5	0.06	279	280
Storage 100A	25	Storage rooms	0	0	0.12	3	10
Storage 100B	40	Storage rooms	0	0	0.12	5	10
Ex Storage 153	250	Storage rooms	0	0	0.12	30	40
Ex Storage 153A	45	Storage rooms	0	0	0.12	6	10
x Small Collaboration Room 46	180	Conference/meeting	9	5	0.06	56	60
Ex Storage 76	220	Storage rooms	0	0	0.12	27	35
Ex Storage 76A	140	Storage rooms	0	0	0.12	17	25
Ex Phone Room	35	Telephone/data entry	1	5	0.06	8	15
Elec.	135	Storage rooms	0	0	0.12	17	25
Storage 90	90	Storage rooms	0	5	0.12	8	15 35
Office 89 Office 88	160	Office spaces	1	5	0.06	11 15	50
		Office spaces		_			
Office 87	105	Office spaces	1	5	0.06	12	35
Office 85 Office 83	125	Office spaces Office spaces	1	5	0.06	13 12	25 25
Office 79	95	Office spaces	1	5	0.06	11	25
Office 72	95	Office spaces	1	5	0.06	11	25
Office 71	115		1	5	0.06	12	25
Office 92	75	Office spaces Office spaces	1	5	0.06	10	20
Ex IT/LAN 93	110	Storage rooms	0	0	0.06	14	20
Workforce Storage 94	225	Storage rooms	0	0	0.12	27	40
Storage 94A	25	Storage rooms	0	0	0.12	3	10
Face to Face 85	130	Office spaces	1	5	0.06	13	25
Computer Lab 84	555	Computer lab	14	10	0.12	207	245
Storage 84A	30	Storage rooms	0	0	0.12	4	5
Classroom B 82	650	Classrooms (age 9 plus)	23	10	0.12	308	310
Classroom A 74	625	Classrooms (age 9 plus)	22	10	0.12	295	310
Ex Hallway 86	335	Corridors	0	0	0.06	21	30
Hallway 78	275	Corridors	0	0	0.06	17	25
Face to Face 47	120	Office spaces	1	5	0.06	13	55
Face to Face 48	130	Office spaces	1	5	0.06	13	40
Office 49	110	Office spaces	1	5	0.06	12	40
Office 50	115	Office spaces	1	5	0.06	12	40
Office 51	140	Office spaces	1	5	0.06	14	60
Ex Printer 70	70	Office spaces	1	5	0.06	10	20
Office 67	110	Office spaces	1	5	0.06	12	25
Office 61	185	Office spaces	1	5	0.06	17	90
Office 62	90	Office spaces	1	5	0.06	11	30
Drop Ins 65A	135	Office spaces	1	5	0.06	14	30
Reception 66	240	Reception areas	8	5	0.06	55	55
Break Room 52	360	Office spaces	18	5	0.06	112	180
Lact. Rm. 53	90	Office spaces	1	5	0.06	11	20
Ex Jan 113	30	Storage rooms	0	0	0.12	4	10
Office 56	85	Office spaces	1	5	0.06	11	70
Face to Face 64	85	Office spaces	1	5	0.06	11	25
Office 63	75	Office spaces	1	5	0.06	10	25
Office 57	140	Office spaces	1	5	0.06	14	65
Office 58	170	Office spaces	1	5	0.06	16	80
Office 59	110	Office spaces	1	5	0.06	12	45
Office 60	100	Office spaces	1	5	0.06	11	45
Hallway 65	365	Corridors	0	0	0.06	22	100
Hallway 77	165	Corridors	0	0	0.06	10	65
Waiting 73	600	Booking/waiting	30	7.5	0.06	261	400
Corridors	975	Corridors	0	0	0.06	59	65



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REVISIONS

DATE DESCRIPTION
12.12.2019 PERMIT SET

MECHANICAL VENTILATION CALCULTIONS BOULDER COUNTY
1333 IRIS AVENUE, BOULDER, CO 80304

DRAWN BY: EJ CHECKED BY: DO PROJECT NO: 19019





#### **GENERAL NOTES:**

- OWNER TO COORDINATE ALL ELECTRICAL WORK AND ADDITIONAL ELECTRICAL LOADS ASSOCIATED WITH MECHANICAL WORK WITH ELECTRICAL ENGINEER OWNERVELECTRICAL ENGINEER TO CONFIRM ELECTRICAL CAPACITY IS AVAILABLE.
- ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AND DIFFUSERS TO REMAIN IN PLACE UNLESS NOTED OTHERWISE ON PLANS.
- REBALANCE ALL EXISTING CELLING SUPPLY DEFISISRS TO AIR QUANTITIES SHOWN ON PLANS. REPLACE DUCT BRANCHES AS REQUIRED TO MEET NEW ARFLOWS. REFER TO DUCT SIZING TABLE ON SHEET MIG.2. FIELD VERIFY BY M.C.
- M.C. TO INSPECT AND REPAIR DUCTWORK AS NECESSARY TO ENSURE OPERATIONAL INTEGRITY OF EXISTING SYSTEM. MC SHALL SEAL ALL DUCTWORK, NEW AND EXISTING, INCLUDING REPLACEMENT OF DUCT'S COMING DOWN FROM (E)JAHL/3 ON ROOF, REFER TO WORK NOTE 3 ON THIS SHEET BELOW.

#### WORK NOTES:

(#)

- RELOCATE EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILLE TO NEW LOCATION SHOWN ON PLAN. DIFFUSERS / GRILLES NOT SHOWING AS MOVED ON PLANS ARE ROUGHLY IN SAME LOCATION, BUT WILL BE REINSTALLED AFTER NEW CEILING GRID IS IN PLACE.
- DEMO UNUSED EXISTING CEILING RETURN GRILL IN DEMOLISHED ROOM. MECHANICAL CONTRACTOR TO REPLACE DUCTS COMING DOWN FROM (E)
  AHU-3 AND PROVIDE NEW ACCESSIBLE BALANCING DAMPERS.
- ROUTE NEW 15x15 SA DUCT DOWN FROM ROOF AND CONNECT WITH (E)15x15 SA DUCT DOWN TO BASEMENT AS SHOWN ON PLANS.
- (E)15x15 SA DUCT DOWN TO BASEMENT AND ROUTED TO INTAKE OF (E) AHU-4 IN BASEMENT MECHANICAL ROOM.
- DEMO (E) SA DUCTWORK FROM BOTTOM OF ROOF PENETRATION NEXT TO (E)\_MH\_3 TO POINT OF CONNECTION. CAP AND SEAL DUCT JUST BELOW ROOF PENETRATION. DEMO (E) INLINE FAN IN STORAGE 90 AND ASSOCIATED DUCTWORK. COORDINATE SEALING OF FLOOR PENETRATION BETWEEN BASEMENT AND FIRST FLOOR WITH OWNER PRIOR TO BID.



G 323 THIRD AVE, #100, LONGMONT, CO 80501 TEL: (303) 678.1108 • FAX: (303) 678.1142 • PCDENGINEERING.COM DCG ENGINEERIN

NOTICE: DUTY OF COOR

# REVISIONS DATE DESCRIPTION PERMIT SET

BOULDER, CO 80304 MECHANICAL SOUTH PLAN 1333 IRIS REMODEL BOULDER COUNTY 1333 IRIS AVENUE, BI

DRAWN BY: EJ CHECKED BY: DO PROJECT NO: 19019

M1.0

#### (E) 185 CFM (E) 120 CFN (E) 120 CFM Ø 2 E) 150 CFM O,X 6 150 CFM(T) HALLW 16 10 M (E) 165 CFM ΣJ (E) 100 CFM (E) 175 CFM Ĭ ⊠i (E) 175 CFM (C) (E) (20 CFM (E) 200 CFM (E) 180 CFM $\boxtimes$ M (E) 150 CFM X (6) (T) (E) 170 CEM $\overline{\phantom{a}}$ 0 (E) 250 CFM ,X NO **S**1 (E)<sub>170</sub> © 100 CFM ®⊕ घ ⊠ 00 (5) (D (E) 250 (E) 240 CFM (E) 240 CFM NORTH ① MECHANICAL FIRST FLOOR NORTH PLAN 1/8" = 1'-0"

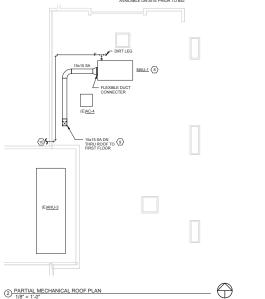
#### GENERAL NOTES:

- OWNER TO COORDINATE ALL ELECTRICAL WORK AND ADDITIONAL ELECTRICAL LOADS ASSOCIATED WITH MECHANICAL WORK WITH ELECTRICAL ENGINEER. OWNERVELECTRICAL ENGINEER TO CONFIRM ELECTRICAL CAPACITY IS AVAILABLE.
- OWNER TO COORDINATE NEW ROOFTOP MAKEUP-AIR UNIT WITH STRUCTURAL ENGINEER.
- ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AND DIFFUSERS TO REMAIN IN PLACE UNLESS NOTED OTHERWISE ON PLANS.
- REBALANCE ALL EXISTING VVT ZONE DAMPERS AND CEILING SUPPLY DIFFUSERS TO AIR QUANTITIES SHOWN ON PLANS. REPLACE DUCT BRANCHES AS REQUIRED TO MEET NEW AIRFLOWS. REFER TO DUCT SIZING TABLE ON SHEET M0.2.
- MC TO INSPECT AND REPAIR DUCTWORK AS NECESSARY TO ENSURE OPERATIONAL INTEGRITY OF EXISTING SYSTEM MC SHALL SEAL ALL DUCTWORK, NEW AND EXISTING, INCLUDING REPLACEMENT OF DUCTS COMING DOWN FROM (E)MALS ON ROOF. REFER TO WORK NOTE 3 ON THIS SHEET BELOW.

