



**Boulder County Purchasing**  
**1325 Pearl Street**  
**Boulder, CO 80302**  
[purchasing@bouldercounty.org](mailto:purchasing@bouldercounty.org)

**INVITATION TO BID**  
**COVER PAGE**

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BID Number:	<b>7108-20</b>
BID Title:	<b>1333 Iris Remodel – Mechanical HVAC and Plumbing</b>
Mandatory Pre-Bid Meeting:	February 5, 2020 - 10:00 am 1333 Iris Ave, Boulder, CO 80302
BID Questions Due:	February 11, 2020
Submittal Due Date:	February 19, 2020
Email Address:	<a href="mailto:purchasing@bouldercounty.org">purchasing@bouldercounty.org</a>
Documents included in this package:	Bid Instructions Terms and Conditions Specifications Insurance and W-9 Requirements Submittal Checklist Bid Tab Section Signature Page Drawings Sample Contract



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## **INSTRUCTIONS**

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### **1. Purpose/Background**

Boulder County Public Works (Building Services) is seeking proposals to provide Mechanical HVAC and Plumbing work for the 1333 Iris Remodel located at 1333 Iris Avenue, Boulder, CO 80304.

### **2. Mandatory Pre-Bid Meeting**

A mandatory pre-bid meeting will be held on **February 5, 2020 at 10:00 a.m.** at 1333 Iris Ave., Boulder, CO 80302.

**Bids from firms not represented at the mandatory, pre-bid meeting, and site visit will not be accepted.**

### **3. Written Inquiries**

All inquiries regarding this BID will be submitted via email to the Boulder County Purchasing Office at [purchasing@bouldercounty.org](mailto:purchasing@bouldercounty.org) on or before 2:00 p.m. **February 11, 2020**. A response from the county to all inquiries will be posted and sent via email no later than **February 14, 2020**.

**Please do not contact any other county department or personnel with questions or for information regarding this solicitation.**

### **4. Submittal Instructions**

BIDs are due at the Administrative Services Information Desk or email box (preferred) listed below, for time and date recording on or before **2:00 p.m. Mountain Time on February 19, 2020**. A bid opening will be conducted at 3:00 p.m. Mountain Time at county offices.

**Your response can be submitted in the following ways. Please note that email responses to this solicitation are preferred, but are limited to a maximum of 50MB capacity. NO ZIP FILES ALLOWED. Electronic submittals must be received in the email box listed below. Submittals sent to any other box will NOT be forwarded or accepted. This email box is only accessed on the due date of your questions or proposals. Please use the Delivery Receipt option to verify receipt of your email. It is the sole responsibility of the proposer to ensure their documents are received before the deadline specified above. Boulder County does not accept responsibility under any circumstance for delayed or failed email or mailed submittals.**

**Email**     [purchasing@bouldercounty.org](mailto:purchasing@bouldercounty.org); identified as **BID # 7108-20** in the subject line.

-OR-

**US Mail**   One (1) unbound copy of your submittal, printed double-sided, 11 point, on at least 50% post-consumer, recycled paper must be submitted in a sealed envelope, clearly marked as **BID # 7108-20**, to the Administrative Services Information Desk located at 1325 Pearl Street, Boulder, CO 80302.

All BIDs must be received and time and date recorded by authorized county staff by the above due date and time. Sole responsibility rests with the bidder to see that their BID response is received on time at the stated location(s). Any BIDs received after due date and time will be returned to the bidder.

The Board of County Commissioners reserves the right to reject any and all BIDs, to waive any informalities or irregularities therein, and to accept the proposal that, in the opinion of the Board, is in the best interest of the Board and of the County of Boulder, State of Colorado.

**Americans with Disabilities Act (ADA):** If you need special services provided for under the Americans with Disabilities Act, contact the ADA Coordinator or the Human Resources office at (303) 441-3525 at least 48 hours before the scheduled event.



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## **TERMS AND CONDITIONS**

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1. Bidders are expected to examine the drawing, specifications, schedule of delivery, and all instructions. Failure to do so will be at the bidder's risk.
  2. Each bidder will furnish the information required in the Invitation to Bid.
  3. The Contract/Purchase Order will be awarded to that responsible bidder whose submittal, conforming to the Invitation to Bid, will be most advantageous to the County of Boulder, based on best value not only price.
  4. The County of Boulder reserves the right to reject any or all bids and to waive informalities and minor irregularities in bids received, and to accept any portion of or all items proposed if deemed in the best interest of the County of Boulder to do so.
  5. No submittal will be withdrawn for a period of thirty (30) days subsequent to the opening of bids without the consent of the County Purchasing Agent or delegated representative.
  6. A signed purchase order or contract furnished to the successful bidder results in a binding contract without further action by either party.
  7. Late or unsigned bids will not be accepted or considered. It is the responsibility of bidders to ensure that the bid arrives at the Administrative Services Information Desk prior to the time indicated in the "Invitation to Bid."
  8. The proposed price will be exclusive of any Federal or State taxes from which the County of Boulder is exempt by law.
  9. Any interpretation, correction or change of the bid documents will be made by

Addendum. Interpretations, corrections and changes of the bid documents made in any other manner will not be binding, and bidder will not rely upon such interpretations, corrections and changes. The County's Representative will not be responsible for oral clarification.

10. Confidential/Proprietary Information: Bids submitted in response to this "Invitation to Bid" and any resulting contract are subject to the provisions of the Colorado Public (Open) Records Act, 24-72-201 et.seq., C.R.S., as amended. Any restrictions on the use or inspection of material contained within the bid and any resulting contract will be clearly stated in the bid itself. Confidential/proprietary information must be readily identified, marked and separated/packaged from the rest of the bid. **Co-mingling of confidential/proprietary and other information is NOT acceptable. Neither a bid, in its entirety, nor bid price information will be considered confidential/proprietary. Any information that will be included in any resulting contract cannot be considered confidential.**

**The Boulder County Attorney's Office retains sole authority for determining whether the Colorado Open Records Act requires or permits Boulder County to disclose proposal or bid documents, or any information contained therein, pursuant to an open records request.**

11. Boulder County promotes the purchase/leasing of energy efficient, materials efficient and reduced toxic level products where availability, quality and budget constraints allow. Bidders are expected whenever possible to provide products that earn the ENERGY STAR and meet the ENERGY STAR specifications for energy efficiency with power management features enabled. Bidders are encouraged to offer products and equipment with post-consumer recycled-content materials. Products should be packaged and delivered with a minimum amount of recycled packaging that adequately protects the product, but is not excessive.
12. Pursuant to Colorado law (House Bill 1292), in any bidding process for public works in which a bid is received from a non-resident bidder who is from a state that provides a percentage bidding preference, a comparable percentage disadvantage will be applied to the bid of that bidder. Bidders may obtain additional information from the Department of Personnel's website: <http://www.colorado.gov/dpa/>.



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## **SPECIFICATIONS**

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Project includes renovation of an existing office building at the Mental Health building at 1333 Iris Ave in Boulder, Colorado. Building is currently vacant.

### **SCOPE OVERVIEW:**

- The first floor will be remodeled, reusing existing mechanical systems and rebalancing existing and new dampers and diffusers.
- Ducts coming down from (E) AHU-3 will be replaced and provided with new accessible balancing dampers.
- A makeup air unit will be installed on the roof to provide ventilation air for the existing AHU-4 located and serving the basement.
- MC to inspect and repair ductwork as necessary to ensure operational integrity of existing system. MC shall seal all ductwork, new and existing. Note: ductwork inspection and repairs are to the extent that ceiling tiles are to be removed, please reference the reflected ceiling plans.
- A few plumbing fixtures will be demolished and/or relocated, and a couple hand sinks installed. Associated piping will be demolished and new installed as necessary.



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## **INSURANCE AND W-9 REQUIREMENTS**

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### **PAYMENT & PERFORMANCE BONDS**

**Both a payment and a performance bond are required for this project and must each equal 100% of the proposed cost. Please include the cost of this bonding into the total proposed cost.**

### **INSURANCE REQUIREMENTS**

**General Liability**                      \$1,000,000 Each Occurrence  
  \$2,000,000 General Aggregate  
  \$2,000,000 Products Completed Operations Aggregate  
  3 years Products/Completed Operations

**Excess or Umbrella**                      May be required if higher limits are requested.

**Automobile Liability**                      \$1,000,000 Each Accident  
  \*Including Hired & Non-Owned Auto

**Worker's Compensation and Employer's Liability**  
  Statutory limits

Note that the above insurance amounts are the minimum required for this project. **Proof of current insurance must be provided with your proposal in the form of a sample certificate or your proposal will be deemed non-responsive.** If you require a waiver of insurance requirements (e.g. Workers' Compensation and sole proprietorships) you may request one in your response with an explanation.

New certificates will be requested if the contract process takes more than 30 days after an award.

### **W-9 REQUIREMENT**

Provide a copy of your business's W-9 with your proposal.



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## **SUBMITTAL SECTION**

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The bidder's attention is especially called to the items listed below, which must be submitted in full as part of the BID. Failure to submit any of the documents listed below as a part of your BID, or failure to acknowledge any addendum in writing with your BID, or submitting a bid on any condition, limitation or provision not officially invited in this Invitation to Bid (BID) may be cause for rejection of the BID.

**THIS CHECKLIST MUST BE SUBMITTED AS PART OF YOUR BID PACKAGE:** Bidder will check each box indicating compliance:

<b>INCLUDED</b>	<b>ITEM</b>
	Name and Address of the Partners and Subcontractors if applicable
	A detailed project schedule with an all-inclusive total cost
	Information on the relevant experience of key personnel
	State your compliance with the Terms and Conditions in the Sample Contract contained in this BID. Specifically list any deviations and provide justification for each deviation.
	Submit three references for similar projects your company has completed within the last three years and contact information
	Insurance Certificate
	W-9
	Signature Page
	Addendum Acknowledgement(s) (If Applicable)





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**BID TAB**

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Provide a price for one and/or each item as listed below. Work shall be awarded based on the most responsible Bid that best satisfies the requirements of the project, not necessarily on the lowest price. Boulder County reserves the right to make the award on the basis of the Bid deemed most favorable to the County, to waive any informalities, or to reject any or all Bids.

**All work described in the Drawings, Specifications and Addenda for this project:**

**ITEM #1: Mechanical HVAC** - Work consists of all labor and materials required for mechanical HVAC work including TAB services.

\_\_\_\_\_dollars (\$\_\_\_\_\_)

Duration\_\_\_\_\_ Working Days

**ITEM #2: Plumbing** - Work consists of all labor and materials required for Plumbing work including all fixtures and domestic hot and cold piping requirements.

\_\_\_\_\_dollars (\$\_\_\_\_\_)

Duration\_\_\_\_\_ Working Days

**Item #3 –Combine Mechanical HVAC and Plumbing are awarded to same contractor.**

\_\_\_\_\_dollars (\$\_\_\_\_\_)

**Alternates:** Provide a separate page for any proposed alternates, with description of alternate and impact to cost or timing of work.



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**SIGNATURE PAGE**

Contact Information	Response
Company Name including DBA	
List Type of Organization (Corporation, Partnership, etc.)	
Name, Title, and Email Address of Person Authorized to Contract with Boulder County	
Company Address	
Company Phone Number	
Company Website	

**By signing below I certify that:**

- I am authorized to bid on my company's behalf.
- I am not currently an employee of Boulder County.
- None of my employees or agents is currently an employee of Boulder County.
- I am not related to any Boulder County employee or Elected Official.
- (Sole Proprietorships Only) I am not a Public Employees' Retirement Association (PERA) retiree.

\_\_\_\_\_  
**Signature of Person Authorized to Bid on  
 Company's Behalf**

\_\_\_\_\_  
**Date**

Note: If you cannot certify the above statements, please explain in a statement of explanation.

# 1333 IRIS REMODEL

1333 IRIS AVENUE  
BOULDER, COLORADO 80304

## Building Permit Submittal



### VICINITY MAP

### TYPICAL ABBREVIATIONS

A	ASSEMBLY OCCUPANCY	MAN	MANUFACTURER
AC	ACOUSTIC ONLY HERMAN MILLER	MAT	MATERIAL
ACGL	ACOUSTIC AND GLASS HERMAN MILLER	MAX	MAXIMUM
A.D.A.	AMERICAN DISABILITY ACT (COMPLIES WITH)	MECH	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MET	METAL
ARCH.	ARCHITECT	MR.	MIRROR
B	BUSINESS OCCUPANCY	MN.	MINIMUM
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
BLDG	BUILDING	O.C.	ON CENTER
BM	BEAM	OCC.	OCCUPANCY
CA	CARD ACCESS	O.D.	OUTSIDE DIAMETER
C.L.	CENTER LINE	OPP.	OPPOSITE
CLG.	CEILING	OTS.	OPEN TO STRUCTURE
CONC.	CONCRETE	P.E.	PUBLIC ESTABLISHED ZONING
CONTR.	CONTINUOUS	PL	PLATE
CONST.	CONSTRUCTION	PH	PHASE
COORD.	COORDINATE	PRMT	PERMIT
CPT.	CARPET	PROP.	PROPERTY
CT	CERAMIC TILE	P.T.D.	PAPER TOWEL DISPENSER
D.E.B.	DRY ERASE BOARD	PTD.	PAINTED
D.F.	DRINKING FOUNTAIN	R.	RISER
DA	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DO	DUAL OUTLET	RE	REFERENCE
EA	EACH	RB	RUBBER BASE
EQUIPT.	EQUIPMENT	S	SWITCH
ES	ELECTRONIC STRIKE	S.A.C.	SUSPENDED ACOUSTICAL CEILING
ETC.	ET CETERA	SB	SOUND BOARD
EX	EXISTING	S.C.	SOLID CORE
EXP.	EXPOSED	S.CONC.	SEALED CONCRETE
EXT.	EXTERIOR	SM	SIMILAR
F.E.	FIRE EXTINGUISHER	SO	SINGLE OUTLET
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATION
FR	FIRE RATED	SS	STAINLESS STEEL
G.C.	GENERAL CONTRACTOR	STL	STEEL
GA	GAGE	STOR.	STORAGE
GALV.	GALVANIZED	STRUCT.	STRUCTURAL
G.W.B.	GYPSONUM WALL BOARD	THICK.	THICKNESS
HWK.	HARDWARE	T.	TREAD
HGHT.	HEIGHT	T.O.	TOP OF
I.B.C.	INTERNATIONAL BUILDING CODE	T.P.	TOILET PAPER DISPENSER
INS.	INSULATION	TYP.	TYPICAL
INT.	INTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
J	JOINT	V.B.	VAPOR BARRIER
KIT.	KITCHEN	V.I.F.	VERIFY IN FIELD
LN	LINOLEUM	W	WITH
		WC	WATER CLOSET
		WD	WOOD
		WP	WORK POINT

### GENERAL NOTES:

- The contract documents include these drawings. Any discrepancies found among the drawings, these general notes, and the site conditions shall be reported to the Architect who shall address such inconsistencies in writing. Any work done by the contractor after discovery of such error shall be done at the contractor's risk. The contractor shall verify and familiarize themselves with all drawings prior to proceeding with any work or fabrication.
- Mechanical and plumbing systems are to conform to work requirements indicated herein and suitable for the intended uses of the spaces.
- If there is a conflict between a large scale drawings and smaller scale drawing of the same area, the larger scale drawing is to be considered more precise.
- Architectural plans show the desired layout of furniture and ceiling grid. Notify architect in writing if there is a discrepancy between Architectural, Mechanical, and Electrical.

### BOULDER COUNTY ELECTRICAL NOTES:

- CONFERENCE ROOMS**  
ADD POWERBOX IN CENTER OF ROOM (UNDER TABLE).  
ADD POWER TO CODE AND DATA JACKS ON OPPOSITE WALLS, TYP.  
ADD WAP PER IT.  
TV WITH POWER & DATA ON SHORT WALL AWAY FROM DOOR, OR AS NOTED ON FLOOR PLAN.
- OPEN OFFICE**  
ADD WHIP PER EACH RUN OF HERMAN MILLER.  
ADD ONE OUTLET ON WALL PER STATION.
- BREAK ROOMS**  
2-3 CIRCUITS DEPENDING ON FRIDGE.  
GFCIS ABOVE COUNTER PER CODE.
- WAPS & SWITCHES**  
WORK WITH IT MANAGER TO LOCATE WAPS.  
CONFIRM ACTIVE PORTS WITH IT MANAGER.

### CODE INFORMATION

CONSTRUCTION SHALL COMPLY WITH THE 2012 IBC.  
OCCUPANCY TYPE: B-BUSINESS (OFFICE AREAS)  
A - UNCONCENTRATED ASSEMBLY (CLASS ROOMS)

TYPE OF (NEW) CONSTRUCTION: IIB = unretrofit, non-combustible

ZONE: P (Public)

THIS PROJECT WILL BE CONSTRUCTED TO MEET THE ADA CODE REQUIREMENTS.

ALL ELECTRICAL IS EXISTING AND TO BE RELOCATED AS NEEDED. RECONFIGURING OFFICE WORKSTATIONS ON FIRST FLOOR. WE ARE NOT CHANGING BUILDING USAGE OR SQUARE FOOTAGE. THE BASEMENT IS TO BE UNOCCUPIED.

SHOULD WE PENETRATE ANY RATED WALL ASSEMBLIES THE PENETRATION WILL BE IN COMPLIANCE WITH IBC 2015 CHAPTER 7 REQUIREMENTS FOR WALL PENETRATIONS.

THIS PROJECT WILL REMAIN FULLY SPRINKLERED, MEETING IBC AND CITY OF BOULDER REQUIREMENTS. ANYTHING ENTERING/EXITING RATED ASSEMBLIES WILL BE IN COMPLIANCE.