#### WORK NOTES:



- RELOCATE EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILLE TO NEW LOCATION SHOWN ON PLAN. DIFFUSERS / GRILLES NOT SHOWING AS MOVED ON PLANS ARE ROUGHLY IN SAME LOCATION, BUT WILL BE REINSTALLED AFTER NEW CEILING GRO IS IN PLACE.
- DEMO UNUSED EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILL IN DEMOLISHED ROOM. DEMO SUPPLY AIR DUCT BACK TO BRANCH TAKEOFF CAP AND SEAL.
- RELOCATE EXISTING RESTROOM EXHAUST FAN AND DUCTWORK AS NEEDED TO ACCOMODATE NEW ROOM LAYOUT.
- DEMOLISH EXISTING RESTROOM EXHAUST FAN, DUCTWORK, AND ROOF CAP. ROOF REPAIR BY G.C.
- RELOCATE EXISTING THERMOSTAT FROM DEMOLISHED WALL TO NEW LOCATION SHOWN ON PLANS, 48" A.F.F.
- 6. EXISTING THERMOSTAT TO REMAIN.
- CONNECT NEW 6'Ø SA TAKE-OFF TO MAIN AND EXTEND TO VVT ZONE DAMPER, ZD-1, AS SHOWN ON PLANS. RELOCATE EXISTING DUCT TAKE-OFFS AS NECESSARY TO ACCOMODATE NEW DUCT CONNECTION TO MAIN.
- MAINTAIN MINIMUM 48" ON ALL SIDE OF UNIT WITH ACCESS DOORS PER MANUFACTURER'S RECOMMENDATIONS. ROOF CURB BY MC.
- DEMO EXISTING GOOSENECK AND DUCTWORK ON ROOF. ROUTE NEW
  15x15 SA DUCT THROUGH EXISTING ROOF PENETRATION. FLASH AND SEAL
  WATERTIGHT. REFER TO DUCT THRU ROOF DETAIL ON SHEET MP0.3.
- ROUTE NEW 34" GAS LINE FROM MALL! TO EXISTING GAS METER LOCATED ON NORTH SIDE OF BUILDING MEPROX. 1407; CONNECT ADEQUATE. VESEEV VALVED TEST BRANCH DOWNSTEAM OF EXISTING GAS METER. PROVIDE NEW VALVED TEST BRANCH AT NEW GAS LINE CONNECTION. LINE SIZED FOR TYPIC AT 0.5 W/C PRESSURE DROF (PCC. TABLE 424.42!). CONTRACTOR TO VERRY PRESSURE AND CAPACITY AVAILABLE ON THE PROBOT DOES.





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ERIN

**pcd** ENGINE

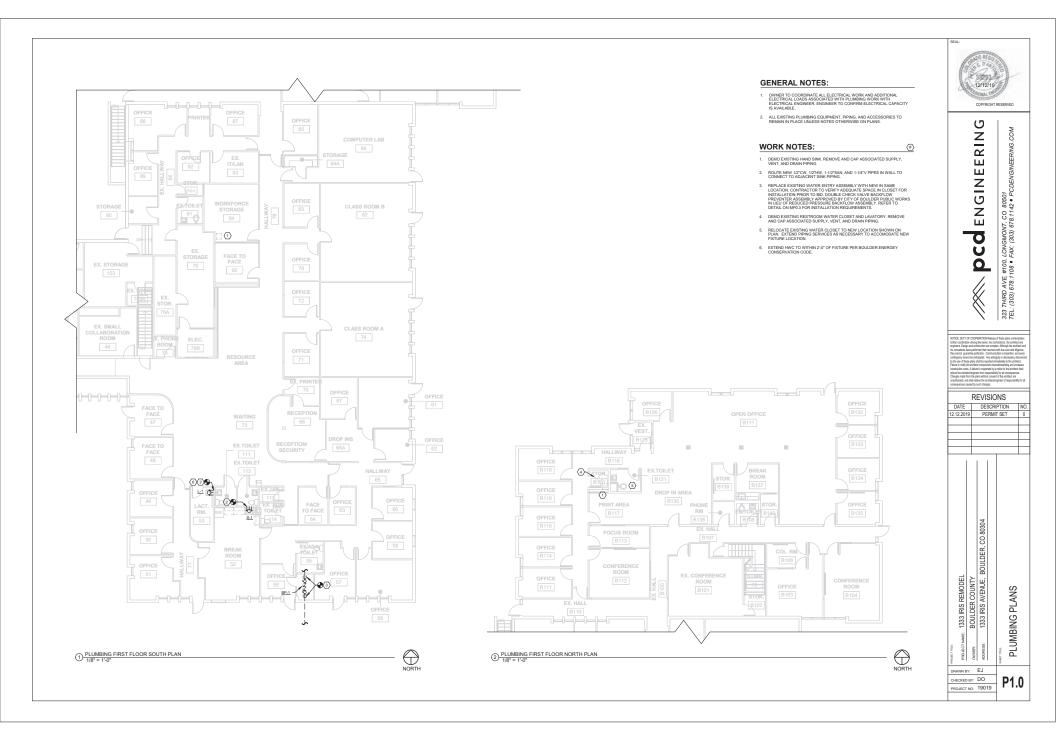
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	REVISIONS	
DATE	DESCRIPTION	NO
12.12.2019	PERMIT SET	0
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MECHANICAL NORTH AND ROOF PLANS BOULDER COUNTY 1333 IRIS AVENUE, BOULDER, CO 80304 1333 IRIS REMODEL

DRAWN BY: EJ CHECKED BY: DO PROJECT NO: 19019

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#### PROJECT GENERAL NOTES

REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INSTALLATION REQUIREMENTS

RELIGIENTATION SHOWN IS DISCRIMENT. CRICAT HOMEOUN CONTINUES OF THE PROCESS OF TH

ELECTRICAL SYSTEM IN COMPLANCE, WITH THE NEC LITEST ESTIMAL WHITE SHALL BE IN COMPLANCE, WITH THE NEC LITEST ESTIMAL WHITE SHALL BE WITH A COMMON END OF 371'S SHALL BE HAVE DRIVEN'S RESTAULD IN A COMMON END OF 371'S SHALL BE WITH COMMON END OF 371'S SHALL BE WITH A COMMON END SHALL BE WITH COMMON END OF 371'S SHALL BE WITH A COMMON COMPLANCE OF 371'S SHALL BE WITH SHALL BE IN A COMMON COMPLANCE OF 371'S SHALL BE WITH SHALL BE WITH SHALL BE SHALL BE

ALL DISTRIBUTION AND BRANCH CIRCUIT FEEDERS SHALL BE PROVIDED WITH AN INSULATED, GREEN GROUND WIRE.

AN HIBLATED, GREEN GROUND WEE.

ROUTE ALL CONCULTRICUTION IN PRIMARIES SPACES CONCEALED IN WALLS,
ABOVE CELLIORS, ON BELOW HOODS. ALL CONCULTORISTICS SHALL BE
CONCULT MOLITIES TO INSINED BLAYERS OF THE STATE OF THE SHAPED SPACES
SHALL BE PARTED TO MATCH THE SHAPED SHAPED OF THE SHAPED SPACES
SHALL BE PARTED TO MATCH THE SHAPED CONCULT MOLITIES TO THE SHAPED SHAPED OF THE SHAPED SHAPED OF THE SHAPED SHAPED TO MATCH THE SHAPED OF THE SHAPED SHAPED TO MATCH SHAPED SHAPE

NET TELEPHORE, DATA, AND TELEDATA COMBINATION OUTLETS BHALL CONSIST OF A 4" SOLVARE BACK BOX, SINGLE GAND PLASTER RING, AND 34" COMOUNT TO ABOVE THE CEILUNG PROVIDE A RUBBER CALLE PROTECTION BUSHING ON THE END OF THE CONDUIT STUBBED OUT ABOVE THE CEILING.

COORDINATE EXACT POWER AND INSTALLATION REQUIREMENTS OF MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR AND THE MANUFACTURERS INSTALLATION LITERATURE.

CONTRACTOR SHALL EXAMINE ALL EXISTING DEVICES THAT ARE INDICATED TO REMAIN OR BE RELOCATED (RECEPTS, SWITCHES, DIMMERS ETC.) AND REPLACE DAMAGED UNITS WITH NEW.

ALL CELING MOUNTED AND SUSPENCED LUMINAIRES SHALL HAVE A MINIMUM OF TWO SUPPORTS CONNECTED DIRECTLY TO STRUCTURAL COMPONENTS OF THE BUILDING.

CONNECT ALL EXIT SIGNS AND EMERGENCY LUMINAIRES TO UNSWITCHED CONDUCTOR OF THE INDICATED CRICUIT.

CONDOCTOR OF THE INDICATED CHICUIT
CONTRACTOR SHALL PROVIDE ADDITIONAL SUPPORTS FOR ALL EXISTING
EQUIPMENT, CONDUIT (RIGID AND FLEX), AS WELL AS CABLE LOCATED ABOVE
THE CEILING. SUPPORT FROM STRUCTURE AS REQUIRED BY NEC.

ALL PANELS WITH CIRCUITS INDICATED TO BE MODIFIED IN THESE DOCUMENTS SHALL BE PROVIDED WITH AN UPDATED, TYPED, PANEL DIRECTORY, INCLUDE CONTRACTOR'S CONTACT: REFORMATION AND CLOSE-DUT DATE OF THE PROJECT.

#### DEMOLITION GENERAL NOTES

Adult Conditions have EERD RETEXANDED FROM RECORD DRAWNOS IF Adult Toxinitions have EERD RETEXANDED FROM RECORD DRAWNOS IF AND DISCUSSIONS WITH MANTENANCE PRESONES, ORDER THEY ARE AND DISCUSSIONS WITH MANTENANCE PRESONES, ORDER THEY ARE RECOMMON. THE CONTRACTOR IS RESPONSIBLE FOR WASSINGTION AS RECOMMON. THE CONTRACTOR IS RESPONSIBLE FOR ORDER OF SHOULD THERE EAR OF ISSICES PROCESS SETWEEN THE EXTRACTOR ORDER AND THE CESON RETEXT THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMMISSION CARREST CONTRACTOR SHALL BE RESPONSIBLE FOR COMMISSION CARREST CONTRACTOR SHALL BE

COORDINATE ALL DEMOLITION WITH GENERAL DEMOLITION. DISCONNECT ALL ELECTRICAL PRIOR TO DEMOLITION BY OTHER TRADES. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

ADCHIECTURAL PLANS FOR ADDITIONAL REFORMATION.

OCHTRACTORS BALL, COORDINATE WITH THE OWNER OR THEIR AUTHORISES.

OCHTRACTORS BALL, COORDINATE WITH THE OWNER OF THEIR AUTHORISES.

BE RETARNED BY THE OWNER. CONTRACTOR SHALL CASEFULLY RESERVE AND STORE THE
EQUIPMENT AND DEVICES TO BE RETAINED. PRESERVE AND STORE THE
EDITIONS. THE OWNER OWNER. CONTRACTOR SHALL CHE THE OWNER.

OCHTRACTOR AT AN APPROPRIENT OF FORTIE TO CATORISE. OF SY THE
CONTRACTOR AT AN APPROPRIENT OF FORTIE TO CATORISE.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, PRESERVATION, STORAGE, AND PROTECTION OF ALL EQUIPMENT AND DEVICES DESIGNATED TO BE REMOVED AND RE-INSTALLED.

ALL ABANDONED DEVICES, EQUIPMENT, CONDUIT, WRE, CABLE, ETC (WHETHER ABANDONED BY THIS PROJECT OR PREVIOUSLY ABANDONED) SHALL BE REMOVED.

POWERLIGHTING SYSTEMS ALL FEEDERS AND BRANCH CIRCUITS CONDUIT AND CONDUCTORS SHALL BE REMOVED BACK TO THE SOURCE OR NEAREST REMAINING DEVICE AS APPLICABLE.

ON THE PRISON STREET, BY STREET,

EXISTING DEVICES INDICATED TO BE RECONNECTED TO NEW CIRCUITS AND/OR PAYNILLS SHALL USE NEW CIRCUITS MOICATED. THE EXISTING BRANCH CIRCUITS SHALL BE INTERCEPTED HARR THE FREST REMANING DEVICE AND NEW CONDUITAMBE INSTALLED FROM THAT POINT BACK TO THE NEW DESTINATION (FE PAMEL).

ALL ELECTRICAL AND LIFE BAFETY SYSTEMS THAT EXTEND INTO OCCUPIED AREAS SHALL REMAIN OPERATIONAL. CONTRACTOR SHALL CORDINANTE ALL OUTAGES A MINIMUM OF SEVEN DAYS PRIOR TO OUTAGE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE PERSONNEL FOR FIRE AND SECURITY WATCH DURING OUTAGES TO THE AND SECURITY WATCH DURING OUTAGES TO THE AND SECURITY WATCH DURING OUTAGES TO THE AND SECURITY SYSTEMS.

#### LIGHTING CONTROL NOTES

LIGHTING CONTROL SYSTEM SHALL COMPLY WITH THE 2017 CITY OF BOULDER ENERGY CONSERVATION CODE (COBECC).

FOLLOWS, UNLESS NOTED OTHERWISE: 5 MINUTES STORAGE, CUSTODIAL ROOMS, ETC. 5 MINUTES OFFICES, WORKPROMS, AND ASSOC. SPACES: 15 MINUTES TOILET ROOMS: 15 MINUTES

- TOILET ROOMS:

  PROVIDE WALL MOUNTED SWITCH PRO OCCUPANCY SENSOR
  WITH SINGLE ZONE CONTROL. SENSOR SHALL BE CONFIGURED
  FOR MANULL ON JAUTO OFF CONFIGURE FOR 3-WAY SWITCHING
  WHERE REQUIRED ON DRAWINGS.
- S<sub>60</sub> PROVIDE WALL MOUNTED SWITCH DUAL TECHNOLOGY OCCUPANCY SENSOR WITH 6-10V DIMINING. SENSOR SHALL BE CONFIGURED FOR MANUAL ON I AUTO OFF. CONFIGURE FOR 3-WAY SWITCHING WHERE REQUIRED ON DRAWINGS.
- WAY SWITCHING WHERE REQUIRED ON DRAWNING.

  9 PROVIDE DUAL TECHNOLOGY LOW VOLTAGE CELLING MOUNTED
  COLUMANCY SENSOR, WITH 2 000 SO IT COVERAGE LOCATE ON
  COLUMANCY SENSORS (JAWY FROM THE DOOR) AND AMI INTO
  ROOM WHERE MOUNTED TO CELLING THE MOUNT CENTERED IN
  THE CONNECT TO ROOM CONTROLER WAS MANUFACTUREDS
  RECOMMENCED CABLING, PROGRAM FOR MANUFACTURES RECOMMENDED CABLING, PROGRAM FOR MANUFACTURES RECOMMENDED CABLING.
- OFF CONTROL.

  PROMISE DUAL TECHNOLOGY LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR WITH COVERAGE FOR A CORRECONNULTAWY SENSOR SHALL BE COMPRIDED FOR A CORRECONNULTAWY SENSOR SHALL BE CONTROLLED FOR A CORRECON FALLIAWY. MILTIPE SENSORS WILL LEGE TO BE CONNECTED TOCETHER FOR DETECTION IN LARGE CORRECORS / MALLIWAYS. CONNECT TO POWER PACK OR SLAVE PACK.
- PACK.

  Ba. PROVIDE ROOM CONTROLLER. ONOFFIG-10V DIMMING, TO CONTROL MULTIPLE ZONES. IF REFERS TO THE NUMBER OR RELAYSZONES ONTROLLED, DO OR AS INDICATES NUMBER OF DIMMED OR SWITCHES NUMBER OF DIMMED OR DIMMED OR DIMMED OR DIMED OR DIM
- PROVIDE POWER PACK OR SLAVE PACK TO WORK WITH OCCUPANCY SENSORS INDICATED ABOVE LOCATE POWER SOURCE STATE OF THE PACK TO WORK WITH OCCUPANCY SENSORS INDICATED ABOVE LOCATE POWER STATES OF IR INSTALLED IN HARD CELLING APPLICATION, LOCATE IN A J-BOX ADJACENT TO LUMINAIRE. PROVIDE LABEL ON J-BOX FACEPLATE. TJ. TO KOTIR, POWER PACK
- S., PROVIDE LOW VOLTAGE SWITCH WALL STATION PER MANUFACTURER'S SYSTEM. PROVIDE 2, 3, OR 4 BUTTON SWITCH FOR ONOFF/RAISELOWER CONTROL.

PROVIDE HAND HELD CONTROL, BLUETOOTH APP, OR OTHER DEVICE NECESSARY FOR "ACCESSIBILITY" TO PROGRAM THE LIGHTING CONTROL SYSTEM(S).



BUILDING SERVICES

P.O.BOX 471 BOULDER, CO

B ackerman engineering, inc

COUNTY REMODI Ö R  $\overline{S}$  $\overline{\mathbb{Z}}$ 1333 OUL

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PROJECT 1333 IRIS REMODEI

LOCATION 1333 IRIS AVE. BOULDER, COLORADO 80304

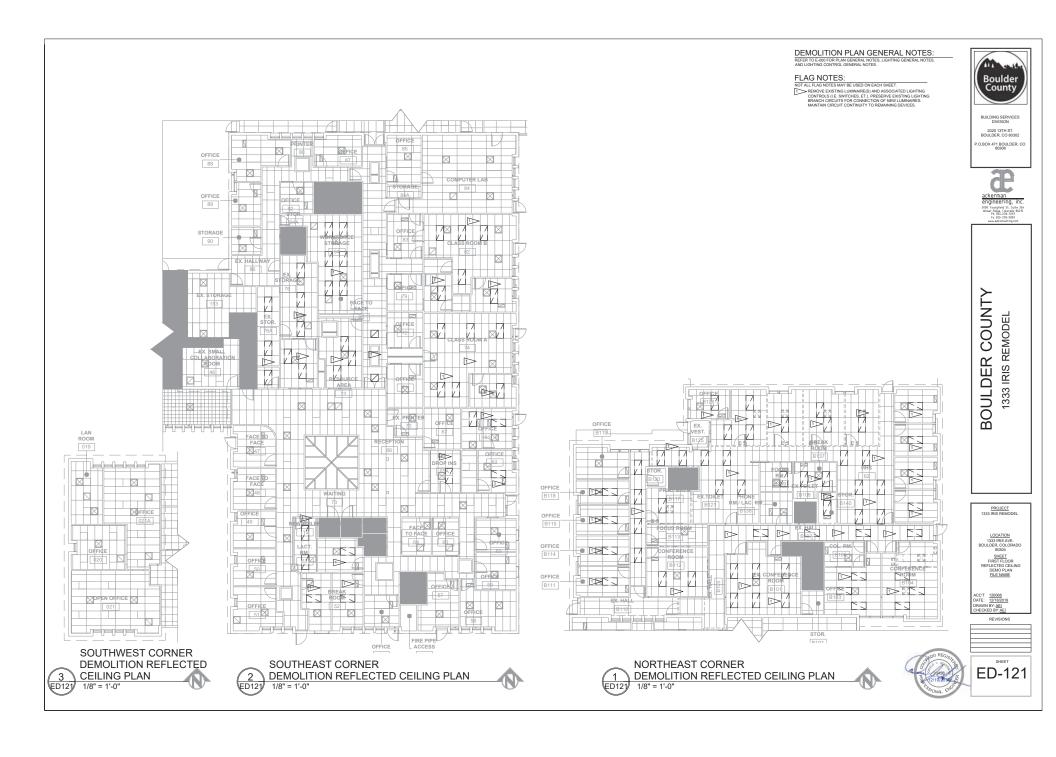
SHEET COVER SHEET FILE NAME

ACC'T 120066 DATE: 12/18/2019 DRAWN BY: AEI CHECKED BY: AEI

REVISIONS

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BUILDING SERVICES DIVISION 2020 13TH ST. BOULDER, CO 80302 P.O.BOX 471 BOULDER, CO 80306