**STAIR CALCULATION**  
NO EXIT STAIRS IN PROJECT.

**EXIT DOOR CALCULATION**  
SEE A002

**PROJECT ESTIMATE**  
AREA OF REMODEL  
FIRST FLOOR 16,621 S.F.

### PLUMBING FIXTURE COUNT

SEE A002

### ADA COMPLIANCE

SEE A003 FOR TYPICAL GRAB BAR HEIGHTS, FIXTURE AND TOILET ACCESSORY HEIGHTS, DOOR CLEARANCES, SWITCHES AND CABINET LOCATIONS AND DIMENSIONS.

TYPICAL SYSTEM FURNITURE MOUNTING HEIGHTS ON SHEETS A104, A105, AND A106.



1 SITE PLAN  
1" = 200'-0"

### PROJECT DATA

**PROJECT ADDRESS:**  
1333 Iris Avenue, Boulder, CO 80304

**PROJECT DESCRIPTION:**  
Interior renovation of portion of first floor of County office building. Electrical and lighting upgrades. Some mechanical changes. Conversion of office space to break room, removal of 1 toilet room and 1 sink.

**VERTICAL DATUM:**  
0'-0" = First Floor Finish

No additional square footage is added with this remodel. Basement (without windows) to be classified as "not suitable for County use" = unoccupied.

### PARCEL INFORMATION:

Property Address 1333 Iris Avenue  
City Boulder  
County County of Boulder  
Parcel Number 148319200068  
Mailing Address PO Box 471  
City, State, Zip Boulder CO 80306-0471  
Jurisdiction Boulder  
Square Feet 782,558  
Acres 17.51

### RENOVATION SQUARE FOOTAGE:

BUILDING TOTAL: 1ST FLOOR 28,428 SF  
BASEMENT FLOOR 4,826 S.F. = UNOCCUPIED  
REMODEL: 16,621 SF

### PROJECT DIRECTORY

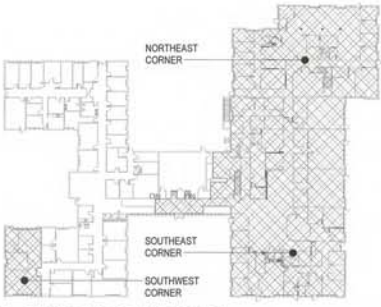
**OWNER:**  
BOULDER COUNTY  
P.O. BOX 471  
BOULDER, CO 80306

**ARCHITECT:**  
BOULDER COUNTY ADMIN. SERVICES  
BUILDING SERVICES DIVISION  
2020 13TH ST  
BOULDER, CO 80302  
ARCHITECT OF RECORD: MACKENZIE SCHOFFS  
mschoffs@bouldercounty.org  
303-441-3187

**MECHANICAL ENGINEER:**  
PCD ENGINEERING  
323 3RD AVENUE, #100  
LONGMONT, CO 80501  
MECH. ENGINEER: PETER D'ANTONIO  
peter@pcdenengineering.com  
303-678-1108 x707  
EMILY ENGINEER: EMILY JACOBSON  
emily@pcdenengineering.com  
303-678-1108 x703

**GENERAL CONTRACTOR:**  
BOULDER COUNTY ADMIN. SERVICES  
BUILDING SERVICES DIVISION  
2020 13TH ST  
BOULDER, CO 80302  
MARC DOMINGUEZ: 303-994-1623  
mrdomingue@bouldercounty.org

**ELECTRICAL CONTRACTOR:**  
BOULDER COUNTY ADMIN. SERVICES  
BUILDING SERVICES DIVISION  
2020 13TH ST  
BOULDER, CO 80302  
MARTIN MARINO: 303-434-4834  
mmarino@bouldercounty.org



2 BUILDING DIAGRAM  
1" = 40'-0"

### SHEET INDEX

A001	COVER SHEET
A002	EGRESS PLAN
A003	EXISTING LANDSCAPE SITE PLAN
AD101	FIRST FLOOR DEMOLITION PLAN
AD102	REFLECTED CEILING DEMOLITION PLAN
A101	FIRST FLOOR REMODEL PLAN
A102	FIRST FLOOR REFLECTED CEILING PLAN
A103	FIRST FLOOR FINISH PLAN
A104	FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE ELEVATIONS
A105	FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE ELEVATIONS
A106	FIRST FLOOR ENLARGED FURNITURE PLAN AND OFFICE ELEVATIONS
A401	ENLARGED PLANS
A402	ENLARGED PLANS
A403	INTERIOR ELEVATIONS AND ADA MOUNTING HEIGHTS
A404	INTERIOR ELEVATIONS
A601	DOOR SCHEDULE
A602	DOOR ELEVATIONS AND DETAILS
A603	FINISH SCHEDULE AND WALL TYPES
A604	COMMERCIAL MANDATORY MEASURES
MP0.1	MECHANICAL LEGENDS & NOTES
MP0.2	MECHANICAL NOTES
MP0.3	MECHANICAL SCHEDULES & DETAILS
MP0.4	MECHANICAL VENTILATION CALCULATIONS
MP0.5	BOULDER ENERGY CODE CHECKLISTS
M1.0	MECHANICAL SOUTH PLAN
M1.1	MECHANICAL NORTH AND ROOF PLANS
P1.0	PLUMBING PLANS
E-000	COVER SHEET
ED-111	FIRST FLOOR POWER DEMO PLAN
ED-121	FIRST FLOOR REFLECTED CEILING DEMO PLAN
E-111	FIRST FLOOR REMODEL POWER PLAN
E-112	PARTIAL ROOF PLAN
ED-121	FIRST FLOOR REFLECTED CEILING REMODEL PLAN
ED-500	ELECTRICAL ONE LINE DEMOLITION
E-500	ELECTRICAL ONE LINE
E-600	ELECTRICAL SCHEDULES AND DETAILS
E-601	ENERGY CONSERVATION COMPLIANCE



BOULDER COUNTY  
1333 IRIS REMODEL

**PROJECT**  
1333 IRIS REMODEL

**LOCATION**  
1333 IRIS AVE.  
BOULDER, COLORADO  
80304

**SHEET**  
COVER SHEET

**FILE NAME**  
1333 IRIS REMODEL - 100  
1333 IRIS REMODEL - 100  
1333 IRIS REMODEL - 100

**ACCT** 130086  
**DATE** 12/13/2019  
**DRAWN BY** MACKENZIE SCHOFFS  
**CHECKED BY** JACQUELYNNE

**REVISIONS**

**SHEET**  
A001

# PLUMBING FIXTURE COUNT

FIXTURE COUNT BELOW VERIFIES EXISTING COMPLIANCE

## APPLICABLE CODE REFERENCES

TABLE 502.1  
 BUSINESS w/ SOME UNCONCENTRATED ASSEMBLY (County Government offices) = 100 S.F. PER OCCUPANT

1 WC PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR REMAINDER EXCEEDING 50.

1 LAV PER 40 FOR FIRST 80 AND 1 PER 80 REMAINING AFTER 80

1 DRINKING FOUNTAIN PER 100 (Required for occupant loads > 15)

1 MOP SINK (Required for occupant loads > 15)

419.2 IPC = SUBSTITUTION FOR WATER CLOSETS. IN EACH BATHROOM OR TOILET ROOM URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67 PERCENT OF THE REQUIRED WATER CLOSETS IN ASSEMBLY AND EDUCATIONAL OCCUPANCIES. URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50 PERCENT OF THE REQUIRED WATER CLOSETS IN ALL OTHER OCCUPANCIES.

### FIRST FLOOR

#### 1ST FLOOR

28,978 S.F.

530 OCCUPANTS

#### FIXTURE COUNT

530/2 = 265 MALE / 265 FEMALE

REQUIRED WOMEN'S TOILETS = 265 FEMALE ÷ 6.3 = 7

REQUIRED MEN'S TOILETS = 265 MALE ÷ 6.3 = 7

TOTAL REQUIRED TOILETS = 14

EXISTING WOMEN'S TOILETS = 2 (WEST SIDE)

EXISTING MEN'S TOILETS = 2 + 1 + 1 URINAL (WEST SIDE)

EXISTING UNISEX TOILETS = 12

TOTAL EXISTING TOILETS = 16 > 14 REQUIRED

EXISTING MOP SINK = 1 MOP SINK

REQUIRED LAVATORIES = 7.6

EXISTING LAVATORIES IN TOILET ROOMS = 16

EXISTING LAVATORIES NOT IN TOILET ROOMS = 3

FLOOR:	WATER CLOSET	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS
BASEMENT	2	2	2	1		
FIRST	16	1	5	2	1	1
TOTALS	18	3	7	3	1	1

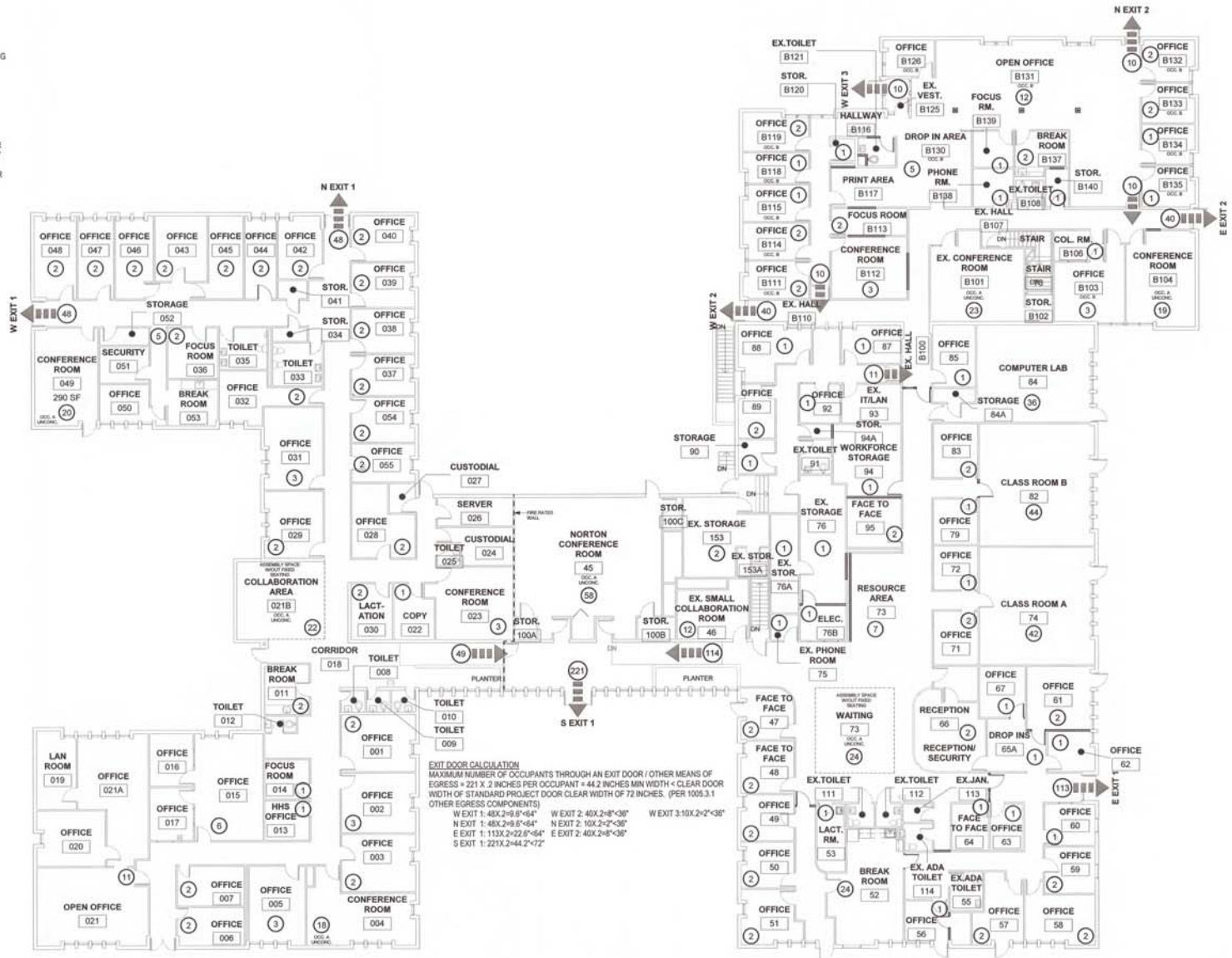
EXISTING FIXTURES COUNT

FLOOR:	WATER CLOSET	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS
BASEMENT	1	1	2			
FIRST	1	0	0	2	0	0
TOTALS	2	1	2	2	0	0

FIXTURES BEING REMOVED:

FLOOR:	WATER CLOSET	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS
BASEMENT	0	0	0	0	0	0
FIRST	0	0	0	2	0	0
TOTALS	0	0	0	2	0	0

FIXTURES BEING ADDED:



**EXIT DOOR CALCULATION**  
 MAXIMUM NUMBER OF OCCUPANTS THROUGH AN EXIT DOOR / OTHER MEANS OF EGRESS = 221 X 2 INCHES PER OCCUPANT + 44.2 INCHES MIN WIDTH + CLEAR DOOR WIDTH OF STANDARD PROJECT DOOR CLEAR WIDTH OF 72 INCHES. (PER 1009.3.1 OTHER EGRESS COMPONENTS)

W EXIT 1: 48X2+9'6"-64"    W EXIT 2: 40X2+8'-38"    W EXIT 3: 10X2+2'-38"  
 N EXIT 1: 113X2+22'8"-64"    N EXIT 2: 10X2+2'-38"    E EXIT 1: 48X2+9'6"-64"    E EXIT 2: 40X2+8'-38"  
 S EXIT 1: 221X2+44.2'-72"

**1** FIRST FLOOR EGRESS PLAN  
 A002 3/32" = 1'-0"



# BOULDER COUNTY

## 1333 IRIS REMODEL

PROJECT: 1333 IRIS REMODEL  
 LOCATION: 1333 IRIS AVE, BOULDER, COLORADO 80504  
 SHEET: EGRESS PLAN  
 FILE NAME: 1333 IRIS REMODEL 1333 BOULDER AVENUE 1333 BOULDER AVENUE 1333 BOULDER AVENUE  
 ACCT: 120056  
 DATE: 12/15/2018  
 DRAWN BY: M. SCHROEDER  
 CHECKED BY: J. BUTLER



**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

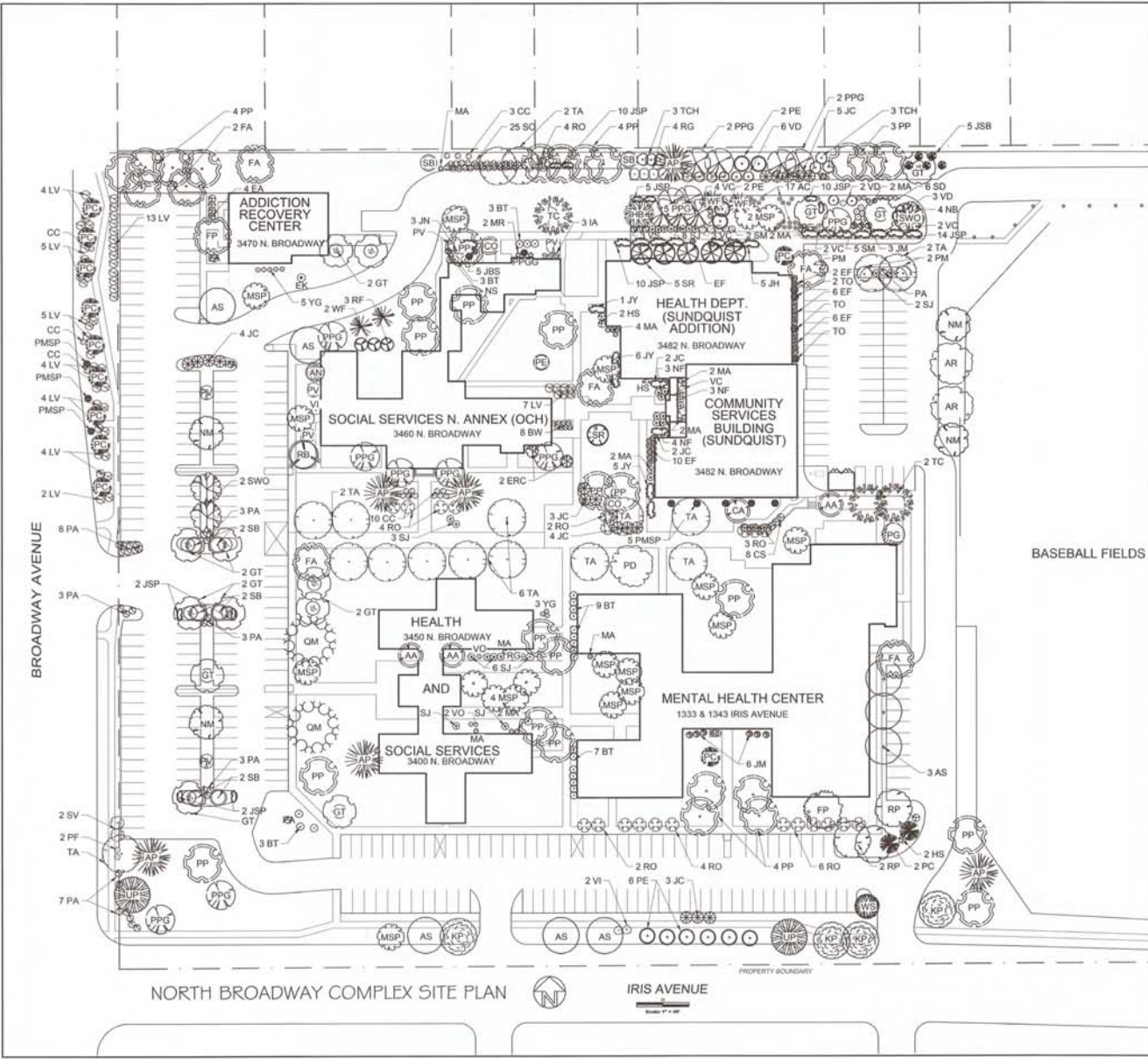
LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80506