**BOULDER COUNTY** 1333 IRIS REMODEL

PROJECT 1333 IRIS REMODEL

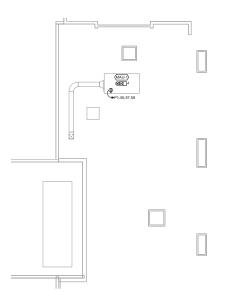
LOCATION 1333 IRIS AVE. BOULDER, COLORADO 80304 SHEET PARTIAL ROOF PLAN

FILE NAME

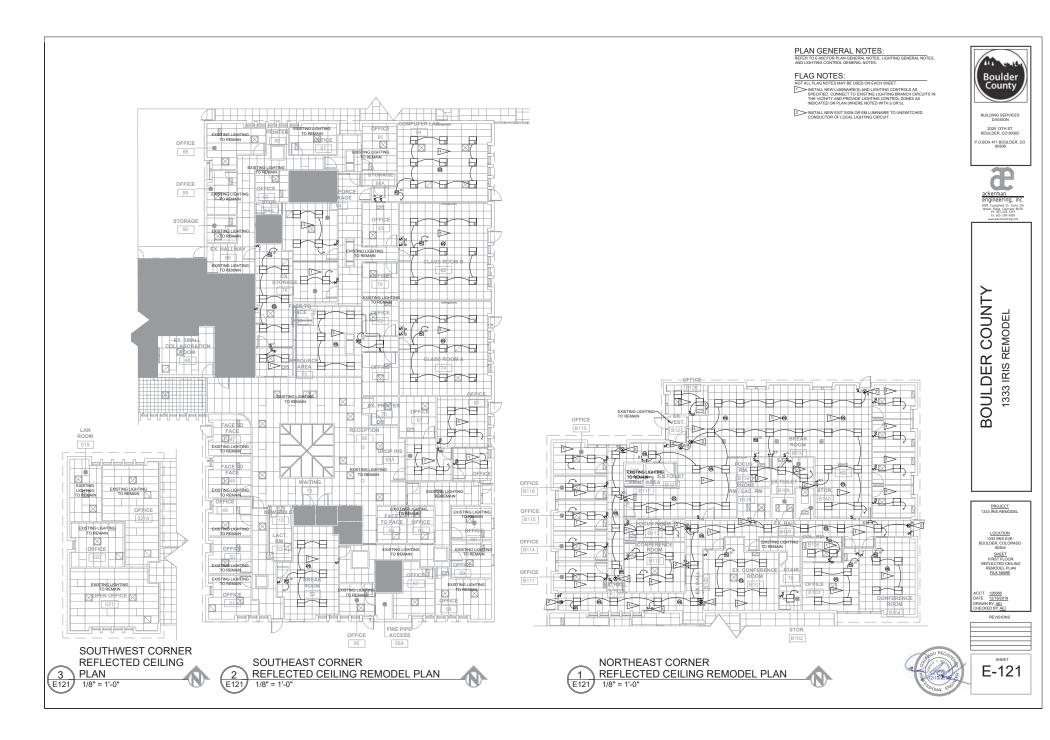
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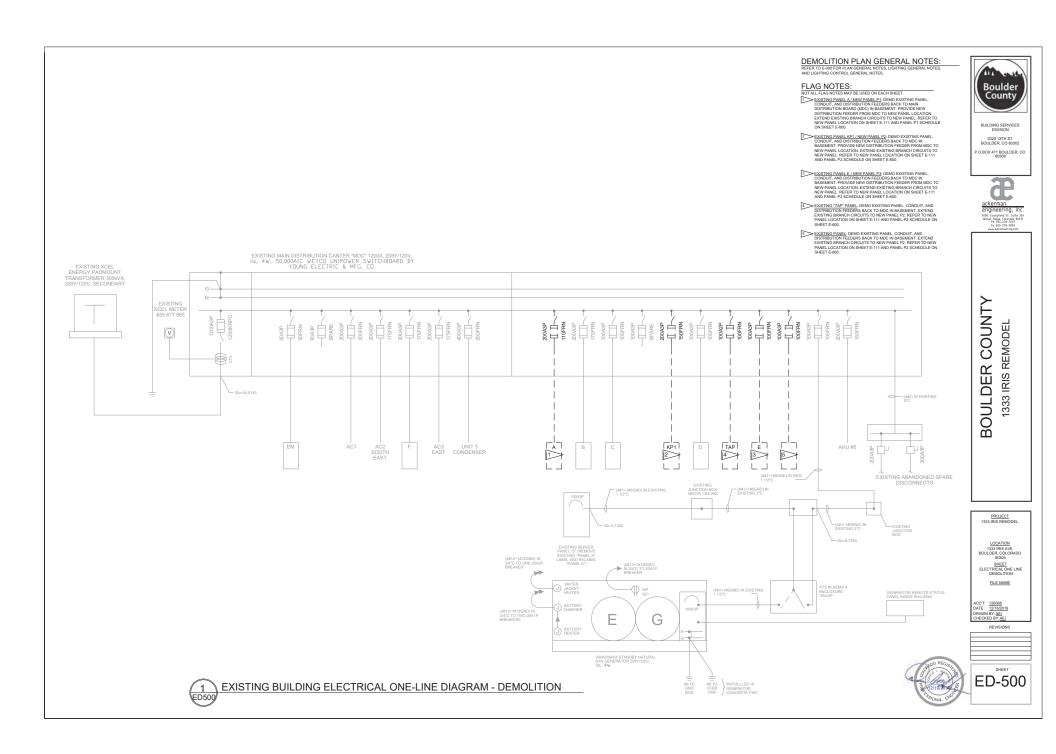


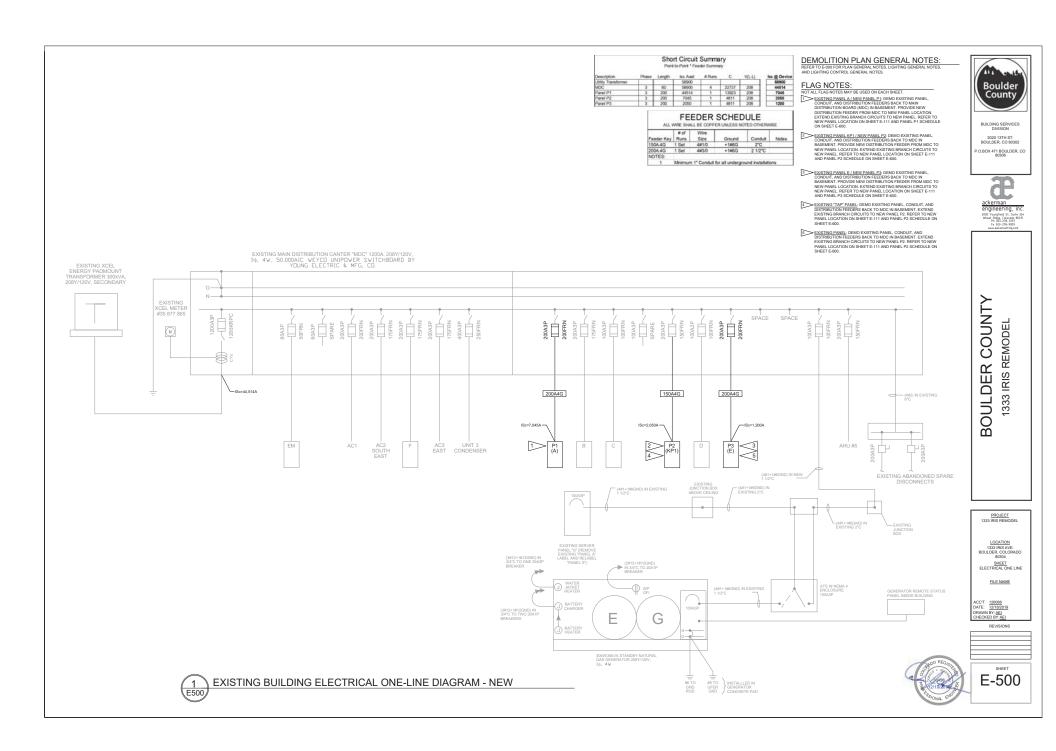












(Key)		6	ectrical			Feeder			
(Key)	Description	Load Volt Ph			AIC	& Conduit	Protection	Notes	
MAU-1	Make Up Air Unit 1	21.2 MCA 30 MOCP	208	3	NA	Panel P3-55,57,57 Brkr (New 20A3P) Feeder (New 3812+1812G) 3/4*C	Heavy Duty Safety Disc @ Unit 30A3P / 30FRS-R		
MAU-1R	Make Up Air Unit Maintenance Rec	180 W	120	1	NA	Panel P3-50 Brkr (New 20A2P) Feeder (New 2#12+1#12G) 3/4°C	Hardwire Connection Only	1	
ZD-1	Zone Damper 1	14 W	120	,	NA	Panel P3-48 Brkr (New 20A2P) Feeder (New 2#12+1#12G) 3/4°C	Heavy Duty Safety Disc @ Unit 20A3P / 20FRS-R	_ ·	

1 Provide a separate 120V circuit to unit for maintenance receptacle and/or internal lighting - refer to the receptacle/lighting information line this schedule, for this unit <

COORDINATE ENCET REQUREMENTS FOR ALL ELECTRICAL WORK, ASSOCIATED WITH THE MECHANICAL COURSENT MODIFICATIONS, WITH THE MECHANICAL CONTRACTOR MANUFACTURERS (MANUFACTURER) AND LITERATURE PRIOR TO ROUGH IN REFER TO THE MECHANICAL PLANS (MANUE) FOR ALL EQUIPMENT LOCATIONS.

REFER TO THE MECHANICAL PLANS (MANUE) FOR ALL EQUIPMENT LOCATIONS.

9				BC 1333 Iris Building F	Renovation	Luminaire	Schedule				
	LED Color,	Delivered	Driver &			100000000000000000000000000000000000000	0.000	2007/15	Max input	100	
Key	Wattage	Lumens	Dimming	Description	Finish	Mount	Manufacturer	Catalog Number	Volt	Wattage	Notes
A	19W 4000K 85 CRI	2,776	0-10V 10% DIM	RECESSED LED 2x2 CENTER BASKET TROFFER, INTEGRAL DRIVER	WHITE	RECESSED	RAB	SWSHQX2-19N/D10	120	20	
×	LEDS INCLUDED	NA	NA	UNIVERSAL MOUNTED LED EXIT SKIN, WHITE STEEL HOUSING, GREEN LEDS, FACES AND ARROWS PER DRAWNINGS, BATTERY BACK-UP	WHITE GREEN LEDS	UNIVERSAL	EXTRONIX	G50 2E/3E-WB-WH-C10	120	5	
X1	NA.	1100	NA.	WALL MOUNTED EMERGENCY LIGHT, BATTERY BACK-UP, TWO ADJUSTABLE LED LAMP HEADS, SELF DIAGNOSTIC	WHITE	WALL	DUALLITE	LZ15-I	120		

ILEU CAMP PILADS, SELF DAGNOSTIC.

Not all parts and pieces may be identified in the called gnumber. If shall be the Contractor's and Supplier/Manufacturer's responsibility to ensure all necessary parts, pieces, and hardware are provided with the luminaire for a complete installation.