SHEET  
 EXISTING LANDSCAPE SITE  
 PLAN

FILE NAME  
 1333 IRIS REMODEL 1333  
 1333 IRIS REMODEL 1333  
 1333 IRIS REMODEL 1333

ACCT 120696  
 DATE 12/15/2018  
 DRAWN BY M. SACHS  
 CHECKED BY J. BUTLER

SHEET  
**A003**



**IBC Landscaping Plants**

Evergreen Shrubs	Scientific Name	Common Name	Qty.
BSW	Buxus sempervirens	Bonewood	8
EP	Eucalyptus fulvum 'Viregata'	Viregated Wintergreen	15
JBL	Juniperus squarosa 'Blue Star'	Blue Star Juniper	5
JC	Juniperus communis	Common Juniper	25
JM	Juniperus x media	Hybrid Juniper	9
JN	Juniperus sibirica	Siberian Juniper	2
JSB	Juniperus sibirica 'Wolfs Blue'	Wolfs Blue Juniper	5
JSP	Juniperus horizontalis	Creeping Juniper	53
JT	Juniperus 'Youngblau'	Youngblau Juniper	12
MA	Malva aquatilis	Oregon Grape Holly	19
MR	Malva spicata	Creeping Malva	2
VA	Vaccinium glaucum	Vaccines	8

Evergreen Trees	Scientific Name	Common Name	Qty.
AP	Pinus alpestris	Alaskan Pine	6
ERIC	Juniperus virginiana	Eastern Red Cedar	2
NS	Pinus strobus	Norway Spruce	2
PPGG	Pinus pungens 'Vittoria'	Quart Globe Blue Spruce	1
PE	Pinus edulis	Pinon Pine	11
PP	Pinus mugo	Creeping Pine	33
FRAG	Pinus mugo	Creeping Pine	8
FRD	Pinus pungens	Blue Spruce	17
PP	Pinus ponderosa	Ponderosa Pine	31
TO	Thuja occidentalis	Arborvitae	4
WSP	Abies concolor	White Fir	4
WS	Pinus glauca 'Vigor'	Vires White Spruce	1

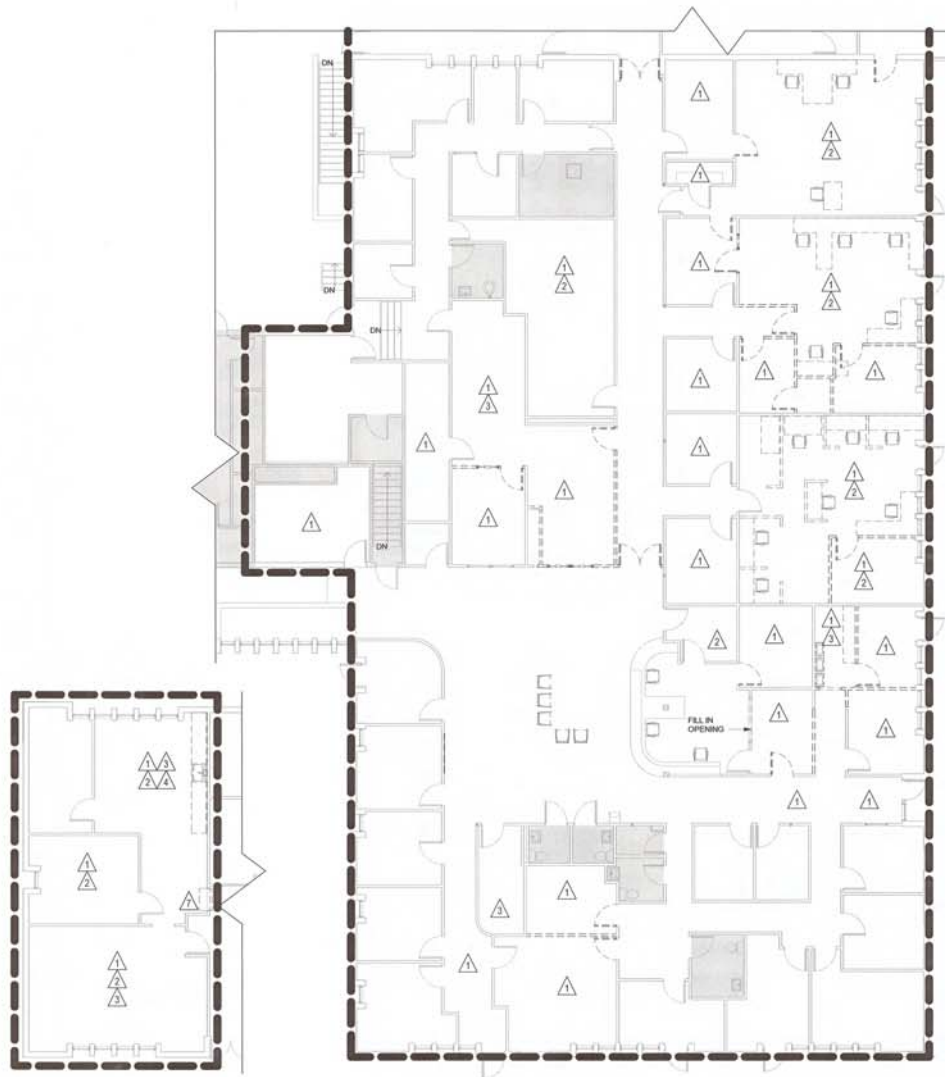
  

Deciduous Shrubs	Scientific Name	Common Name	Qty.
AC	Amorpha canescens	Lindbark	17
BD	Buddleia davidii	Butterfly Bush	1
BT	Baccharis floribunda	Sheepscot	23
BTP	Baccharis thurbergii 'Pygmy'	Pygmy Sheepsfoot	2
CC	Caryophyllus clandestinus	Blue Star Spirea	18
CS	Cornus sericea	Red osier Dogwood	8
EA	Eucalyptus nitens	Flamingo Bush	3
EC	Eucalyptus macrocarpa 'Mandarin'	Mandarin Eucalyptus	1
IA	Ilex aquifolium	Common Holly	9
JN	Juniperus nana	Wilder Juniper	3
LV	Liquidambar styraciflua	Starbuck Tree	5
FA	Fraxinus arbuscula	Russian Sage	30
PP	Prunella latifolia	Prunella	2
PV	Prunus virginiana	Chokeberry	8
RD	Rosa glauca	Smooth Rose	5
RD	Rosa	Rose	25
RSP	Rhododendron sp.	Rhododendron	1
SD	Spiraea douglasii	Douglas Spiraea	8
SJ	Spiraea japonica 'Anthony Waterer'	Japanese Spiraea	21
SM	Spiraea japonica 'Palmer'	Dwarf Korean Lily	7
SO	Symphoricarpos occidentalis	Western Snowberry	25
SV	Syringa vulgaris	Common Lilac	2
VC	Viburnum cedricum	Common Spice	13
VD	Viburnum dentatum	Arrowwood Viburnum	11
VO	Viburnum opulus	Opulder Bush	3
VI	Viburnum lentago	Hairyberry Viburnum	3
VS	Spiraea x vanhouttei	Vanhouttei Spirea	4

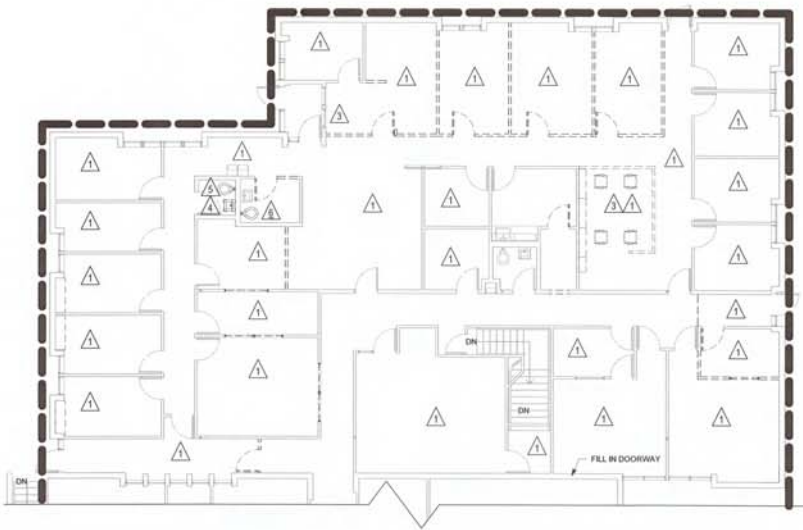
Deciduous Trees	Scientific Name	Common Name	Qty.
AA	Asterias triflorus	Tree of Heaven	3
AG	Acer glabrum	Glenn's Maple	1
AM	Acer negundo	Northern	1
AR	Acer rubrum	Red Maple	3
AS	Acer saccharinum	Green Maple	8
CA	Catalpa speciosa	Northern Catalpa	1
CO	Cornus alternifolia	Sweetgum	2
FA	Fraxinus americana	White Ash	8
FR	Fraxinus pennsylvanica	Green Ash	1
GT	Gleditsia triacanthos var. inermis 'Skyline'	Honeylocust - Skyline	14
HB	Hamamelis virginiana	Witchhazel	1
HP	Hamamelis virginiana	Witchhazel	4
LEPP	Liquidambar styraciflua	Starbuck Tree	18
MC	Malva alcea	Norway Maple	13
PI	Pinus strobus	Creeping Pine	4
PP	Pinus strobus	Pinon Pine	13
CS	Quercus macrocarpa	White Oak	2
RD	Rosa carolina	Rose	1
RP	Rhus glabra 'Columbian'	Columbian Buckthorn	3
SP	Spiraea japonica	Black Locust	3
SR	Syringa reticulata	Japanese Lilac Tree	8
SWO	Quercus laevis	Swamp White Oak	2
TA	Tilia americana	Linden	17
TCH	Thuja occidentalis var. japonica	Japanese Cedar	1
TC	Tilia cordata	White Leaf Linden	3
UP	Ulmus pumila	Siberian Elm	2

**1** EXISTING LANDSCAPE SITE PLAN  
 A003 1/8" = 1'-0"



3  
AD101  
SOUTHWEST CORNER  
DEMOLITION PLAN  
1/8" = 1'-0"

2  
AD101  
SOUTHEAST CORNER  
DEMOLITION PLAN  
1/8" = 1'-0"



1  
AD101  
NORTHEAST CORNER  
DEMOLITION PLAN  
1/8" = 1'-0"

DEMOLITION PLAN LEGEND	
	FLOORING & BASE TO BE REMOVED. PREP FOR NEW FLOORING.
	REMOVE EXISTING HERMAN MILLER FURNITURE AND BUILT-IN WORK STATIONS.
	REMOVE EXISTING CASEWORK/SHELVING.
	REMOVE EXISTING SINK AND CAP.
	REMOVE EXISTING TOILET AND CAP.
	REMOVE EXISTING TOILET. SAVE AND PREP FOR REINSTALLATION.
	REMOVE EXISTING COILING DOOR AND FRAME. FILL IN SPACE WITH DRYWALL. FINISH TO MATCH ADJACENT WALL FACE.
	PROJECT BOUNDARY
	EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.
	EXISTING DOOR AND FRAME TO BE REMOVED.
	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE REMOVED.
	AREA NOT IN SCOPE. TO REMAIN AS IS.



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80504

SHEET  
FIRST FLOOR DEMOLITION  
PLAN

FILE NAME  
SHEET MANAGEMENT: 08\_1333 IRIS REMODEL (08/2013)  
08/2013

ACCT 130088  
DATE: 12/15/2013  
DRAWN BY: M. SCHROEDER  
CHECKED BY: J. BUTLER

REVISIONS

SHEET  
AD101

**DEMOLITION PLAN LEGEND**

- |   |  |     |   |
|---|--|-----|---|
| △ | EXISTING CEILING TO BE REMOVED.  | —   | PROJECT BOUNDARY  |
| △ | RECONFIGURE EXISTING MECHANICAL, RE-MECHANICAL.  | □   | EXISTING CEILING TO REMAIN, PROTECT DURING CONSTRUCTION, CLEAN GRID, REPLACE DAMAGED/STAINED TILES. |
| △ | EXISTING LIGHTING TO BE REMOVED, RECONFIGURED, AND UPDATED TO NEW STANDARD ZIG, RE-ELECTRICAL. | ▨   | EXISTING CEILING TO BE REMOVED.   |
| △ | EXISTING SPRINKLER LAYOUT TO BE RECONFIGURED, RE-FIRE PROTECTION.                              | --- | EXISTING WALL TO REMAIN.  |
|   |  | --- | EXISTING WALL TO BE REMOVED.  |
|   |  | □   | EXISTING LIGHT TO REMAIN.   |
|   |  | ▨   | EXISTING LIGHT TO BE REMOVED.   |
|   |  | □   | EXISTING MECHANICAL TO REMAIN.  |
|   |  | ▨   | EXISTING MECHANICAL TO BE REMOVED.  |
|   |  | ■   | AREA NOT IN SCOPE, TO REMAIN AS IS.   |



**BOULDER COUNTY**  
1333 IRIS REMODEL

**PROJECT**  
1333 IRIS REMODEL

**LOCATION**  
1333 IRIS AVE.  
BOULDER, COLORADO  
80504

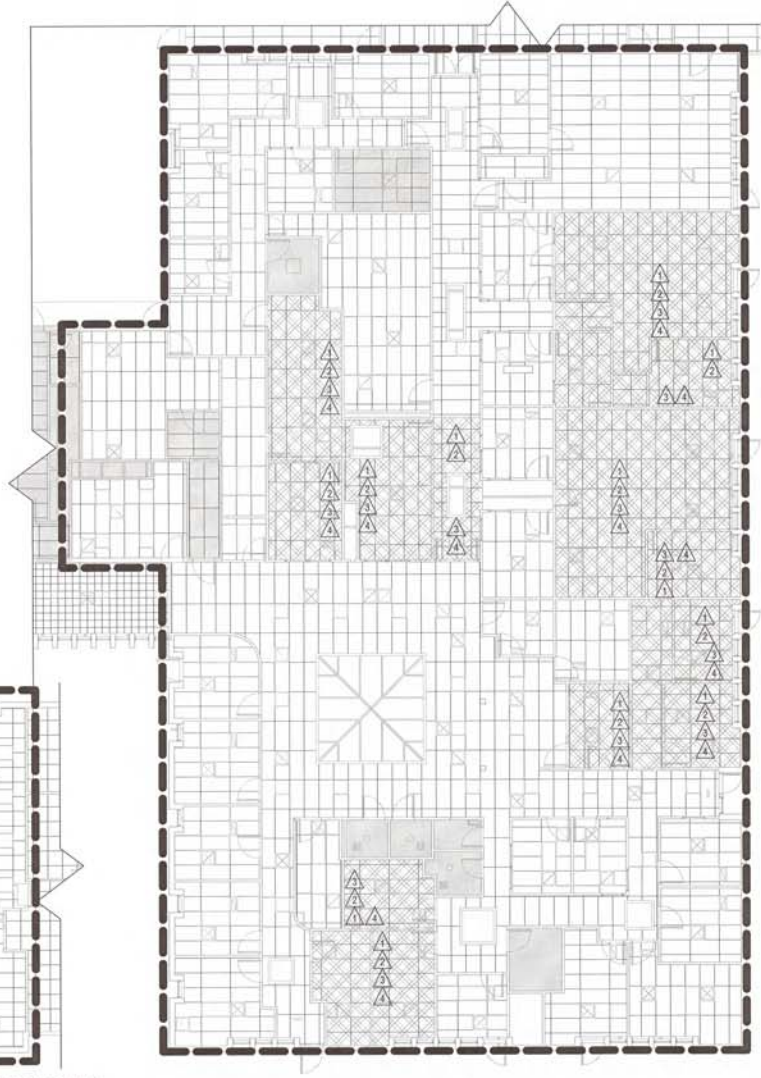
**SHEET**  
REFLECTED CEILING  
DEMOLITION PLAN

**FILE NAME**  
1333IRIS-DEMOLITION-REFLECTED-CEILING-PLAN.dwg

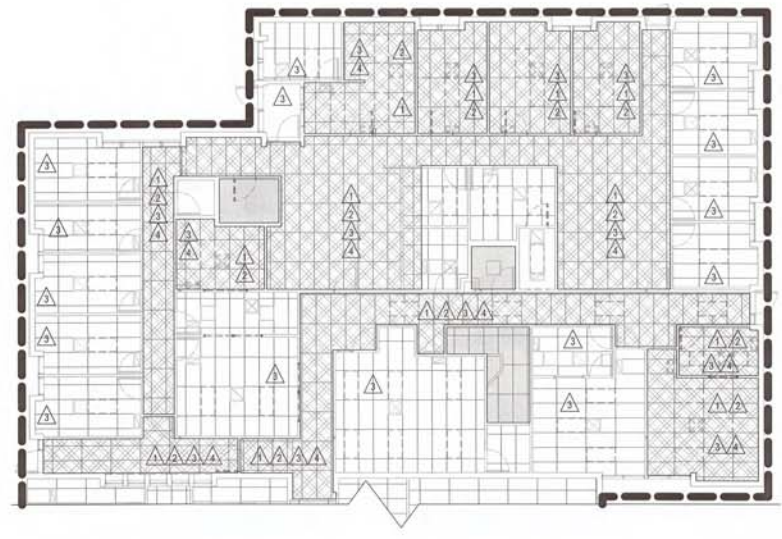
**ACCT** 120095  
**DATE** 10/25/2018  
**DRAWN BY** M. GARDNER  
**CHECKED BY** J. BUTLER

**REVISIONS**

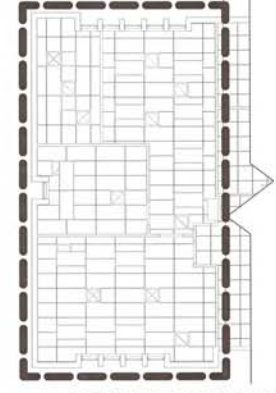

**SHEET**  
AD102



**2**  
AD102  
**SOUTHEAST CORNER**  
DEMOLITION REFLECTED CEILING PLAN  
1/8" = 1'-0"



**1**  
AD102  
**NORTHEAST CORNER**  
DEMOLITION REFLECTED CEILING PLAN  
1/8" = 1'-0"



**3**  
AD102  
**SOUTHWEST CORNER**  
DEMOLITION REFLECTED CEILING PLAN  
1/8" = 1'-0"



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80506

SHEET  
FIRST FLOOR REMODEL PLAN

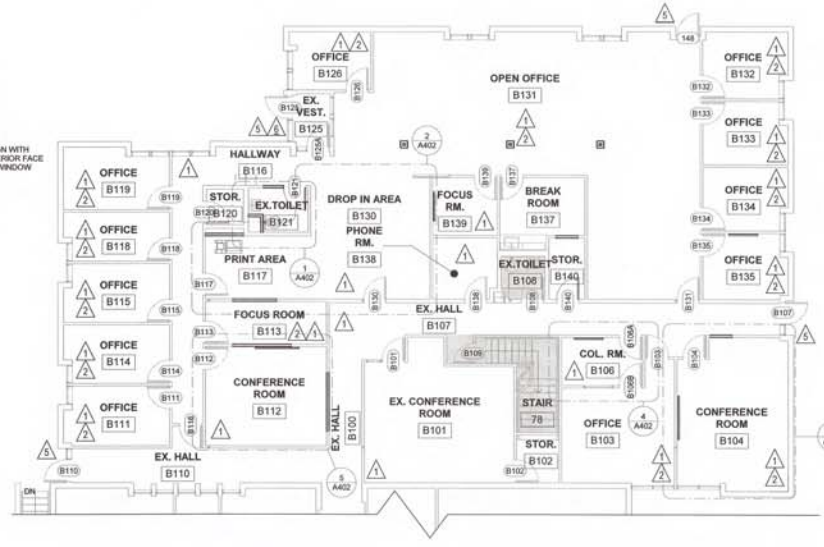
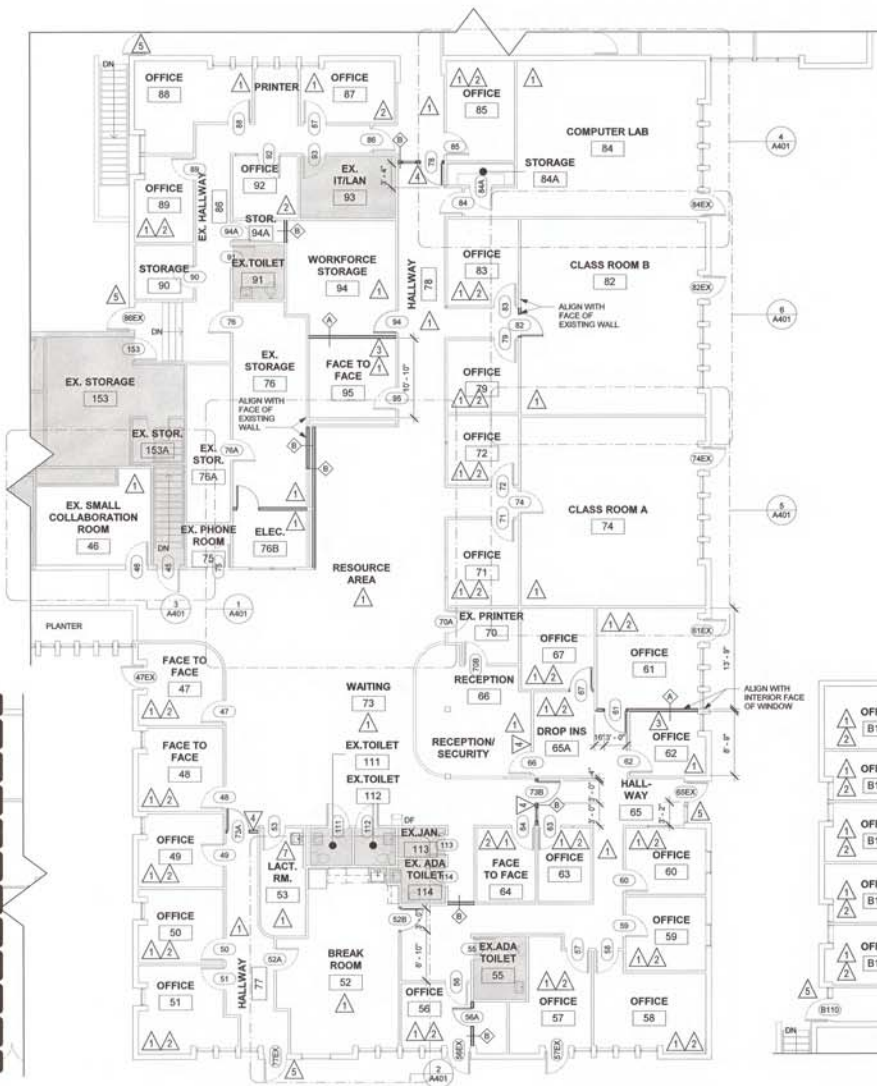
FILE NAME  
1333 IRIS REMODEL 1333 IRIS REMODEL 1333 IRIS REMODEL

ACCT 120066  
DATE: 12/13/2018  
DRAWN BY: BLS/CHOCHE  
CHECKED BY: J. BUTLER

REVISIONS

SHEET  
**A101**

PLAN LEGEND			
	NEW FLOORING.		EXISTING DOOR AND FRAME. PROTECT DURING CONSTRUCTION.
	NEW HERMAN MILLER LAYOUT.		NEW DOOR AND FRAME.
	INSULATE NEW WALL.		EXISTING WALL.
	NEW CARD ACCESS.		NEW WALL.
	EXISTING CARD ACCESS.		AREA NOT IN SCOPE. TO REMAIN AS IS.
	NEW REMOTE DOOR RELEASE.		
	MINI FRIDGE.		



**3**  
A101  
SOUTHWEST CORNER  
REMODEL PLAN  
1/8" = 1'-0"

**2**  
A101  
SOUTHEAST CORNER  
REMODEL PLAN  
1/8" = 1'-0"

**1**  
A101  
NORTHEAST CORNER  
REMODEL PLAN  
1/8" = 1'-0"





**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80504

SHEET  
 FIRST FLOOR REFLECTED  
 CEILING PLAN

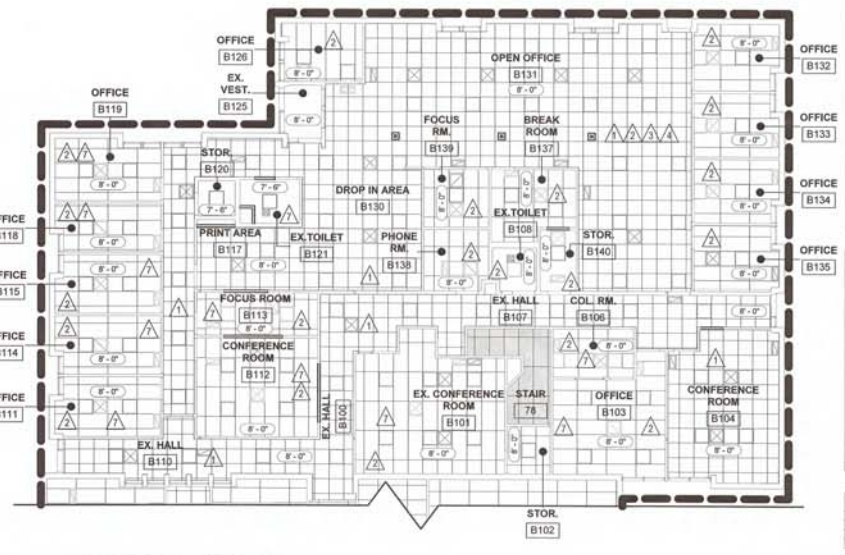
FILE NAME  
 1333 IRIS REMODEL - 1333  
 1333 IRIS REMODEL - 1333

ACCT 120095  
 DATE: 12/13/2019  
 DRAWN BY: JLS/CHD/SES  
 CHECKED BY: JLS/LES/SES

REVISIONS

**PLAN LEGEND**

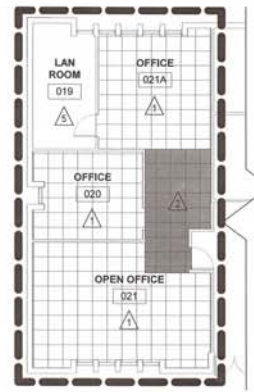
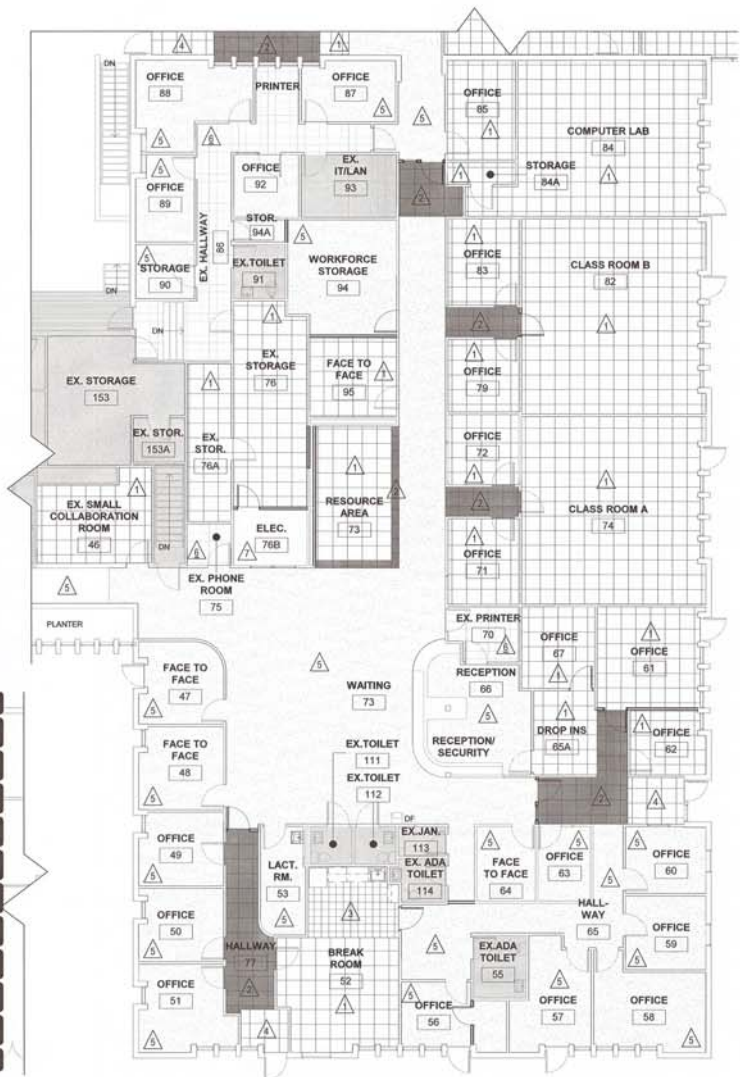
	NEW CEILING.		PROJECT BOUNDARY
	RECONFIGURED LIGHTING RE-ELECTRICAL.		EXISTING CEILING. PROTECT DURING CONSTRUCTION.
	RECONFIGURED MECHANICAL RE-MECHANICAL.		NEW CEILING.
	RECONFIGURED SPRINKLER LAYOUT. RE-MECHANICAL/PLUMBING		EXISTING WALL.
	EX. SKYLIGHT TO REMAIN.		NEW WALL.
	EX. CEILING, LIGHTING, MECHANICAL, AND SPRINKLER TO REMAIN.		EXISTING LIGHT.
	EX. CEILING TO REMAIN. LIGHTING AND MECHANICAL TO BE ADJUSTED.		NEW LIGHT.
			EXISTING MECHANICAL.
			NEW MECHANICAL.
			AREA NOT IN SCOPE. TO REMAIN AS IS.



**3**  
 A102  
 SOUTHWEST CORNER  
 REFLECTED CEILING  
 PLAN  
 1/8" = 1'-0"

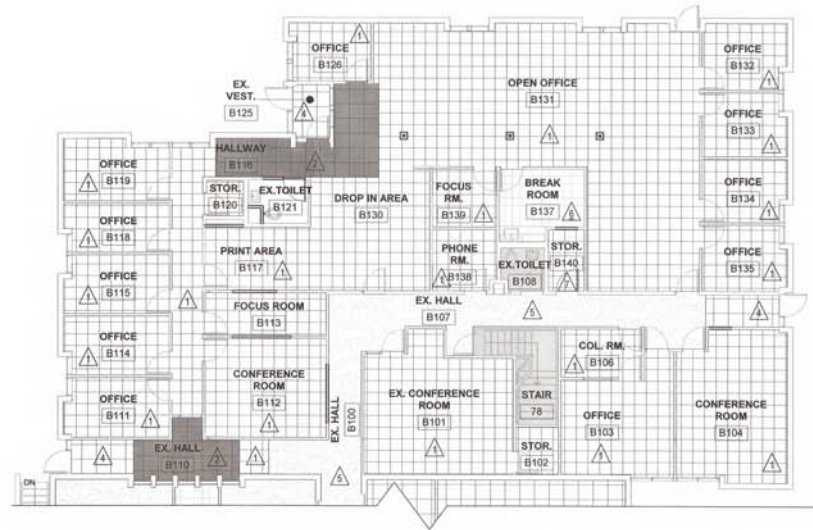
**2**  
 A102  
 SOUTHEAST CORNER  
 REFLECTED CEILING  
 REMODEL PLAN  
 1/8" = 1'-0"

**1**  
 A102  
 NORTHEAST CORNER  
 REFLECTED CEILING  
 REMODEL PLAN  
 1/8" = 1'-0"



**3**  
A103  
SOUTHWEST CORNER  
FINISH PLAN  
1/8" = 1'-0"

**2**  
A103  
SOUTHEAST CORNER  
FINISH PLAN  
1/8" = 1'-0"



**1**  
A103  
NORTHEAST CORNER  
FINISH PLAN  
1/8" = 1'-0"

PLAN LEGEND	
	NEW FIELD CARPET TO MATCH EXISTING.
	NEW ACCENT CARPET.
	NEW VCT.
	NEW WALK-OFF CARPET.
	EXISTING CARPET. PROTECT DURING CONSTRUCTION.
	EXISTING VCT. PROTECT DURING CONSTRUCTION.
	CLEAN CONCRETE SLAB AND SEAL.
	PROJECT BOUNDARY
	EXISTING CARPET.
	EXISTING VCT.
	NEW FIELD CARPET.
	NEW ACCENT CARPET.
	NEW VCT.
	AREA NOT IN SCOPE. TO REMAIN AS IS.