99 4 Bectric Door Heater 4000 30 2

1 4 Reheat Cols Zone 7 3000 20 3 \*

0 4 Reheat Cols Zone 2 2900 20 3 \*

249 20 5

Volt.	Panel P2 208/120 3 4					Bus Main AKC	Rating Breater Rating	100 Main Lug Only 10,000			Vot Pe: We		Panel P1 209120 3 4						Mer Bus Main AIC	Method: Rating Breaker: Rating	Recessed 225 Main Lug Only 10,000	
ode	Description	Load AV	Bir	PR	h Ph	F Ber	Load	Description	Cod	Se	Co	te e	Description	Load	Oic	PR	Ph	Phillip	Bir	Load	Description	Co
2	Rec TV. Corretor 160	1260	20	1 2	9 6	1 7 20	1260	Rec Conference Rm	1	12			South RR, James	VA. 640	20		8		20	VA 960	Lig SE Teach Office, 9	٠,
	Rec Staff Lounge, Conf		20	1		1 20		Plac Sto Res 154, 153		4			Class Res 126	960	20	4	-		30		Lig Class Rm 181	١.
	Staff Lounge 150	1260	20		-	1 20	1200	Day ormers (F-16)	19	1		100	Class for 186	960	20		н		20		Lig Class Rm 175&178	
2	Serving Counter	1260	20	1 2	-	1 7 20	1260	Rec SE Offices.	1 3	-11	7 2	117	a Teacher Offices (4)	640	30		н		30		Ltg Class Rm 175	н
2	Helf of 146		20		+	1 20	1260	Rec 50 Offices	2	18	9 3	Lb	Gass Res 172	960	20	1	1		35		Lig Class Rim 1754	
1	Lights		20		-	1 20		Rec 56 Offices	2		11 2	LN	CRR& Storage	960	20	1	н		20	960	Lig Class Rtn 171	173
2	Computer Closet	1260	20			1 20		Rec 139-140	2		13 2	1.00	g ffm 162, Sitr ffm, 161	960	20				20	960	Lig-Class Rm 171	-1
	Hood Ex Fan EF-20	1500	20	1	•	1 20	1260	Floc Herman ME SE	2	19	15 2	Lity	p Rm 162, Str Rm, 161	960	20	1			20	960	Lig Class Rim 171	
	Hood for Fam EF-20	1500	20	1		1 20	1000	Mor	2		17 2	Lity	Corridor 150	960	20	1			20		Lig Bookkeeping	
	Hood Ex Fan EF-20		20	1 '	-	1 20	1000	Freezer		2	19 2	Lite	g Front Helt	1290	20						Ltg Social War Res	
	Hood Light District each Ex. EF-21	1500	20	1	4.	3 7 20	1800	Kitchen Stove Ges Va 50A 3-w re outlets		N M			Front Hell	1280	20		*			1260	Rec Corr 170, C Teach	
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6 7 Vot	Kitchen Micrelameous Sub Panel HE P3 208/120 3		100% 100% 100%			Code Code Met Bus Man	Demand Demand Method Rating Dreaser	Recessed 225 Main Lug Only	e va	ps	59 61 63 66 67 60 71	Sip Sip Sip Sip Sip	ore ore ore ore ore ore		-				-	1500	Spare Spare Spare Spare Spare Spare Spare Spare	
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6 7 7 Nem York Cook 2 2 2 2 2 2 2 2 2 2 1 6 1	Michael Microllaneous Sale Panel  P3 201720 3 4  Carrondorio  Pacceptorio  Paccepto	VA 1360 1360 1360 1360 1360 1260 1260 1260 1260 1260 1260 1260	100% 100% 100% 100% 100% 20 20 20 20 20 20 20 20 20 20 20 20 20	A 1 " 1 1 " 1 " 1 " 1 " 1 " 1 " 1 " 1 "	8 C	Code  Code  Marc Bus Mann ALC  1 20 1 20 1 20 1 20 1 20 1 20 1 20 1 2	Demand  Method Rating Breater, Resting Load 1360 1360 1360 1360 1360 1360 1360 1360	Pacessed 228 Male Log Only 19,000 Comm. Co	Code 2 2 2 2 2 2 1 1 1	2 4 6 6 62 62 64 64 64 72 22 22	59 81 63 65 67 77 79 79 81 83 33	Sp S	over come come come come come come come come	med VA 25520 10000 24960	100% 100% 100%	,	+ + hang	2 2	Per Per A Per B Per Code	shaded indica Shase 21580 21800 19020 wicked a Cement	Spane Value VA VA 4240 6450	0 VA
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6 7 Permit Vott Phi Whee Coop 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	Machamous Dan Panel  Maccalineous Dan Panel  Maccalineous Dan Panel  Maccalineous Dan	VA 1280 1280 1280 1280 1280 1280 1280 1280	100% 100% 100% 100% 100% 20 20 20 20 20 20 20 20 20 20 20 20 20	A 1 " 1 1 " 1 1 " 1 1 1 1 1 1 1 1 1 1 1	8 C	Code  Code  Mart Bus State AIC  1 20 1 20 1 20 1 20 1 20 1 20 1 20 1 2	Demand  Method Rating Dreaser Rating 1-260 1260 1260 1260 1260 1260 1260 1260 1	Processed Proces	Code 2 2 2 2 2 2 1 1 1 1 2 2	2 4 4 6 6 10 10 10 10 10 10 10 10 10 10 10 10 10	59 81 63 65 67 77 79 79 81 83 33	Sp S	over come come come come come come come come	med VA 25520 10000 24960	100% 100% 100%	,	+	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	Per Per A Per B Per Code	shaded indica Shase 21580 21800 19020 wicked a Cement	Spane Value VA VA 4240 6450	0 VA
6 7 Nem / ort / or	Machamous Daio Panel  Maccalineous Daio Panel	VA 1280 1280 1280 1280 1280 1280 1280 1280	100% 100% 100% 100% 100% 20 20 20 20 20 20 20 20 20 20 20 20 20	A 1 " 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	8 C	Code  Code  Met Bus State  AIC  1 20 1 20 1 20 1 20 1 20 1 20 1 20 1 2	Demand  Method: Rating Dreaser Reting Dreaser Reting Load 1260 1260 1260 1260 1260 1260 1260 1260	2600  Recessed 228 Main Lug Only 19,000  Cescretion  Cuterin  Cute	Code 2 2 2 2 2 2 1 1 1 1 4	2 4 4 6 8 100 100 100 100 100 100 100 100 100 1	59 81 63 65 67 77 79 79 81 83 33	Sp S	over come come come come come come come come	med VA 25520 10000 24960	100% 100% 100%	,	+	-	Per Per A Per B Per Code	shaded indica Shase 21580 21800 19020 wicked a Cement	Spane Value VA VA 4240 6450	0 V/
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or 22222222 0 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Machael Daniel State Sta	VA 1380 1380 1380 1380 1380 1380 1380 1380	100% 100% 100% 100% 100% 20 20 20 20 20 20 20 20 20 20 20 20 20	A 1 " 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	8 C	Code  Code  Met Bus Maes ALC  F Bw 1 200 1	Demand Demand Method Reing Sheaker, Feting Load VA 1360 1360 1360 1360 1360 1360 1360 1360	Processed Service Serv	Code 2 2 2 2 2 2 2 1 1 1 1 2 6 2 2 4 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 4 4 6 8 10 10 10 10 10 10 10 10 10 10 10 10 10	59 81 63 65 67 77 79 79 81 83 33	Sp S	over come come come come come come come come	med VA 25520 10000 24960	100% 100% 100%	,	+ + + + + + + + + + + + + + + + + + +		Per Per A Per B Per Code	shaded indica Shase 21580 21800 19020 wicked a Cement	Spane Value VA VA 4240 6450	0 1
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3 20 2000 Rehest Only Zone 18