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT:  
1333 IRIS REMODEL

LOCATION:  
1333 IRIS AVE.  
BOULDER, COLORADO  
80506

SHEET:  
FIRST FLOOR FINISH PLAN

FILE NAME:  
1333 IRIS REMODEL - 1000  
WATERMARK - 10/20/18

ACCT: 120666  
DATE: 12/13/2019  
DRAWN BY: M. SCHROEDER  
CHECKED BY: J. BUTLER

REVISIONS:



**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

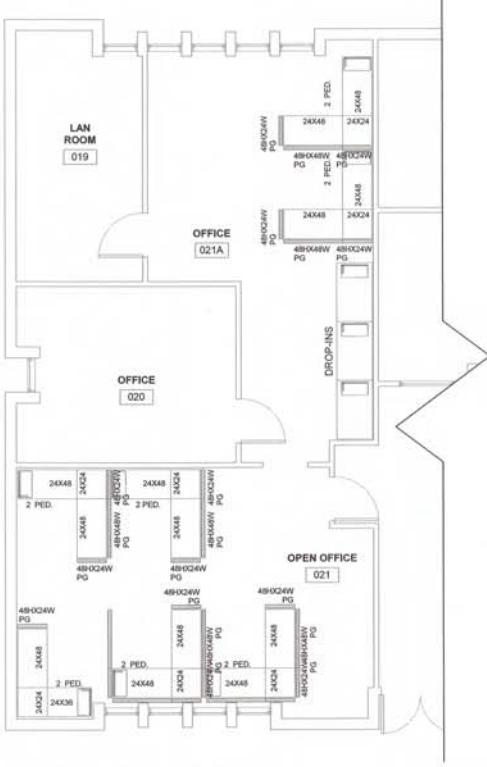
LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80504

SHEET  
 FIRST FLOOR ENLARGED  
 FURNITURE PLAN AND  
 OFFICE ELEVATIONS  
 FILE NAME  
 1333 IRIS REMODEL - 010 -  
 1333 IRIS REMODEL - 010 - 010

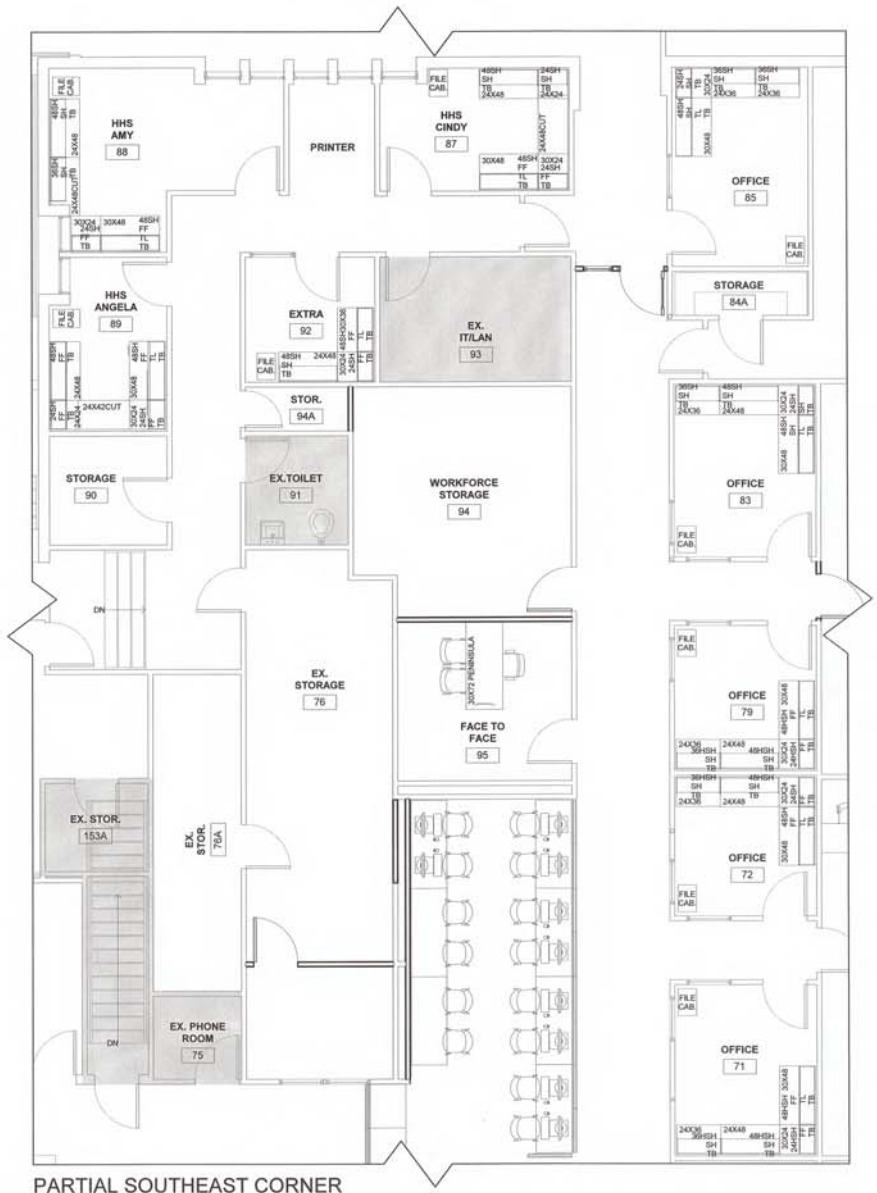
ACCT 120066  
 DATE: 02/25/2019  
 DRAWN BY: M. SCHROEDER  
 CHECKED BY: J. BUTLER

REVISIONS

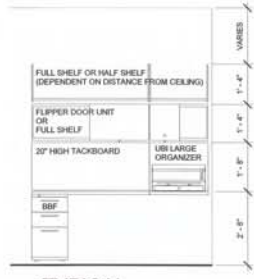
SHEET  
**A104**



**3**  
 A104  
 SOUTHWEST CORNER  
 ENLARGED FURNITURE PLAN  
 1/4" = 1'-0"

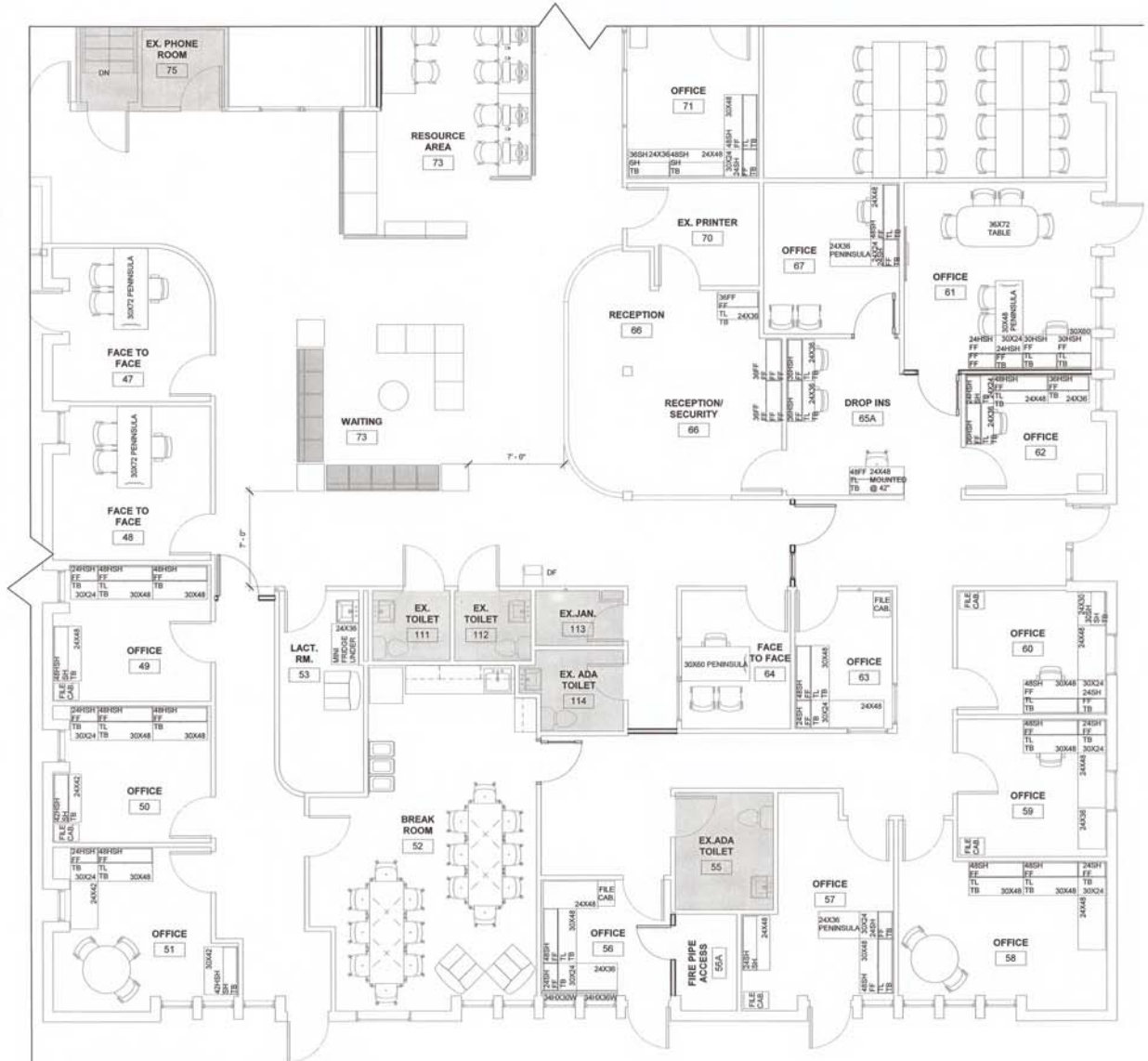


**1**  
 A104  
 PARTIAL SOUTHEAST CORNER  
 ENLARGED FURNITURE PLAN  
 UPPER PORTION  
 1/4" = 1'-0"

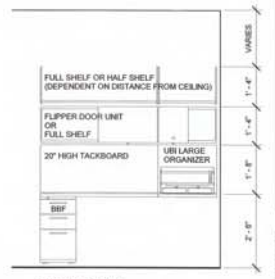


**2**  
 A104  
 TYPICAL  
 HERMAN MILLER  
 MOUNTING HEIGHTS  
 1/2" = 1'-0"

**BOULDER COUNTY**  
 1333 IRIS REMODEL



**1**  
**A105**  
 PARTIAL SOUTHEAST CORNER  
 ENLARGED FURNITURE PLAN  
 LOWER PORTION  
 1/4" = 1'-0"



**2**  
**A105**  
 TYPICAL  
 HERMAN MILLER  
 MOUNTING HEIGHTS  
 1/2" = 1'-0"



**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

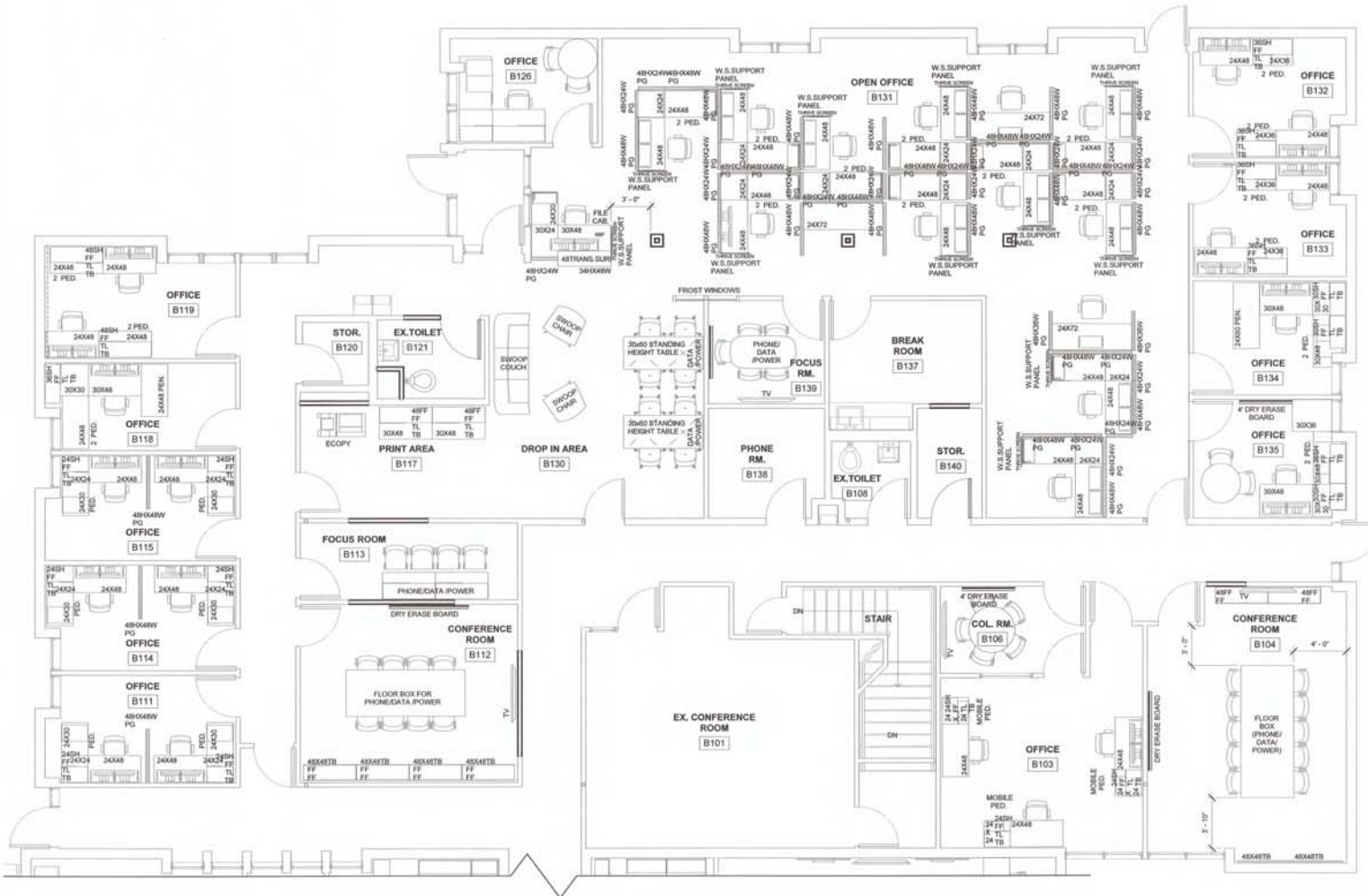
LOCATION  
 1333 IRIS AVE  
 BOULDER, COLORADO  
 80504

SHEET  
 FIRST FLOOR ENLARGED  
 FURNITURE PLAN AND  
 OFFICE ELEVATIONS  
 FILE NAME  
 1333 IRIS REMODEL - 1333  
 1333 IRIS REMODEL - 1333

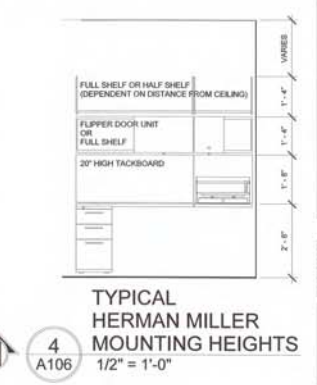
ACCT 520099  
 DATE: 12/12/2018  
 DRAWN BY: M.S. CHOICE  
 CHECKED BY: J. BUTLER

REVISIONS

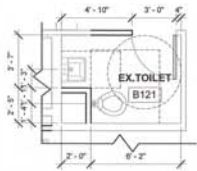

SHEET  
**A106**



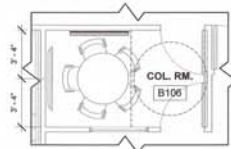
**1**  
 A106  
 NORTHEAST CORNER  
 ENLARGED FURNITURE PLAN  
 1/4" = 1'-0"



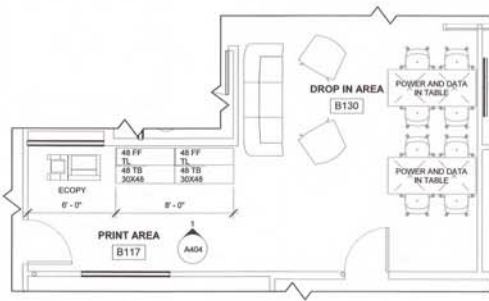




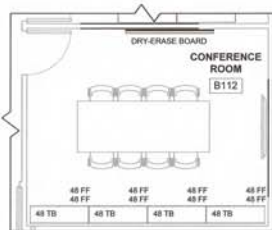
1  
A402 NORTH WING  
ADA TOILET ROOM  
1/4" = 1'-0"



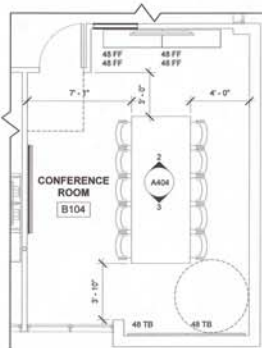
4  
A402 NORTH WING  
SMALL COLLABORATION ROOM  
1/4" = 1'-0"



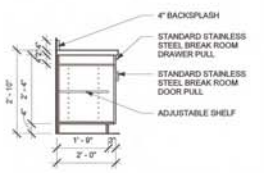
2  
A402 NORTH WING  
CASUAL WORK AREA AND PRINT AREA  
1/4" = 1'-0"



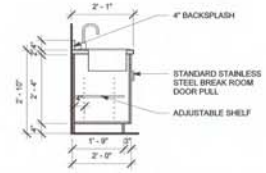
5  
A402 NORTH WING  
CONFERENCE ROOM 2  
1/4" = 1'-0"



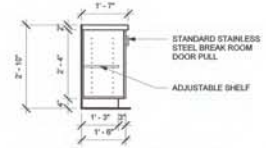
3  
A402 NORTH WING  
CONFERENCE ROOM 1  
1/4" = 1'-0"



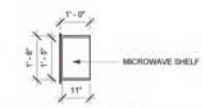
**1**  
 A403  
**2 DRAWER 2 DOOR  
 BASE CABINET SECTION**  
 1/2" = 1'-0"



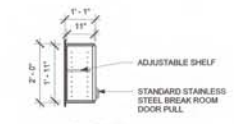
**2**  
 A403  
**2 DOOR SINK  
 BASE CABINET SECTION**  
 1/2" = 1'-0"



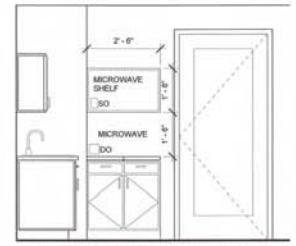
**3**  
 A403  
**2 DOOR SHALLOW  
 BASE CABINET SECTION**  
 1/2" = 1'-0"



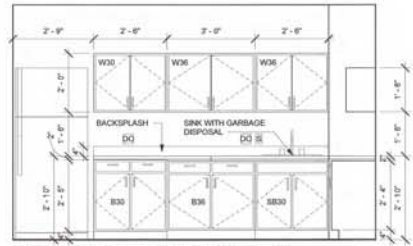
**4**  
 A403  
**MICROWAVE  
 WALL CABINET SECTION**  
 1/2" = 1'-0"



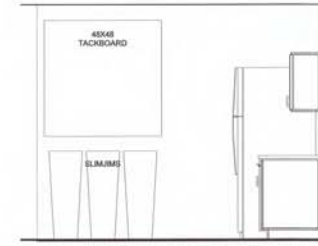
**5**  
 A403  
**2 DOOR  
 WALL CABINET SECTION**  
 1/2" = 1'-0"



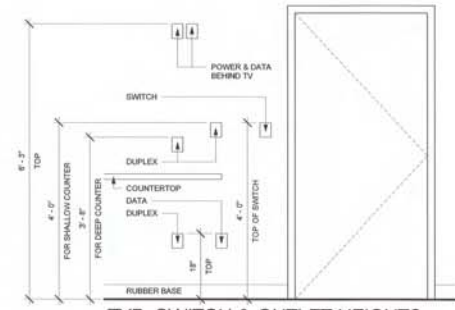
**6**  
 A403  
**BREAK ROOM ELEVATION  
 EAST WALL**  
 1/2" = 1'-0"



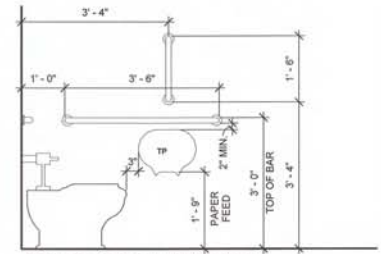
**7**  
 A403  
**BREAK ROOM ELEVATION  
 NORTH WALL**  
 1/2" = 1'-0"



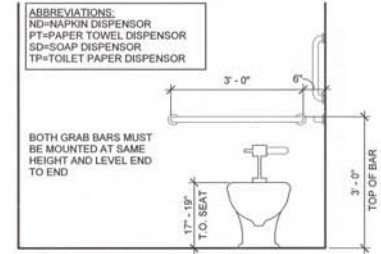
**8**  
 A403  
**BREAK ROOM ELEVATION  
 WEST WALL**  
 1/2" = 1'-0"



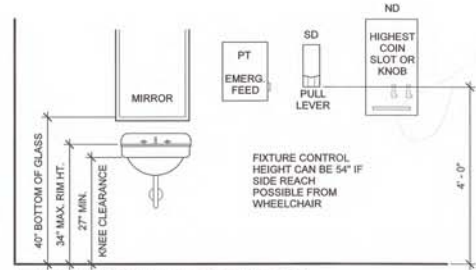
**TYP. SWITCH & OUTLET HEIGHTS**



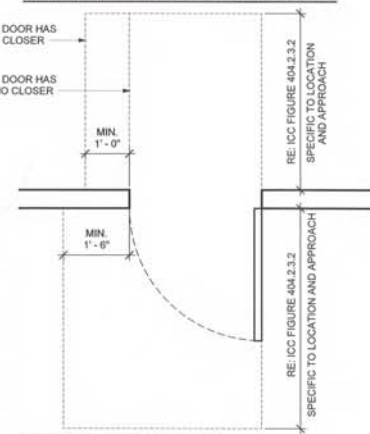
**TOILET SIDE ELEVATION**



**TOILET FRONT ELEVATION**



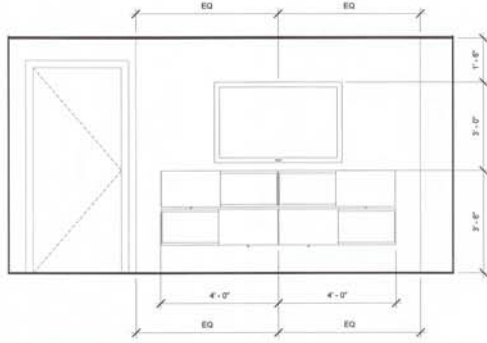
**LAV, MIRROR & ACCESSORIES**



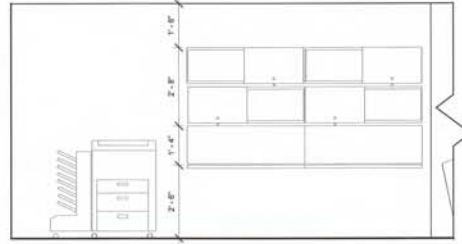
**DOOR CLEARANCES**

**9**  
 A403  
**ADA MOUNTING HEIGHTS**  
 3/4" = 1'-0"

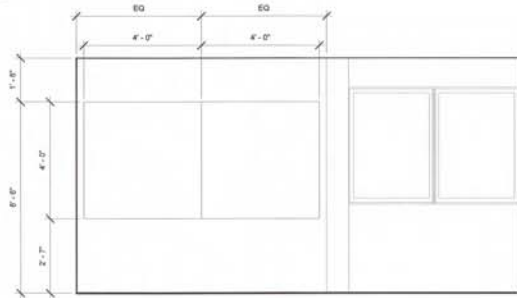




**2**  
A404  
NORTH WING  
CONFERENCE ROOM 1 NORTH ELEVATION  
1/2" = 1'-0"



**1**  
A404  
NORTH WING  
PRINT AREA ELEVATION  
1/2" = 1'-0"



**3**  
A404  
NORTH WING  
CONFERENCE ROOM 1 SOUTH ELEVATION  
1/2" = 1'-0"



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80504

SHEET  
INTERIOR ELEVATIONS

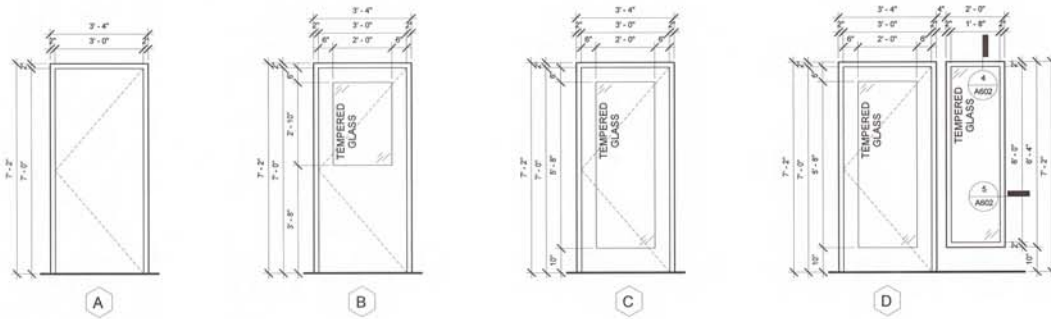
FILE NAME  
13333 IRIS REMODEL 1333 IRIS AVE  
1333 IRIS AVE BOULDER CO 80504

ACCT 120096  
DATE 12/15/2018  
DRAWN BY M. SCHROEDER  
CHECKED BY J. BUTLER

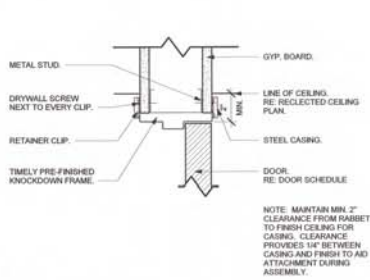
REVISIONS


SHEET  
**A404**

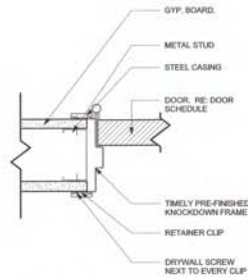




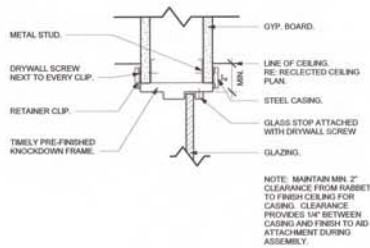
1 DOOR TYPES  
A602 1/2" = 1'-0"



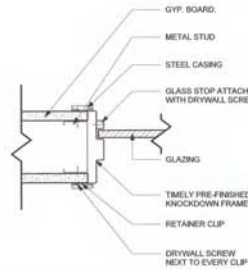
2 DOOR HEAD  
A602 3" = 1'-0"



3 DOOR JAMB  
A602 3" = 1'-0"



4 WINDOW HEAD  
A602 3" = 1'-0"



5 WINDOW JAMB  
A602 3" = 1'-0"



**Commercial Mandatory Measures Checklist**

Approved January 1, 2020 by the Board of Health and Environment. This checklist is designed to ensure compliance through the performance of appropriate tasks. Please complete this checklist and submit it to the "Project Administrator" listed within the plan along with the permit application.

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.01	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.02	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.03	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.04	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.05	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.06	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.07	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.08	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.09	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code



Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.10	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.11	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.12	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.13	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.14	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.15	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.16	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.17	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code

Code Section	Task Area	Task Description	Responsible Party	Submission Date	Plan Number Notes
2005.01.18	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code
2005.01.19	Signage	Signage must be installed in accordance with the requirements of the Colorado Signage Code, C.R.S. 12-10-101 through 12-10-105.	Owner	15 days prior to opening	See Signage Code



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT: 1333 IRIS REMODEL  
LOCATION: 1333 IRIS AVE, BOULDER, COLORADO 80504  
SHEET: COMMERCIAL MANDATORY MEASURES  
E.C. NAME: JAMES MANAGEMENT CORP. 222 EAST 10TH AVENUE, SUITE 200, BOULDER, CO 80502  
ACCT: 320088  
DATE: 12/13/2019  
DRAWN BY: JACOB  
CHECKED BY: CHUCK

REVISIONS

No.	Description

SHEET  
A604



**PLUMBING GENERAL NOTES**

- THE NEW PLUMBING SYSTEMS SHALL BE BY THE PLUMBING CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO:
  - THE PLUMBING FIXTURES AND EQUIPMENT AS SCHEDULED OR LISTED.
  - THE WATER DISTRIBUTION SYSTEMS WITH WATER SERVICE ENTRANCE, BACKFLOW PREVENTION, PRESSURE REGULATION, PIPING, VALVES, INSULATION, WATER HEATING EQUIPMENT, PUMPS, CONTROL SYSTEMS, ETC.
  - THE WASTE AND VENT SYSTEMS WITH PIPING, TRAPS, INTERCEPTORS, CLEANOUTS, VALVES, INSULATION, ETC.
- ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND/OR ORDINANCES, INCLUDING, BUT NOT LIMITED TO PIPE SIZE.
- CONTRACTOR SHALL MAINTAIN FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY LEAKS IN PIPING SYSTEMS WHICH HE HAS BUILT OR MODIFIED IN ANY WAY. ALL DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- PROJECT DESIGN CONDITIONS ARE:
  - LOCATION: BOULDER, COLORADO, BOULDER COUNTY.
  - SITE ELEVATION: 5413 FEET.
  - DOMESTIC WATER PROVIDED BY: CITY OF BOULDER WATER DEPARTMENT.
    - DESIGN CONDITIONS PER CITY WATER DEPARTMENT ARE:
      - MINIMUM DESIGN WATER PRESSURE: 50 PSI.
      - MAXIMUM DESIGN WATER PRESSURE: 75 PSI.
- INSTALL ALL PIPING TRUE AND PLUMB, PARALLEL, OR PERPENDICULAR TO BUILDING CONSTRUCTION. USE ONLY NEW MATERIALS, CLEAN AND FREE OF RUST.
- PROVIDE DIELECTRIC UNIONS AT ALL PIPING CONNECTIONS OF DISSIMILAR METALS.
- DOMESTIC WATER PIPING ABOVE GRADE:
  - TYPE "L" HARD DRAWN COPPER WITH WROUGHT COPPER SWEAT FITTINGS. USE ONLY CANFIELD 100% WATERSAFE SOLDER (95% TIN, 4% COPPER, 1% SILVER) OR APPROVED EQUAL. DO NOT USE LEAD OR ANTIMONY SOLDERS.
  - DOMESTIC WATER PIPING BELOW GRADE - TYPE "K" SOFT DRAWN COPPER WITH WROUGHT COPPER BRAZED FITTINGS. USE ONLY CANFIELD BRAZSAFE 56 BRAZING ALLOY OR APPROVED EQUAL. DO NOT USE LEAD OR ANTIMONY BRAZING ALLOYS. INSTALL WITHOUT JOINTS WHERE POSSIBLE. IF JOINTS ARE REQUIRED, LOCATE THEM ON THE RECORD DRAWINGS WITH DIMENSIONS TO WALLS OR OTHER REFERENCE POINTS.
  - INSULATE DOMESTIC HOT WATER PIPING AND HOT WATER RECIRCULATION PIPING ABOVE GRADE WITH 1" THICK SNAP-ON TYPE FIBERGLASS PIPE INSULATION WITH SELF SEALING ALL SERVICE JACKET, FLAME RETARDANT. INSULATE DOMESTIC COLD WATER PIPING ABOVE GRADE WITH 1/2" THICK SNAP-ON TYPE FIBERGLASS PIPE INSULATION WITH SELF SEALING ALL SERVICE JACKET, FLAME RETARDANT. ALL WATER VALVES AND FITTINGS SHALL BE INSULATED WITH MOLDED OR MITREED FIBERGLASS (SAME THICKNESS AS ASSOCIATED PIPING) FINISHED WITH A BRUSH COAT OF B.F. 3035. 4.02. CANVAS AND A SECOND COAT OF SEALANT. NO STAPLES SHALL BE USED ON WATER PIPE INSULATION.
  - INTERIOR SOIL, WASTE, AND VENT PIPING ABOVE GRADE - SERVICE WEIGHT IRON SOIL PIPE AND NO-HUB FITTINGS (PVC SCHEDULE 40 CORE PLASTIC PIPE AND FITTINGS MAY BE USED WHERE ALLOWED BY THE BUILDING DEPARTMENT AND NOT LOCATED IN NEW OR EXISTING RETURN AIR PLENUM.)
  - INTERIOR SOIL, WASTE, AND VENT PIPING BELOW GRADE - SERVICE WEIGHT CAST IRON HUB AND SPIGOT SOIL PIPE AND FITTINGS WITH NEOPRENE GASKETS. (PVC SCHEDULE 40 SOLID CORE PLASTIC PIPE AND FITTINGS MAY BE USED WHERE ALLOWED BY THE BUILDING DEPARTMENT.)
  - SLOPE ALL SANITARY WASTE LINES DOWN TOWARDS DRAIN. MINIMUM SLOPE EQUALS 1/4" PER LINEAR FOOT FOR PIPING 2-1/2" DIAMETER AND SMALLER, 1/8" PER LINEAR FOOT FOR ALL PIPING 3" DIAMETER AND LARGER. SLOPE ALL SANITARY VENT LINES TOWARD TRAP SERVED AT MINIMUM 1/16" PER LINEAR FOOT.
  - ALL REQUIRED SANCUTTING, EXCAVATING, AND BACKFILLING SHALL BE PERFORMED BY PLUMBING CONTRACTOR FOR INSTALLATION OF NEW PLUMBING PIPING. CONCRETE FLOOR PATCHING SHALL BE PERFORMED BY GC.
  - ALL CORE DRILLING THROUGH CONCRETE FLOORS, WALLS, OR ROOF SHALL BE PROCEEDED BY X-RAYING. THIS WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONDUCTED IN COMPLIANCE WITH BUILDING STANDARD REGULATIONS.
  - ALL PIPE INSULATION MATERIALS SHALL CONFORM TO ASTM B4, NFPA 50A AND 285 AND UL 723 NOT TO EXCEED RATING OF 25 FLAME SPREAD AND 50 SMOKE DEVELOPED. ALL INSTALLED INSULATION SHALL MEET OR EXCEED ASHRAE STANDARD 90.1.
  - INSULATION EXPOSED OUTSIDE SHALL BE COVERED WITH AN ALUMINUM JACKET OR OTHER ENGINEER APPROVED COVER.
  - MOUNT LAVATORY AT REQUIRED ELEVATION FOR HANDCAP USAGE WHERE REQUIRED. INSULATE ALL EXPOSED PIPING PER CODE REQUIREMENTS. RE ARCHITECTURAL DRAWINGS.
  - WEATHERPROOF ALL PLUMBING ROOF PENETRATIONS PER CODES AND ROOFING MANUFACTURER RECOMMENDATIONS. PLUMBING VENT PENETRATIONS SHALL BE CAST IRON AND LARGER THAN REQUIRED VENT SIZE.
  - ALL MATERIAL AND EQUIPMENT PROVIDED AND INSTALLED UNDER THIS SECTION SHALL BE NEW AND IN CLEAN AND BRIGHT CONDITION. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO ENSURE AND MAINTAIN THE QUALITY OF THE INSTALLATION. ALL PIPING SHALL BE FLUSHED WITH CLEAN WATER PRIOR TO BEING PLACED INTO SERVICE TO ENSURE THAT ALL RESIDUAL CUTTING OIL, SLUG, THREAD TAPE, FLUX OR DIRT HAS BEEN PURGED. IN ADDITION TO FLUSHING, THE DOMESTIC WATER PIPING SHALL BE STERILIZED TO ELIMINATE ALL CONTAMINATION IN ACCORDANCE WITH IPC RECOMMENDATIONS.
  - PROVIDE FREEZE PROTECTION FOR PIPING WITHIN UNHEATED SPACES.
  - ALL PIPING EQUIPMENT, ETC. SHALL BE IDENTIFIED.
  - ALL SAFETY RELIEF VALVES SHALL BE VENTED TO ATMOSPHERE OR PIPED TO FLOOR, NEAREST FLOOR SINK, OR OTHER APPROVED RECEPTOR. REDUCED PRESSURE BACKFLOW PREVENTORS SHALL BE PROVIDED WITH ATTACHED FUNNEL PIPED TO THE NEAREST FLOOR SINK, RECEPTOR, OR OUTSIDE.
  - PRESSURE REDUCING VALVES SHALL BE INSTALLED ON ALL WATER SERVICES WHERE THE WATER PRESSURE EXCEEDS 80 PSI.
  - BACKFLOW PREVENTORS SHALL BE INSTALLED AND CERTIFIED BY PLUMBING CONTRACTOR PER THE LOCAL WATER UTILITY COMPANY REQUIREMENTS.
  - ALL PIPING TO BE HUNG ON ADJUSTABLE SPLIT RING HANGERS OF SIMILAR MATERIAL AS THE PIPE UNLESS OTHERWISE NOTED. PIPING RACKED ON WALLS SHALL BE RACKED ON UNISTRUT TYPE SUPPORTS. PIPE HANGER SPACING FIVE FEET. MINIMUM CODE REQUIREMENTS.
  - PROVIDE ALL CURBS, SUPPORTS, AND ANCHORS FOR MECHANICAL WORK. NO CHAIN, TAPE OR WIRE MAY BE USED FOR HANGING OR SUPPORTING.
  - RECEIVE, UNCRATE, ASSEMBLE, ENSURE, AND INSTALL ALL EQUIPMENT FURNISHED BY THIS CONTRACTOR (AND FURNISHED BY THE OWNER) IN CONFORMANCE TO MANUFACTURERS STANDARD INSTALLATION INSTRUCTIONS.
  - THIS CONTRACTOR SHALL COORDINATE ALL PIPING PRIOR TO INSTALLATION.
  - PROVIDE SLEEVES AND COLLARS FOR ALL PIPES THROUGH WALL, FLOORS, AND CEILINGS. SEAL ALL EXTERNAL PENETRATIONS OF FIRE RATED WALL, FLOORS, AND CEILINGS WITH APPROVED FIRE STOP MATERIAL IN COMPLIANCE WITH ASTM E814 AND UL 1479.
  - A MINIMUM CLEARANCE OF 30 INCHES SHALL BE PROVIDED AROUND ANY EQUIPMENT (I.E. FANS, PUMPS, BOILERS, AIR CONDITIONERS, ETC.) FOR SERVICE AND MAINTENANCE.
  - TEST ALL PIPING SYSTEMS IN WHICH ANY ALTERATIONS HAVE BEEN MADE FOR COMPLIANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND FUELGAS CODE. DOMESTIC HOT AND COLD WATER PIPING SHALL BE SUBJECT TO 100 PSIG FOR A MINIMUM OF 24 HOURS. DOMESTIC WASTE AND VENT PIPING SHALL BE TESTED AT 10 PSI HEAD TEST FOR PERIOD GREATER THAN 15 MINUTES. IF THE REQUIRED PRESSURE DROPS BY MORE THAN 5% DURING ITS TEST DURATION, INVESTIGATE THE SOURCE OF THE LEAK, REPAIR THE LEAK, AND RETEST THE SYSTEM FOR THE REQUIRED TEST PERIOD. INSPECT ALL W.V. JOINTS WHILE UNDER PRESSURE AND REPAIR ALL LEAKS.