Per Phase Ph.A. 21156 VA Ph.B. 21256 VA Ph.C. 22119 VA

Connected 64522,66667 VA Code Denand 60206 VA Code Demand

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Bould Coun	

BUILDING SERVICES DIVISION

P.O.BOX 471 BOULDER, CO 80306

**BOULDER COUNTY** 1333 IRIS REMODEL

PROJECT 1333 IRIS REMODEL LOCATION 1333 IRIS AVE. BOULDER, COLORADO 80304

SHEET ELECTRICAL SCHEDULES AND DETAILS FILE NAME

ACC'T 120066 DATE: 12/18/2019 DRAWN BY: AEI CHECKED BY: AEI

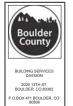
REVISIONS



E-600

		nting ONLY) sures Checklist			199 En	2017 City of Boulder ergy Conservation Code
		ditions, Alterations and Repairs which require a permit from the O	ty.	_		
	Project Address	1333 hts Avenue, Soulder, CO, 80304		Date	e 11/14/2019	
INECTIONS:	Compliance with th	ese Mandatory Measures is required whether the project is demon sheet within the plans being submitted for permit application.	strating compliance			checklist and include it on
Code Section	Focus Area	Code Description	Plan Drawing or Reference 8 to demonstrate compliance (N/A If not applicable	Submitter Notes [i.g. 6"N/A" Please explain why requirement does all not apply or's not demonstrated on plans/specs)	Plans	Examiner Notes in office use)
405.2.	Lighting Control	Controls shall meet the provisions of C435.2.3-C425.2.4. Manual lighting	E-121	Requirement will be met.		
405.2.1.1		controls are required for intector spaces and must be located within the area served by the controls or be a remeter switch that identifies the lights served and indicates their status.				D Finishventy
0405.2.1.2	Eight Reduction Controls	Each are not to required to have a request control shall be allow the compact to whole the connected (spring loss) as a resounded submitted in a resounded spring loss and the control blanks satisface pattern by at least 100 persons. Capitage reduction shall be advised by one of the following or other springer described. If Controlling all savings or furnishating.  10 for similarity all statement to resold invasions, and another invasion of the controlling all savings or furnishating to the controlling all savings and the controlling all savings are savings and the controlling all savings and the controlling all savings are savings and the controlling all savings are savings and the controlling all savings are savings and the controlling	6-121	Requirement will be met.		
405.2.2.1	Automatic Lighting	Automatic time switch controls shall be installed to control lighting in all		NA - Regulterment will not be met due to the use of		Districtly
	Shutelf	where of the foundation, the control of the second of the desired of the control		Vacanty/integranty emices in all removaline areas.		
3465222			E-121	Requirement will be met.		D Field Verify
DM8.111	Occupancy Sensins/ Space Control	Occupancy presents shall be installed in all discussions, subsequently received and produced and produced and produced and other certainment, steaper owns and just trained clarest, and other spaces. Steapers for the resolved for flower on-ceiting being trained and Discussion for the resolved for flower on-ceiting being trained. These automatic certain directors shall be installed for automatically furnity and global services. As the contraction of the contraction of the contraction of global services. The contraction of the contraction of the contraction of global services and contraction of global services. The contraction of the contraction of global services are contractions of global services. The contraction of global services are contracting to global services are contracting to global services. The contraction of global services are contracting to global services. The contraction of global services are contracting to global services. The contraction of global services are contracting to global services are contracting to global services. The contraction of global services are contracting to global services are contracting to globa	e-in	Requirement will be met.		
ISHTING Con	rined			200		D Field Verify
(405.2.2.3	Daylight Zone Control	Daylight zones shall be designed such that lights in the daylight zone are controlled independently of general sets lighting and are controlled in accordance with CASC 2.2.3.1 or CASC 2.2.3.2.		N/A - Requirement does not apply due to insuffi		
C405.2.2.3.3	Multi-level Control	Where multi-level controls are required, the general lighting in the	E-121	Requirement will be met.		D Field Verify
		daylight some shall be separately controlled by at least one multi-level lighting control to reduce power to no greater than 20% of ICs rated power.				
C405.2.8	Additional Curent	prises.  Outlands, natured highlings and Displey cass highlings shall be controlled by a defactant amount.  Marchael and model of highling within shall have a marcher control device at the man range mental.  In the proper mental has being placed by the proper mental has being placed and the proper mental has being placed and have a control device integral to the juminations or be committed by a well manufact device. Integral to the jumination of the committed by a well manufact device.   Applied for the review and properties are, who as placed being another of broad and properties are consisted by a dedicated control of the properties and the properties are also as the properties and the properties are also as the		N.A - Requirement does not apply, display or assent lighting is not evoluted in the lighting segment.		O Field Venify  D Facility venify
D405.2.4	Exterior Lighting Control	Lighting not designed for dusk to down operation shall be unmovined by a cambo of photosemus and time switch or an advancemual time switch. Outsk to down lighting shall be controlled by an astronomical time switch or photosensor.		N/A - Requirement does not apply, the project scop- dies not involve exterior lighting.		Drietal Venify
0405.3	Tandem Wiring	Fluoressent luminaires regulated with one, three or odd numbered lang configurations, that are recess industed within 10th center to center or that are pendient or surface mounted within 11th edge to edge must be tandem winter.		N.IA - Requirement does not apply, all new luminaires are U.D.		District
0405.4	Exit Signs	Internally (fluminated self signs shall not exceed 5 Weer side.	E-121	Requirement will be met.		D Field Verify
405.5.1	Exterior Building Grounds Lighting	All extensor building grounds furnishments that operate at greater than 300 exits shall centain lamps having a minimum efficacy of 60 kinesis per watt unless the turnismire is controlled by a monitor sensor or qualifies for one of the exceptions under fection C405.6.2.		N/A - Requirement does not apply, the project according not involve exterior lighting.		
0405.6.2	Exterior Building	Total exterior lighting power allowance for all exterior applications is the		N/A - Requirement does not apply, the project scop		D field Verify
	Lighting Power	sum of the base site allowerse plus the individual allowances for areas that are to be illuminated per Table CASS.6.3(2). Tradeoffs are allowed only among exterior lighting applications listed in the Table.		does not involve extensor lighting.		
						O field Vecify
457 A COM	Lighting System	Controls for automatic lighting systems shall comply with Section C407.3		el la	T	

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**BOULDER COUNTY** 1333 IRIS REMODEL

PROJECT 1333 IRIS REMODEL LOCATION
1333 IRIS AVE.
BOULDER, COLORADO
80304
SHEET
ENERGY CONSERVATION
COMPLIANCE FILE NAME

ACC'T 120066 DATE: 12/18/2019 DRAWN BY: AEI CHECKED BY: AEI REVISIONS





# **BOULDER COUNTY SAMPLE CONTRACT**

\_\_\_\_\_

THIS CONTRACT ("Contract") is entered into by and between the County of Boulder, State of Colorado, a body corporate and politic, acting by and through its Board of County Commissioners for the benefit of the [Department] ("County") and [Supplier] ("Contractor"). County and Contractor are each a "Party," and collectively the "Parties."

In consideration of the mutual covenants contained in this Contract, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

- 1. <u>Incorporation into Contract</u>: The **Details Summary** is incorporated into this Contract. The **Contract Documents** are incorporated into this Contract by reference, except to the extent that the Proposal, if any is incorporated, contains any obligations placed upon County and not otherwise contained in this Contract.
- 2. <u>Work to be Performed</u>: Contractor will provide all labor and equipment and do all tasks necessary and incidental to performing the work as described in the **Details Summary** and **Contract Documents** (the "Work"). Contractor will perform the Work (a) in a good and workmanlike manner, (b) at its own cost and expense, (c) in accordance with recognized industry standards of care, skill and diligence for the type of work being performed, and (d) in strict accordance with the Contract.
- 3. <u>Term of Contract</u>: The **Contract Term** begins on the **Start Date** and expires on the **Expiration Date**, unless terminated sooner. All the Work must be performed during the **Contract Term**.
- 4. <u>Payment for Work Performed:</u> In consideration of the Work performed by Contractor, and subject to conditions contained in this Contract, County will pay an amount not to exceed the **Contract Amount** to Contractor in accordance with the **Contract Documents**.
- 5. <u>Invoicing</u>: Contractor will promptly provide a copy of its Form W-9 and invoice template to County upon request. Contractor must submit an invoice to the County by the fifteenth (15th) day of the month following completion of the Work. All invoices submitted require the following components: Contractor's name and address (submitted W-9 address must match remit address), detailed description of services, dates of services, itemization of labor and materials costs, "Bill to: Boulder County" language, payment remittance address, payer, name and address, date of invoice, unique invoice number, and total amount due. Contractor must send all completed invoices to the **Invoice Contact** in the **Details Summary**. Email delivery is preferred by the County; County may require delivery of invoices by email. Failure to submit invoices in a timely manner and in accordance with the terms of this Contract may cause a delay in payment. County may recoup any damages incurred because of Contractor's failure to submit invoices pursuant to the terms of this paragraph. County's acceptance or payment of an invoice will not constitute acceptance of any Work performed under this Contract.
- 6. <u>Extra Time to Complete the Work</u>: If Contractor cannot complete the Work by the **Expiration Date**, Contractor may request extra time to complete the Work. County, in its sole discretion, may grant Contractor additional time to complete the Work and, if so, will provide Contractor with written notice of the amount of extra time granted. County granting extra time to complete the Work will not entitle Contractor to additional compensation from County. This Contract will remain in full force and effect during any time period that Contractor is permitted to finish completing the Work.
- 7. Extension of Contract Term (Additional Work): Upon mutual agreement of the Parties, this Contract may be extended until the **Final End Date**. During any extended **Contract Term**, the terms of this Contract will remain in full force and effect, unless otherwise amended in writing by the Parties. Where the Contractor will provide additional services for additional compensation beyond the initial **Contract Amount**, the Parties must execute a written amendment before the then-current **Expiration Date**. If necessary, the written amendment will incorporate an updated Scope of Work and updated Fee Schedule as exhibits. Contractor must provide a current Certificate of Insurance to the County that complies with the **Insurance Requirements** of this Contract, if any, prior to any extended **Contract Term**.

- 8. <u>Schedule of Work:</u> County may designate the hours (on a daily or weekly basis) during which Contractor can perform the Work, strictly for the purposes of minimizing inconvenience to the County and interference with County operations. Contractor will otherwise set its own work schedule.
- 9. <u>Indemnity:</u> Contractor will be liable for any damages to persons or property caused by or arising out of the actions, obligations, or omissions of Contractor, its employees, agents, representatives or other persons acting under Contractor's direction or control in performing or failing to perform the Work under this Contract. Contractor will indemnify and hold harmless County, its elected and appointed officials, and its employees, agents and representatives (the "indemnified parties"), from any and all liability, claims, demands, actions, damages, losses, judgments, costs or expenses, including attorneys' fees, which may be made or brought or which may result against any of the indemnified parties as a result or on account of the actions or omissions of Contractor, its employees, agents or representatives, or other persons acting under Contractor's direction or control. This indemnification obligation will extend to claims based on Contractor's unauthorized use or disclosure of confidential information and intellectual property infringement. County will not be obligated to indemnify or defend Contractor under any circumstances. Contractor's obligations under this provision shall survive expiration or termination of this Contract.
- 10. <u>Nondiscrimination</u>: Contractor will comply with the letter and spirit of the Colorado Anti-Discrimination Act, C.R.S. § 24-34-401, <u>et seq.</u>, as amended, and all applicable local, State and Federal laws concerning discrimination and unfair employment practices. County prohibits unlawful discrimination on the basis of race, color, religion, gender, gender identity, national origin, age 40 and over, disability, socio-economic status, sexual orientation, genetic information, or any other status protected by applicable Federal, State or local law. Contractor must require that its subcontractors, if any, similarly comply with all applicable laws concerning discrimination and unfair employment practices.
- 11. <u>Information and Reports</u>: Contractor will provide to authorized County, State, and Federal government representatives all information and reports that may be required for any purpose authorized by law. Contractor will permit access to such representatives to Contractor's facilities, books, records, accounts, and any other relevant sources of information. Where information required by a representative is in the exclusive possession of a person or entity other than Contractor, Contractor must so certify to the County and explain what efforts it has made to obtain the information.
- 12. <u>Independent Contractor</u>: Contractor is an independent contractor for all purposes in performing the Work. Contractor is not an employee of the County for any purpose, including the Federal Insurance Contribution Act, the Social Security Act, the Federal Unemployment Tax Act, the provisions of the Internal Revenue Code, the Colorado Workers' Compensation Act, the Colorado Unemployment Insurance Act, and the Public Employees Retirement Association. Accordingly, County will not withhold or pay any income tax, payroll tax, or retirement contribution of any kind on behalf of Contractor or Contractor's employees. As an independent contractor, Contractor is responsible for employing and directing such personnel and agents as it requires to perform the Work. Contractor will exercise complete authority over its personnel and agents and will be fully responsible for their actions.
- 13. <u>Termination for Non-Appropriation</u>: The other provisions of this Contract notwithstanding, the County is prohibited by law from making commitments beyond the current fiscal year. Payment to Contractor beyond the current fiscal year is contingent on the appropriation and continuing availability of funding in any subsequent year. County has reason to believe that sufficient funds will be available for the full **Contract Term**. Where, however, funds are not allocated for any fiscal period beyond the current fiscal year, County may terminate this Contract without penalty by providing seven (7) days' written notice to Contractor.
- 14. <u>Termination for Breach</u>: Either Party's failure to perform any of its material obligations under this Contract, in whole or in part or in a timely or satisfactory manner, will be a breach. The institution of proceedings under any bankruptcy, insolvency, reorganization or similar law, by or against Contractor, or the appointment of a receiver or similar officer for Contractor or any of its property, which is not vacated or fully stayed within thirty (30) days after the institution of such proceeding, will also constitute a breach. In the event of a breach, the non-breaching Party may provide written notice of the breach to the other Party. If the notified Party does not cure the breach, at its sole expense, within thirty (30) days after delivery of notice, the non-breaching Party may exercise any of its remedies provided under this Contract or at law, including immediate termination of this Contract.

- 15. <u>Termination for Convenience</u>: County may terminate this Contract, in whole or in part, for any reason, upon seven (7) days' advance written notice to Contractor.
- 16. <u>Remedies for Non-Performance</u>: If Contractor fails to perform any of its obligations under this Contract, County may, at its sole discretion, exercise one or more of the following remedies, which shall survive expiration or termination of this Contract:
- a. <u>Suspend Performance</u>: County may require that Contractor suspend performance of all or any portion of the Work pending necessary corrective action specified by the County and without entitling Contractor to an increase in compensation or extension of the performance schedule. Contractor must promptly stop performance and incurring costs upon delivery of a notice of suspension by the County.
- b. <u>Withhold Payment Pending Corrections</u>: County may permit Contractor to correct any rejected Work at the County 's discretion. Upon County 's request, Contractor must correct rejected work at Contractor's sole expense within the time frame established by the County. Upon completion of the corrections satisfactory to the County, County will remit payment to Contractor.
- c. <u>Deny Payment</u>: County may deny payment for any Work that does not comply with the requirements of the Contract or that Contractor otherwise fails to provide or complete, as determined by the County in its sole discretion. Upon County request, Contractor will promptly refund any amounts prepaid by the County with respect to such non-compliant Work.
- d. <u>Removal</u>: Upon County 's request, Contractor will remove any of its employees or agents from performance of the Work, if County, in its sole discretion, deems any such person to be incompetent, careless, unsuitable, or otherwise unacceptable.
- 17. <u>Binding Arbitration Prohibited</u>: County does not agree to binding arbitration by any extra-judicial body or person.
- 18. <u>Conflicts of Interest</u>: Contractor must not engage in any business or personal activities or practices or maintain any relationships that conflict in any way with the full performance of Contractor's obligations.
- 19. <u>Notices</u>: All notices provided under this Contract must be in writing and sent by Certified U.S. Mail (Return Receipt Requested), electronic mail, or hand-delivery to the other Party's **Contact** at the address specified in the **Details Summary**. For certified mailings, notice periods will begin to run on the day after the postmarked date of mailing. For electronic mail or hand-delivery, notice periods will begin to run on the date of delivery.
- 20. <u>Statutory Requirements</u>: This Contract is subject to all statutory requirements that are or may become applicable to counties or political subdivisions of the State of Colorado generally, including but not limited to: C.R.S. § 38-26-107, which requires withholding funds where the County receives a claim for payment from a supplier or subcontractor of Contractor upon notice of final settlement (required for public works contracts that exceed \$150,000); C.R.S. § 8-17-101 <u>et seq.</u>; C.R.S. § 18-8-301, <u>et seq.</u>; and C.R.S. § 18-8-401, <u>et seq.</u>;
- Public Contracts for Services (C.R.S. §§ 8-17.5-101, et seq.): Contractor hereby certifies, warrants, 21. and agrees that it does not knowingly employ or contract with an illegal alien who will perform work under this Contract and further certifies that it will confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Contract by participating in the E-Verify Program established under Pub. L. 104-28 or the department verification program established under C.R.S. § 8-17.5-102(5)(c). Contractor (i) shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (ii) shall not enter into a contract with a subcontractor that fails to certify to the contractor that the subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (iii) has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this Contract through participation in the E-Verify program or department program; (iv) is prohibited from using either the E-Verify program or department program procedures to undertake preemployment screening of job applicants while this Contract is being performed; and (v) shall comply with any reasonable request by the department made in the course of an investigation that the Colorado Department of Labor and Employment is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5). If Contractor obtains actual knowledge that a subcontractor performing work under this

Contract knowingly employs or contracts with an illegal alien, Contractor shall (a) notify the subcontractor and County within three (3) days that Contractor has actual knowledge that subcontractor is employing or contracting with an illegal alien; and (b) terminate the subcontract if, within three (3) days of receiving notice hereunder, subcontractor does not stop employing or contracting with the illegal alien; except that Contractor shall not terminate the contract with the subcontractor if during such three (3) days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien. Contractor's violation of this provision will constitute a material breach of this Contract, entitling the County to terminate the contract for breach. If this Contract is so terminated, Contractor shall be liable for actual and consequential damages to the County.

- 22. <u>Entire Agreement/Binding Effect/Amendments</u>: This Contract represents the complete agreement between the Parties and is fully binding upon them and their successors, heirs, and assigns, if any. This Contract terminates any prior agreements, whether written or oral in whole or in part, between the Parties relating to the Work. This Contract may be amended only by a written agreement signed by both Parties.
- 23. <u>Assignment/Subcontractors</u>: This Contract may not be assigned or subcontracted by Contractor without the prior written consent of the County. If Contractor subcontracts any of its obligations under this Contract, Contractor will remain liable to the County for those obligations and will also be responsible for subcontractor's performance under, and compliance with, this Contract.
- 24. <u>Governing Law/Venue</u>: The laws of the State of Colorado govern the construction, interpretation, performance, and enforcement of this Contract. Any claim relating to this Contract or breach thereof may only be brought exclusively in the Courts of the 20<sup>th</sup> Judicial District of the State of Colorado and the applicable Colorado Appellate Courts.
- 25. <u>Breach</u>: The failure of either Party to exercise any of its rights under this Contract will not be deemed to be a waiver of such rights or a waiver of any breach of the Contract. All remedies available to a Party in this Contract are cumulative and in addition to every other remedy provided by law.
- 26. <u>Severability</u>: If any provision of this Contract becomes inoperable for any reason but the fundamental terms and conditions continue to be legal and enforceable, then the remainder of the Contract will continue to be operative and binding on the Parties.
- 27. <u>Third-Party Beneficiary</u>: Enforcement of the terms and conditions and all rights and obligations of this Contract are reserved to the Parties. Any other person receiving services or benefits under this Contract is an incidental beneficiary only and has no rights under this Contract. Notwithstanding, where the beneficiary **Department** is led by an Elected Official, such Elected Official shall be considered a third-party beneficiary.
- 28. <u>Colorado Open Records Act</u>: County may disclose any records that are subject to public release under the Colorado Open Records Act, C.R.S. § 24-72-101, <u>et seq</u>.
- 29. <u>Conflict of Provisions</u>: If there is any conflict between the terms of the main body of this Contract and the terms of any of the **Contract Documents**, the terms of the main body of the Contract will control.
- 30. <u>Governmental Immunity</u>: Nothing in this Contract shall be construed in any way to be a waiver of the County's immunity protection under the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, <u>et seq.</u>, as amended.
- 31. <u>Representations and Warranties:</u> Contractor represents and warrants the following:
  - a. Execution of this Contract and performance thereof is within Contractor's duly authorized powers:
    - b. The individual executing this Contract is authorized to do so by Contractor;
  - c. Contractor is authorized to do business in the State of Colorado and is properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over the Work and the Contractor; and
  - d. Contractor and its subcontractors, if any, are financially solvent, able to pay all debts as they mature, and have sufficient working capital to complete the Work and perform all obligations under the Contract.

- 32. <u>Legal Compliance</u>: Contractor assumes full responsibility for obtaining and maintaining any permits and licenses required to perform the Work. Contractor's performance under this Contract and the Work itself will comply with all Federal, State, and local laws, regulations, ordinances and codes.
- 33. <u>Litigation Reporting</u>: Contractor is not currently involved in any action before a court or other administrative decision-making body that could affect Contractor's ability to perform the Work. Contractor will promptly notify the County if Contractor is served with a pleading or other document in connection with any such action.
- 34. <u>Tax Exemption</u>: County is exempt from payment of Federal, State, and local government taxes. Contractor shall collect no tax from the County, and the County shall not be liable to pay any taxes imposed on Contractor. County shall provide its tax exemption status information to Contractor upon request.
- 35. <u>Delegation of Authority</u>: The Parties acknowledge that the Board of County Commissioners has delegated authority to the Department Head or Elected Official that leads the beneficiary **Department** and their designees to act on behalf of the County under the terms of this Contract, including but not limited to the authority to terminate this Contract.
- 36. Ownership of Work Product: All work product, property, data, documentation, information or materials conceived, discovered, developed or created by Contractor pursuant to this Contract ("Work Product") will be owned exclusively by the County. To the extent possible, any Work Product will be deemed to be a work made for hire. Contractor unconditionally and irrevocably transfers and assigns to the County all right, title and interest in and to any Work Product.
- 37. <u>Publicity Releases</u>: Contractor will not refer to this Contract or the County in commercial advertising without prior written consent of the County. This provision shall survive expiration or termination of this Contract.
- 38. <u>Execution by Counterparts; Electronic Signatures</u>: This Contract may be executed in multiple counterparts, each of which will be deemed an original, but all of which will constitute one agreement. The Parties approve the use of electronic signatures, governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24 71.3 101 to 121. The Parties will not deny the legal effect or enforceability of this Contract solely because it is in electronic form or because an electronic record was used in its creation. The Parties will not object to the admissibility of this Contract in the form of electronic record, or paper copy of an electronic document, or paper copy of a document bearing an electronic signature, because it is not in its original form or is not an original.
- 39. <u>Limitation on Public Statements and Lobbying Activity</u>. During the term of this Contract, Contractor may receive from the County its confidential data, work product, or other privileged or confidential information that is protected by law. To maintain the fact and appearance of absolute objectively, Contractor shall not, without the prior written consent of the County, which shall not be unreasonably withheld, do any of the following: (a) disclose information obtained because of this contractual relationship to any third party; (b) lobby any State or Federal agency on any pending matter while this Contract is effective; or (c) make any public statements or appear at any time to give testimony at any public meeting on the subject matters regarding which Contractor is or was retained by the County. County may set reasonable conditions on any disclosure authorized by the County under this provision. Notwithstanding, Contractor may make disclosures as required by law, and to law enforcement officials in connection with any criminal justice investigation.
- 40. <u>Sustainability</u>: County encourages Contractor to consider the procurement and use of environmentally preferable products and services while performing services under this Contract. "Environmentally preferable purchasing" means making purchasing choices for products and services that have a lesser or reduced adverse effect on human health and the environment when compared with competing products and services that serve the same purpose. Environmentally preferable purchasing is consistent with the County's commitment to protecting our air, water, soil, and climate for current and future generations. County encourages Contractor to incorporate the following actions into Contractor's performance of the Work: environmentally preferable supplies and services; conservation of water; efficient energy use; waste prevention; reuse and recycle construction and de-construction materials in a manner that maximizes reuse of materials; sustainable transportation choices, including consideration to business communication software such as Skype alternative to air travel and public transit or carpooling for in-person

meetings; pollution prevention; low toxicity for public health & safety; and reduced emissions to address climate change.