**HVAC GENERAL NOTES**

- THE NEW MECHANICAL SYSTEMS SHALL BE BY THE MECHANICAL CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO:
  - THE AIR DISTRIBUTION SYSTEMS WITH AIR HANDLING EQUIPMENT, DUCTWORK, FLEXIBLE DUCT, DIFFUSERS, GRILLES, DAMPERS, CONTROL SYSTEMS, ETC.
  - CONTRACTOR SHALL SECURE THE SERVICES OF AN INDEPENDENT TEST, ADJUST, AND BALANCE CONTRACTOR WHO IS A MEMBER OF THE NEHR OR EQUIVALENT. FOLLOWING ALL TAB WORK, SUBMIT TEST RESULTS IN A BOUND MANUAL, STAMPED AND SIGNED BY A CERTIFIED BALANCING SUPERVISOR OR REGISTERED PE ON STAFF WITH THE CONTRACTOR. REQUIRED FINAL AIR AND HYDRONIC BALANCE TOLERANCE SHALL BE +10% TO -5% OF QUANTITIES SHOWN ON THESE PLANS.
- PROJECT DESIGN CONDITIONS ARE:
  - LOCATION: BOULDER, COLORADO, BOULDER COUNTY.
  - SITE ELEVATION: 5413 FEET.
  - HVAC DESIGN CONDITIONS PER PER CHVAC LOAD PROGRAM WHICH MEETS OR EXCEEDS ASHRAE 99% HEATING, 1% COOLING ARE:
    - LOCATION USED FOR CONDITIONS: BOULDER, COLORADO.
    - HEATING OUTDOOR DB: 0 DEGREES FAHRENHEIT.
    - COOLING OUTDOOR DB/WB: 9/99 DEGREES FAHRENHEIT.
    - INDOOR DESIGN TEMPERATURES:
      - HEATING: 68 DEGREES FAHRENHEIT.
      - COOLING: 75 DEGREES FAHRENHEIT.
  - IDENTIFY ALL HVAC AND REFRIGERATION EQUIPMENT AS TO THE AREA SERVED BY THE EQUIPMENT. IDENTIFICATION SHALL BE ENGRAVED PLASTIC TAGS PERMANENTLY AFFIXED TO EACH PIECE OF EQUIPMENT.
  - PROVIDE UL RATED FIRE OR FIRE-SMOKE DAMPERS WHERE INDICATED ON PLANS OR SCHEDULES. INSTALL PER BUILDING DEPARTMENT, UL, AND SMACNA REQUIREMENTS. INCLUDE LABELED ACCESS FOR DUCT AND CEILING/WALL STRUCTURES. ACCESS DOORS TO BE UL RATED ARCHITECTURAL ASSEMBLIES.
  - PROVIDE ALL CURBS, SUPPORTS, AND ANCHORS FOR MECHANICAL WORK. NO CHAIN, TAPE OR WIRE MAY BE USED FOR HANGING OR SUPPORTING.
  - RECEIVE, UNCRATE, ASSEMBLE, AND INSTALL ALL EQUIPMENT FURNISHED BY THIS CONTRACTOR AND FURNISHED BY THE OWNER IN CONFORMANCE TO MANUFACTURERS RECOMMENDATIONS.
  - DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. OVERALL OUTSIDE DUCT DIMENSIONS SHALL BE ADJUSTED TO ALLOW FOR LINER THICKNESS.
  - ALL SHEET METAL TO BE MADE AND INSTALLED TO SMACNA STANDARDS (AND IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE) WITH 45 DEGREE MAXIMUM REDUCING, 30 DEGREE MAXIMUM EXPANDING TRANSITIONS. ALL EXPANSION ANGLES TO BE PAINT LOCK SPRING. SINGLE BLADE TURNING VANES AND 1/3 CENTERLINE RADIUS FOR ALL ELBOWS AND TEES. HVAC SUPPLY AND RETURN RECTANGULAR DUCTS TO HAVE 1" THICK 2 L INCH 2 L DENSITY ACOUSTIC DUCT LINER MINIMUM R5 CLASS 1, UL-181.
  - OUTSIDE AIR DUCTS TO HAVE 8-1/2" THICK AND 1-1/2 LB/CF DENSITY UL 181 CLASS ONE FIBERGLASS DUCT WRAP. DUCT LINER SHALL BE ATTACHED WITH STIC-CLIPS 1500C EACH WAY AND 100% COVERAGE OF FLAME PROOF ADHESIVE. INCREASE DUCT TO ALLOW FOR LINER. SEAL ALL DUCT AIRTIGHT WITH TWO COATS OF DUCT SEALANT. DUCT SEALANT TO BE CLEAR PAINTABLE SILICON CAULK ON ALL EXPOSED DUCTWORK. PROVIDE ALUMINUM JACKET OVER DUCT INSULATION OUTSIDE BUILDING.
  - CAULK ALL DUCT JOINTS AND SEAMS AIR AND WATER TIGHT WITH PERMANENT COMERCIAL CAULK PER MANUFACTURERS RECOMMENDATIONS.
  - CONCEALED ROOF SUPPLY DUCTS SHALL BE LOW-PRESSURE CONSTRUCTION. SEALED AIRTIGHT AND EXTERNALLY INSULATED WITH 1-1/2" 34 LB/CF DENSITY BLANKET INSULATION WITH FOL SCIRM KRAFT FACING. FOIL TAPE ALL JOINTS. MINIMUM R5 FIBERGLASS.
  - EXPOSED ROOF DUCTS SHALL BE PAINT LOCK SPRAY ONE GAGE HEAVIER THAN SMACNA STANDARD. HARD PIPE TO DIFFUSERS (NO FLEX) AND SEAL WITH CLEAR, PAINTABLE, SILICONE CAULK.
  - ALL FLEXIBLE DUCTWORK SHOWN SHALL BE INSULATED, CLASS 1, UL 181, SEMI-RIGID FLEXIBLE DUCT R4-2 FLEXMASTER SM OR THERMOFLEX MKK, AND SHALL CONFORM TO LOCAL CODES. NO FLEX DUCT IN EXPOSED AREAS.
  - ALL FLEXIBLE DUCT TAKEOFFS SHALL BE CONICAL BELL MOUTH SP4N IN FITTINGS WITH MANUAL VOLUME DAMPER WHERE POSSIBLE. MAKE CONNECTION WITH DRAW BANDS AT EACH END OF FLEX.
  - ALL FLEXIBLE DUCT TO BE SAME SIZE AS DIFFUSER CONNECTION.
  - LIMIT FLEXIBLE DUCTWORK TO 5 FT MAXIMUM LENGTH.
  - THIS CONTRACTOR SHALL COORDINATE ALL DUCTWORK PRIOR TO INSTALLATION.
  - WEATHERPROOF ALL MECHANICAL ROOF PENETRATIONS PER CODES AND ARCHITECTURAL RECOMMENDATIONS.
  - PROVIDE SLEEVES AND COLLARS FOR ALL DUCTWORK AND PIPES THROUGH WALL, FLOORS, AND CEILINGS. SEAL ALL EXTERNAL PENETRATIONS OF FIRE RATED WALL, FLOORS, AND CEILINGS WITH APPROVED FIRE STOP MATERIAL IN COMPLIANCE WITH ASTM E 814 AND UL 1479.
  - CONFIRM VOLTAGE, PHASE, AND AMPACITY WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING EQUIPMENT. ALL CONTROL AND INTERLOCK WIRING FOR MECHANICAL EQUIPMENT BY MECHANICAL CONTRACTOR. THREE-PHASE MOTORS TO HAVE MAGNETIC STARTERS WITH PROTECTION ON ALL THREE LEADS. CONTROL AND HEATING/COOLING EQUIPMENT TO AUTOMATICALLY RESTART AFTER POWER FAILURE. ALL WITH IN CONDUIT AS REQUIRED BY CODE.
  - A MINIMUM CLEARANCE OF 30 INCHES SHALL BE PROVIDED AROUND ALL EQUIPMENT (I.E. FANS, PUMPS, BOILERS, AIR CONDITIONERS, ETC.) FOR SERVICE AND MAINTENANCE AND AS REQUIRED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  - ROOF MOUNTED EQUIPMENT LOCATED WITHIN 10 FEET OF THE EDGE OF THE ROOF SHALL BE PROVIDED WITH SAFETY RAILINGS AS REQUIRED PER CODES OR AS DETAILED ON THE DRAWINGS.
  - REFRIGERANT PIPING SHALL BE TYPE "ARC" SOFT OR HARD DRAWN COPPER WITH WROUGHT COPPER BRAZED FITTINGS.
    - INSULATE ALL EXPOSED NEW PIPING, VALVES AND FITTINGS FOR REFRIGERANT LIQUID SERVICE:
      - 1/2" THICK ELASTOMERIC PIPE INSULATION INSTALLED IN COMPLIANCE WITH MANUFACTURERS STANDARD INSTALLATION INSTRUCTIONS.
  - ALL PIPE INSULATION MATERIALS SHALL CONFORM TO ASTM B4, NFPA 50A AND 285 AND UL 723 NOT TO EXCEED RATING OF 25 FLAME SPREAD AND 50 SMOKE DEVELOPED. ALL INSTALLED INSULATION SHALL MEET OR EXCEED ASHRAE STANDARD 90.1.
  - ALL DUCT INSULATION EXPOSED OUTSIDE SHALL BE WEATHER PROTECTED AND UV RESISTANT WITH ALUMINUM JACKET.
  - SEE **TEMPERATURE CONTROL**. THIS SHEET FOR TEMPERATURE CONTROLS REQUIREMENTS.
  - CEILING CAVITY IS A RETURN AIR PLENUM IN PART OF THE SPACE.
  - INSTALL ALL NEW MECHANICAL EQUIPMENT IN COMPLETE COMPLIANCE WITH MANUFACTURERS STANDARD INSTALLATION INSTRUCTIONS. ARRANGE ALL EQUIPMENT TO PERMIT EASY REMOVAL OF COILS, MOTORS, FILTERS, AND ALL OTHER PARTS WHICH MIGHT REQUIRE PERIODIC REPLACEMENT OR MAINTENANCE.

**TEMPERATURE CONTROLS**

- THE HVAC SYSTEM CONTROLS ARE TO BE FULLY AUTOMATIC UNLESS OTHERWISE LISTED BELOW.
  - CONTROLS SHALL HAVE INTEGRAL FAULT DETECTION AND DIAGNOSTIC CAPABILITIES.
  - ALL CONTROL SYSTEMS SHALL BE DESIGNED AND PROVIDED BY A CONTROL MANUFACTURER WHO HAS BEEN IN THE BUSINESS OF MANUFACTURING, DESIGNING, AND INSTALLING CONTROL COMPONENTS FOR A MINIMUM OF TEN (10) YEARS.
  - COORDINATE WITH ELECTRICAL CONTRACTOR FOR INTERFACE WITH LINE VOLTAGE WIRING, CONNECTIONS, RELAYS, ETC.
  - MAKE-UP AIR UNIT:
    - MAKE-UP AIR PROVIDES VENTILATION AIR FOR BASEMENT AND SHALL BE IN CONSTANT OPERATION DURING OCCUPIED HOURS.
    - INTERLOCK TEMPERATURE DISCHARGE TEMPERATURES TO EXISTING THERMOSTAT TO MAINTAIN HEATING AND COOLING ROOM SETPOINTS.
    - PROVIDE FREEZE STAT FOR UNIT. WHEN TEMPERATURE FALLS BELOW 40 DEGREES F (ADJ.) OUTSIDE AIR DAMPER TO CLOSE AND UNIT WILL SHUT OFF. SEND ALARM TO BUILDING OCCUPANT (LOCATION DETERMINED BY STAFF).

DRAWN BY: DJ  
CHECKED BY: DO

PROJECT NO: 19019

SEAL



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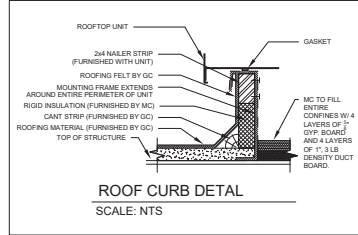
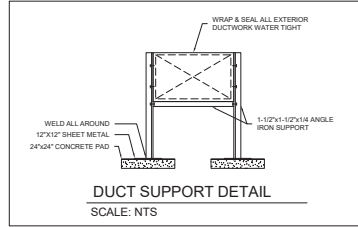
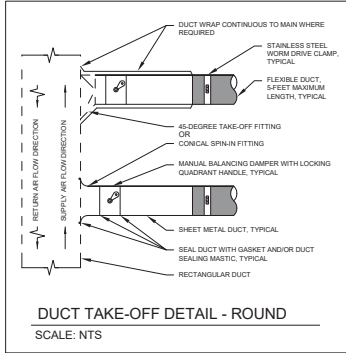
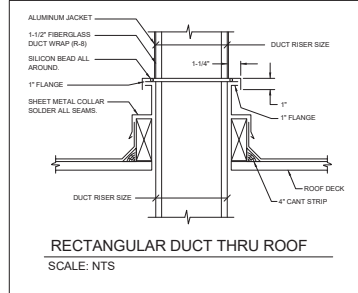
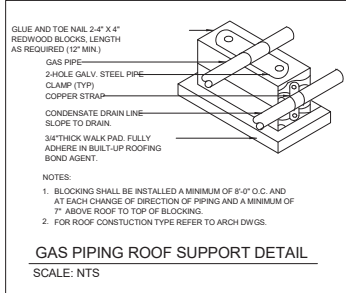
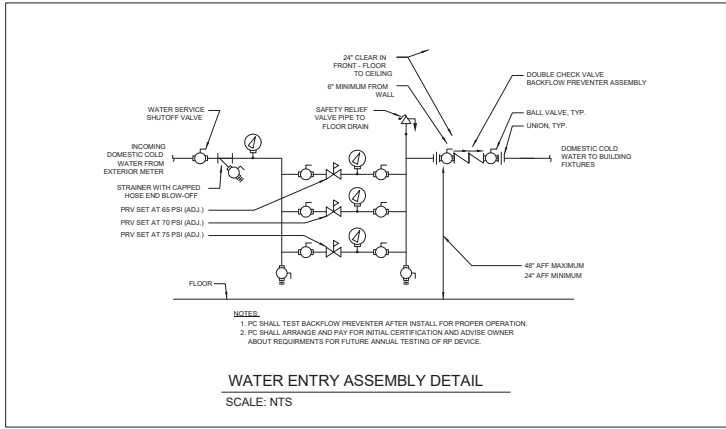
**REVISIONS**

DATE	DESCRIPTION	NO.
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PROJECT NAME: 1333 IRIS REMODEL  
OWNER: BOULDER COUNTY  
ADDRESS: 1333 IRIS AVENUE, BOULDER, CO 80304

**MECHANICAL NOTES**

MP0.2



**INDIRECT-FIRED MAKE-UP AIR UNIT SCHEDULE**

TAG	MANUFACTURER	MODEL	SERVICE	FAN DATA					UNIT ELECTRICAL DATA			HEATING			COOLING			UNIT WEIGHT (LBS.)		
				AIR FLOW (CFM)	E.S.P. (IN.W.C.)	HORSE POWER	OPER. ELEV. (FEET)	VOLTAGE/ PHASES	MIN. CIRCUIT AMPS	MAX. OCP	FUEL OR FLUID	INPUT (MBH) (SL)	% EFF.	OUTPUT (MBH) (ALT)	REF.	NOMINAL TONS	EER		IEER	OUTPUT (MBH) (ALT)
MAL-1	CARRIER	62XE03	BASEMENT	650	0.5	1.0	5,413	208/3	21.2	30	N.GAS	75	60	50.4	R410A	3	12.0	13.1	32	1,800

NOTES:  
A. PROVIDE 14" HIGH ROOF CURB.  
B. SIZE DISCHARGE SUPPLY AIR.  
C. 6.1 TURNDOWN MODULATING GAS HEAT CONTROL.  
D. UNIT DISCONNECT SWITCH.  
E. HALL GUARDS.  
F. 2" MERV 8 FILTER.  
G. CONTINUOUS OPERATION DURING OCCUPIED HOURS.  
EQUALS BY: TRANE, LENNOX, AAO, YORK, DAKIN.