- 41. <u>Insurance Requirements:</u> Prior to commencing the Work, Contractor will provide a Certificate of Insurance to the County demonstrating adequate insurance coverage as required by this paragraph. All policies evidencing coverage required by the Contract will be issued by insurance companies satisfactory to the County. Contractor will forward Certificates of Insurance directly to the **County Department** and **Contact** listed in the **Details Summary**.
- a. For the entire duration of this Contract including any extended or renewed terms, and longer as may be required by this Contract, Contractor shall procure and maintain at its own expense, and without cost to the County, the following kinds and minimum amounts of insurance to insure the liability risks that Contractor has assumed under this Contract:

## i. Commercial General Liability

## Non-Construction contracts use the following language:

This coverage should be provided on an Occurrence Form, ISO CG001 or equivalent, with Minimum limits of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products Completed Operations Aggregate.

## Construction Contracts only – include the following paragraph:

Coverage should be provided on an Occurrence form, ISO CG0001 or equivalent. The policy shall be endorsed to include Additional Insured Owners, Lessees or Contractors endorsements CG 2038 (or equivalent), Designated Construction Project(s) General Aggregate Endorsement CG2503 (or equivalent) and Additional Insured Completed Operations for Owners, Lessees or Contractors CG 2037 (or equivalent). Minimum limits required of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products/Completed Operations Aggregate. The County requires the Products/Completed Operations coverage to be provided 3 years after completion of construction. An endorsement must be included with the certificate.

#### ii. Automobile Liability

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

This coverage may not be required if Contractor is not using a vehicle as part of its performance under the contract. Contact Risk Management with any questions.

#### iii. Workers' Compensation and Employer's Liability

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

This coverage may not be required if contractor is not mandated under State law to maintain this coverage. A waiver is available on the contracts routing website.

#### iv. Umbrella / Excess Insurance

Umbrella/Excess Liability insurance in the amount \$[X],000,000.00, following form.

This insurance is a broad, high-limit policy, which acts more than the underlying primary insurance policy. This coverage is designed to provide additional liability limits beyond the primary insurance limits and is triggered upon the underlying limits becoming exhausted. Umbrella / Excess insurance is most commonly required when an exposure to the County could potentially create liabilities in excess of the basic insurance limits. The most common limits for these policies range from \$2,000,000 to \$5,000,000.

Please consult with Risk Management if you feel this coverage should be required.

IN ADDITION TO THE ABOVE, ONE OR MORE OF THE FOLLOWING FOUR (4) INSURANCE COVERAGES MAY BE REQUIRED. CONTACT RISK MANAGEMENT IF YOU HAVE QUESTIONS ABOUT WHICH INSURANCE COVERAGE TO INCLUDE. DELETE THIS INSTRUCTION (AND ANY INAPPLICABLE INSURANCE PARAGRAPHS) WHEN FINALIZING THE CONTRACT:

# v. **Professional Liability (Errors and Omissions)**

All contractors required to be professionally certified by the State of Colorado (i.e., architects, engineers, doctors, nurses, etc.) and/or any consultants whose errors in judgment, planning, design, etc. could result in economic loss to the County must provide proof of professional liability coverage. This also applies to anyone managing or overseeing construction.

Professional liability coverage with minimum limits of \$1,000,000 Per Loss and \$1,000,000 Aggregate. Professional Liability provisions indemnifying for loss and expense resulting from errors, omission, mistakes or malpractice is acceptable and may be written on a claims-made basis. The contractor warrants that any retroactive date under the policy shall precede the effective date of this Contract; and that either continuous coverage will be maintained or an extended discovery period will be exercised for a period of two (2) years beginning at the time work under this Contract is completed.

#### vi. **Pollution Liability**

This coverage is required whenever work under the contract involves pollution risk to the environment or losses caused by pollution conditions (including asbestos) that may arise from the operations of the Contractor described in the Contractor's scope of services.

Coverage pay for those sums the Contractor becomes legally obligated to pay as damages because of Bodily Injury, Property Damage or environmental Damage arising out of a pollution incident caused by the Contractor's work including Completed Operations. Coverage shall include emergency response expenses, pollution liability during transportation (if applicable) and at Non-Owned Waste Disposal Site (if applicable). The Minimum limits required are \$1,000,000 Per Occurrence/Loss and \$1,000,000 Policy Aggregate. If the coverage is written on a claims-made basis, the Contractor warrants that any retroactive date applicable to coverage under the policy precedes the effective date of this Contract; and that continuous coverage will be maintained or an extended discovery period will be exercised for a period of three (3) years beginning from the time that work under this contract is completed. County shall be named as an additional insured for ongoing operations and completed operations.

#### vii. Third Party Commercial Crime Insurance / Third Party Fidelity Bond

Crime / Third Party Fidelity covers the contractor and the contractor's employees when engaged in work for a client on behalf of the County. This coverage is for employee dishonesty, theft, embezzlement, forgery and alteration. Coverage is required when the contractor will be handling money or collecting fees on behalf of the County or when the contractor has access to client's personal property and/or documentation

The Crime limit shall be \$1,000,000 Per Loss and include an endorsement for "Employee Theft of Client Property". In order to provide coverage to County during the course of this contract, Commercial Crime policies must be endorsed to cover Third Party Fidelity. Third party fidelity covers the vendor's employees when engaged in work for a client. In addition, the County will be listed as loss payee on the commercial crime coverage. This third-party coverage can also be provided by obtaining a third-party fidelity bond.

#### viii. Privacy / Cyber Liability Insurance

As a provider of a service which *may* require the knowledge and retention of personal identifiable information including but not limited to, names, dates of birth, social security numbers, usernames,

and passwords, and/or HIPAA sensitive personal information of clients served, the following minimum insurance limits are required:

Contractors with 10 or fewer County clients: \$50,000 Contractors with 11 – 15 County clients: \$500,000

Contractors with more than 25 County clients: \$1,000,000

# If the scope does not pertain to clients directly, contact Risk Management for appropriate language.

#### ix. **Sexual Abuse and Molestation Coverage**

As a provider of a service which has contact with individuals that are part of a sensitive population and are in a position of trust the following minimum insurance limits are required:

Contractors with 5 or fewer County clients: \$100,000

Contractors with 6-10 County clients: \$250,000 Contractors with 11-15 County clients: \$500,000

Contractors with 16 or more County clients: \$1,000,000

If the number of clients increases during the contract period, the required coverage limit will increase to correspond accordingly.

If the scope does not pertain to clients directly, contact Risk Management for appropriate language.

THE STATED INSURANCE LIMITS FOR ALL COVERAGES ARE MINIMUM AMOUNTS; DEPENDING ON THE CONTRACT, HIGHER LIMITS MAY BE REQUIRED OR ADVISABLE. CONTACT RISK MANAGEMENT IF YOU HAVE ANY QUESTIONS ABOUT MINIMUM LIMITS. DELETE THIS PARAGRAPH WHEN FINALIZING THE CONTRACT.

Boulder County as Additional Insured: Boulder County shall be named as an additional insured for General Liability, Umbrella/Excess Liability, and Pollution Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS: County of Boulder, State of Colorado, a body corporate and politic, is named as Additional Insured.

- Notice of Cancellation: Each insurance policy required by this Contract shall provide the required coverage and shall not be suspended, voided or canceled except after thirty (30) days' prior written notice has been given to the County except when cancellation is for non-payment of premium, then ten (10) days' prior notice may be given. If any insurance company refuses to provide the required notice, Contractor or its insurance broker shall notify the County any cancellation, suspension, or nonrenewal of any insurance policy within seven (7) days of receipt of insurers' notification to that effect.
- Insurance Obligations of County: County is not required to maintain or procure any insurance coverage beyond the coverage maintained by the County in its standard course of business. Any insurance obligations placed on the County in any of the Contract Documents shall be null and void.
- <u>Deductible</u>: Any and all deductibles contained in any insurance policy shall be assumed by e and at the sole risk of Contractor.
- Primacy of Coverage: Coverage required of Contractor and its subcontractors, if any, shall be primary over any insurance or self-insurance program carried by the County.
- Subrogation Waiver: All insurance policies in any way related to this Contract secured or maintained by Contractor as required herein shall include clauses stating that each carrier shall waive all rights of recovery, under subrogation or otherwise, against County, its organizations, officers, agents, employees, and volunteers.

[Signature Page to Follow]

IN WITNESS WHEREOF, the Parties have executed and entered into this Contract as of the latter day and year indicated below.

SIGNED for and on behalf of Boulder Co	ounty	SIGNED for and on behalf of Contractor
Signature:		Signature:
Name:		Name:
Title:		Title:
Date:		Date:
↓↓For Board-signed documents only↓↓		
711		
Attest:	Initials	
Attestor Name:		
Attestor Title:		

#### CONTRACTOR'S CERTIFICATION OF COMPLIANCE

Pursuant to Colorado Revised Statutes, § 8-17.5-101, et seq., as amended, as a prerequisite to entering into a contract for services with Boulder County, Colorado, the undersigned Contractor hereby certifies that at the time of this certification, Contractor does not knowingly employ or contract with an illegal alien who will perform work under the attached contract for services and that the Contractor will participate in the E-Verify Program or Department program, as those terms are defined in C.R.S. § 8-17.5-101, et seq., in order to confirm the employment eligibility of all employees who are newly hired for employment to perform work under the attached contract for services.

CONTRACTOR:	
	·
Company Name	Date
Name (Print or Type)	
Signature	
<u></u>	
Title	

Note: Registration for the E-Verify Program can be completed at: https://e-verify.uscis.gov/enroll/.