**SINGLE DUCT VAV BOX SCHEDULE**

TAG	MANUF.	MODEL	SERVICE	INLET DIAMETER (INCHES)	NOMINAL CFM	INLET S.P. (IN.W.C.)	ELECTRICAL		DIMENSIONS			NOTES
							VOLTS	VA	LENGTH (IN.)	HEIGHT (IN.)	DIAM. (IN.)	
ZD-1	CARRIER	OPNRD02C	B126	6	185	1.0	24	14	18	9	6	A-D

NOTES:  
A. INTEGRAL SUPPLY AIR TEMPERATURE SENSOR.  
B. CONNECT TO EXISTING CARRIER GENERATION II VVT CONTROLS SYSTEM.  
C. MC TO PROVIDE 120/24 VAC TRANSFORMER AND INSTALL 24VAC WIRING. EC TO PROVIDE 120VAC WIRING.  
D. MAINTAIN MINIMUM 3/4" DUCT DIAMETER OF STRAIGHT DUCT AT INLET AND OUTLET OF ZONE DAMPER.  
EQUALS BY: APPROVED BY ENGINEER.

**DUCT SIZING SCHEDULE**

ROUND DUCT DIAMETER (INCHES)	MAXIMUM SUPPLY AIR FLOW (CFM)	MAXIMUM RETURN AIR FLOW (CFM)	EQUIVALENT RECTANGULAR SIZES (NCHxNCH)	NOTES
4	32	35	4x3, 6x2	1, 2, 3
5	59	46	5x6, 6x3	1, 2, 3
6	95	73	6x5, 8x3.5, 10x3	1, 2, 3
7	140	108	6x6, 7x5, 8x4.5, 10x4	1, 2, 3
8	200	156	7x7, 8x6, 10x5, 13x4	1, 2, 3
10	360	280	9x8, 10x7.5, 13x6, 16x5	1, 2, 3
12	580	460	11x10, 12x9, 14x8, 16x7, 20x6	1, 2, 3
14	880	680	12x12, 15x10, 18x8, 24x6	1, 2, 3
16	1350	960	14x14, 17x12, 20x10, 26x8	1, 2, 3
18	1700	1340	16x16, 18x14, 21x12, 26x10	1, 2, 3
20	2300	1750	18x17, 19x16, 23x14, 32x10	1, 2, 3
22	2900	2250	19x18, 20x18, 24x16, 40x10	1, 2, 3
24	3300	2810	21x21, 25x18, 30x15	1, 2, 3

NOTES:  
1. SA SIZES BASED ON 0.08" WC PER 100' PRESSURE DROP.  
2. RA SIZES BASED ON 0.08" WC PER 100' PRESSURE DROP.  
3. SIZE IS BASED ON CLEAR INSIDE DUCT DIMENSION. ADD INSULATION THICKNESS FOR SHEET METAL SIZE ON LINED DUCTS.

**PLUMBING FIXTURE CONNECTION SCHEDULE**

TAG	FIXTURE	WASTE (INCHES)	VENT (INCHES)	COLD WATER (INCHES)	HOT WATER (INCHES)
L-1	LAVATORY	1-1/2	1-1/4	1/2	1/2
S-1	SINK	1-1/2	1-1/4	1/2	1/2

NOTES:  
1. PIPE SIZES SHOWN ARE MINIMUM SIZE TO A SINGLE FIXTURE.  
2. WASTE PIPING BELOW GRADE SHALL BE A MINIMUM OF 2".

**PLUMBING FIXTURE SCHEDULE**

TAG	DESCRIPTION
BP-1	DOUBLE CHECK VALVE BACKFLOW PREVENTOR BRAND = 1" WATTS MODEL LF07. SPECIFICATIONS = LEAD-FREE. PROVIDE STRAINER AND OUTLET PRESSURE GAUGE.
PRV-1	DOMESTIC WATER PRESSURE REDUCING VALVE BRAND = 1" WATTS MODEL LF07. SPECIFICATIONS = LEAD-FREE. PROVIDE STRAINER AND OUTLET PRESSURE GAUGE.
L-1	LAVATORY, WALL HUNG, ACCESSIBLE BRAND = KOHLER MODEL K-2032 GREENWICH. SPECIFICATIONS = WHITE VITREOUS CHINA, SELF BRIMMING, THREE HOLE, WITH OVERFLOW. FAUCET = DELTA MODEL 21C-4-S, TWO HANDLE, 4" CENTERS, CHROME FINISH, 0.8 GPM AERATOR OUTLET. SUPPLIES = LOOSE KEY 1/4" TURN ANGLE STOP VALVES WITH CHROME PLATED BRASS OR BRANDED STAINLESS STEEL SUPPLIES. TEMPERING VALVE = WATTS MODEL USG-8. SET AT 105 DEGREES F. (ADJUSTABLE) OUTLET TEMPERATURE. OTHER = WITH CONCEALED ARM WALL SUPPORT. ADA APPROVED WITH "TRUEBRO LAV GUARD" INSULATION KIT.
S-1	SINK, COUNTERTOP, ACCESSIBLE BRAND = ELKAY MODEL LRAD22155. SPECIFICATIONS = SINGLE BOWL, STAINLESS STEEL, 20"x21" 16"x15" 12" 4-HOLE FUNGUS DROPPIN. FAUCET = DELTA MODEL 400LF-HDF, SINGLE HANDLE, 8" CENTERS, CHROME FINISH, 8" LONG SWING SPOUT, WITH SPRAY HOSE, 1.5 GPM AERATOR. DISPOSER = INSINKERATOR MODEL EVOLUTION ESSENTIAL, 3/4 HP, 120 VOLT, WITH STAINLESS STEEL GRID CHAMBER AND COMPONENTS. SUPPLIES = LOOSE KEY 1/4" TURN ANGLE STOP VALVES WITH CHROME PLATED BRASS OR BRANDED STAINLESS STEEL SUPPLIES. WASTE = 1-1/2" 17 GA. C.P. R-TBAP WITH CLEAN OUT. OTHER = ADA APPROVED WITH "TRUEBRO LAV GUARD" INSULATION KIT ON EXPOSED PIPING.

NOTES:  
1. PROVIDE SUITABLE REINFORCEMENTS FOR WALL HANGERS & SUPPORTS.  
2. APPROVED EQUALS:  
2.1. DRAINS: JOSAM SMITH, SUN, WADE, ZURN  
2.2. CHINA: AMERICAN STANDARD, KOHLER, TOTO  
2.3. STAINLESS SINKS: BK-RESOURCES, DAYTON, ELKAY, JUST CHICAGO, DELTA, MOEN, PIONEER, SYMONS.  
2.4. FAUCETS: BEMS, CHURCH, OLSONITE  
2.5. SEATS: CHICAGO, WOODFORD  
2.6. HYDRANTS: CHICAGO, WOODFORD  
2.7. BRASS: BRASSCRAFT, CSAB, DEARBORN.  
3. ALL LAVATORIES MUST HAVE ASSE 1070 TEMPERING VALVES AND ADA COMPLIANT TRAYS AND "TRUEBRO LAV GUARD" INSULATION KITS FOR ALL EXPOSED WASTE AND SUPPLY PIPES PER ADA REQUIREMENTS.



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**REVISIONS**

DATE	DESCRIPTION	NO.
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PROJECT NAME: 1333 IRIS REMODEL  
PROJECT NUMBER: BOULDER COUNTY  
OWNER: BOULDER COUNTY  
ADDRESS: 1333 IRIS AVENUE, BOULDER, CO 80304

DRAWN BY: E.J.  
CHECKED BY: DO  
PROJECT NO: 19019

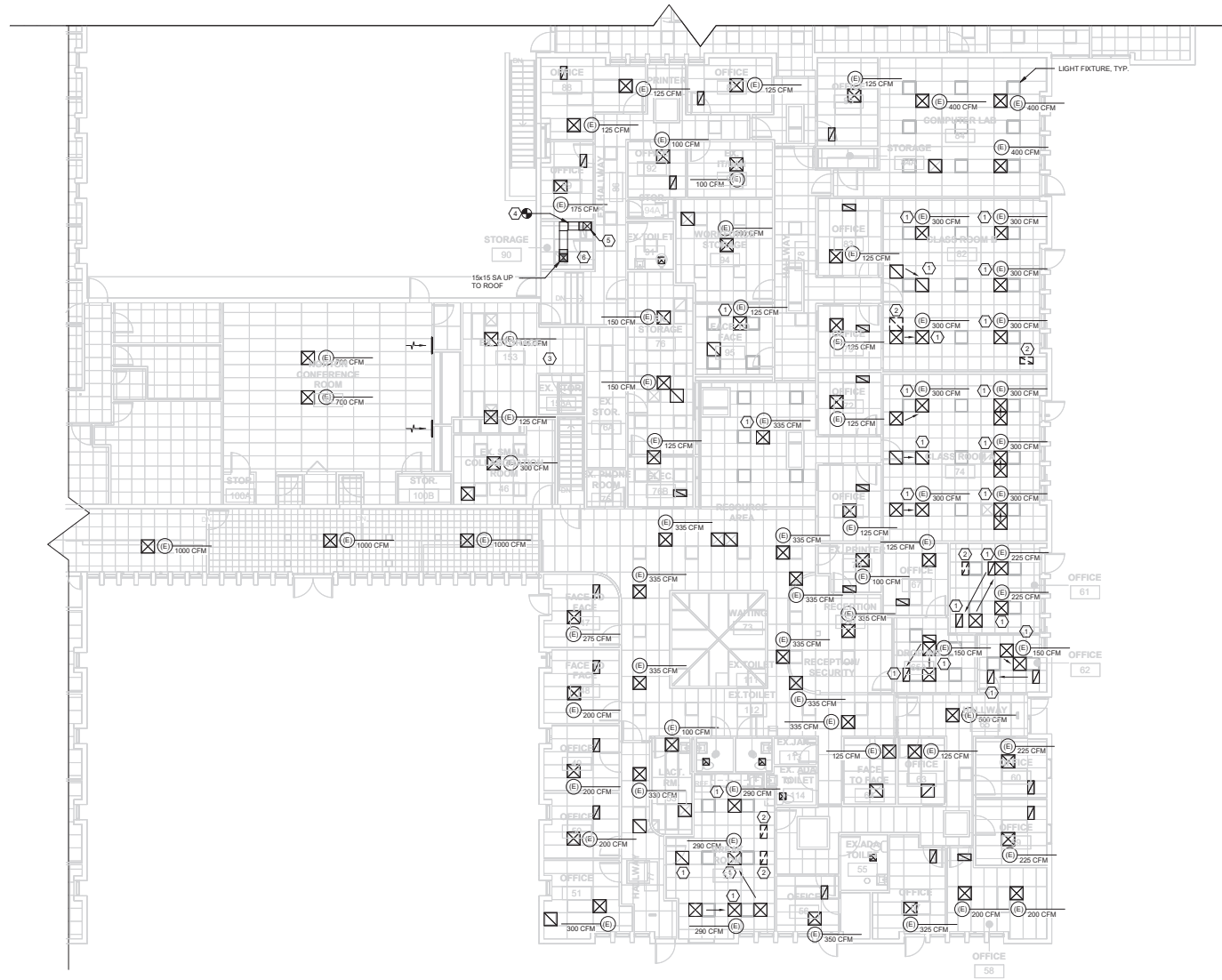
**MECHANICAL SCHEDULES & DETAILS**

**MP0.3**









MECHANICAL FIRST FLOOR SOUTH PLAN  
1/8" = 1'-0"

**GENERAL NOTES:**

- OWNER TO COORDINATE ALL ELECTRICAL WORK AND ADDITIONAL ELECTRICAL LOADS ASSOCIATED WITH MECHANICAL WORK WITH ELECTRICAL ENGINEER, OWNER/ELECTRICAL ENGINEER TO CONFIRM ELECTRICAL CAPACITY IS AVAILABLE.
- ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AND DIFFUSERS TO REMAIN IN PLACE UNLESS NOTED OTHERWISE ON PLANS.
- REBALANCE ALL EXISTING CEILING SUPPLY DIFFUSERS TO AIR QUANTITIES SHOWN ON PLANS. REPLACE DUCT BRANCHES AS REQUIRED TO MEET NEW AIRFLOWS. REFER TO DUCT SIZING TABLE ON SHEET M0.2. FIELD VERIFY BY M.C.
- M.C. TO INSPECT AND REPAIR DUCTWORK AS NECESSARY TO ENSURE OPERATIONAL INTEGRITY OF EXISTING SYSTEM. M.C. SHALL SEAL ALL DUCTWORK, NEW AND EXISTING, INCLUDING REPLACEMENT OF DUCTS COMING DOWN FROM (E)HALLS ON ROOF. REFER TO WORK NOTE 3 ON THIS SHEET BELOW.

**WORK NOTES:**

- RELOCATE EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILLE TO NEW LOCATION SHOWN ON PLAN. DIFFUSERS / GRILLES NOT SHOWING AS MOVED ON PLANS ARE ROUGHLY IN SAME LOCATION, BUT WILL BE REINSTALLED AT NEW CEILING GRID IN PLACE.
- DEMO UNUSED EXISTING CEILING RETURN GRILLE IN DEMOLISHED ROOM.
- MECHANICAL CONTRACTOR TO REPLACE DUCTS COMING DOWN FROM (E)HALLS AND PROVIDE NEW ACCESSIBLE BALANCING DAMPERS.
- ROUTE NEW 15x15 SA DUCT DOWN FROM ROOF AND CONNECT WITH (E)15x15 SA DUCT DOWN TO BASEMENT AS SHOWN ON PLANS.
- (E)15x15 SA DUCT DOWN TO BASEMENT AND ROUTED TO INTAKE OF (E)HALL IN BASEMENT MECHANICAL ROOM.
- DEMO (E) SA DUCTWORK FROM BOTTOM OF ROOF PENETRATION NEXT TO (E)HALL TO POINT OF CONNECTION. CAP AND SEAL DUCT JUST BELOW ROOF PENETRATION. DEMO (E) INLINE FAN IN STORAGE 90 AND ALL ASSOCIATED DUCTWORK. COORDINATE SEALING OF FLOOR PENETRATION BETWEEN BASEMENT AND FIRST FLOOR WITH OWNER PRIOR TO BID.



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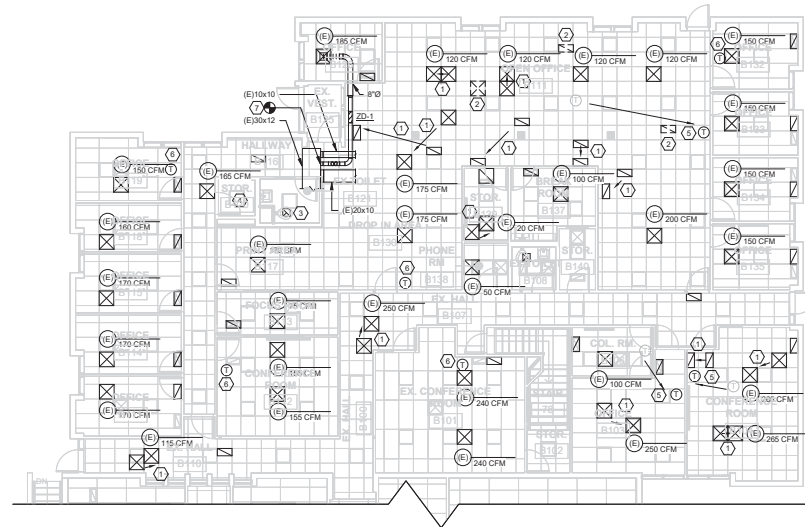
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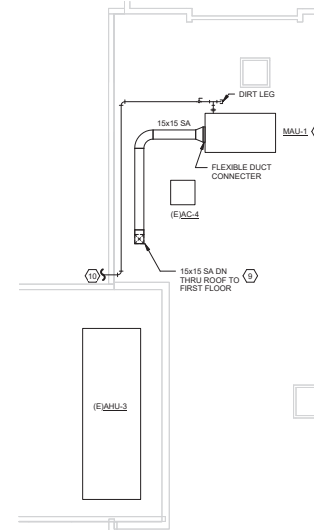
PROJECT TITLE: 1333 IRIS REMODEL  
PROJECT NAME: BOULDER COUNTY  
OWNER: 1333 IRIS AVENUE, BOULDER, CO 80304  
ARCHITECT: MECHANICAL SOUTH PLAN

DRAWN BY: E.J.  
CHECKED BY: DO  
PROJECT NO: 19019

**M1.0**



1 MECHANICAL FIRST FLOOR NORTH PLAN  
1/8" = 1'-0"



2 PARTIAL MECHANICAL ROOF PLAN  
1/8" = 1'-0"



**GENERAL NOTES:**

- OWNER TO COORDINATE ALL ELECTRICAL WORK AND ADDITIONAL ELECTRICAL LOADS ASSOCIATED WITH MECHANICAL WORK WITH ELECTRICAL ENGINEER, OWNER/ELECTRICAL ENGINEER TO CONFIRM ELECTRICAL CAPACITY IS AVAILABLE.
- OWNER TO COORDINATE NEW ROOFTOP MAKEUP-AIR UNIT WITH STRUCTURAL ENGINEER.
- ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AND DIFFUSERS TO REMAIN IN PLACE UNLESS NOTED OTHERWISE ON PLANS.
- REBALANCE ALL EXISTING VVVT ZONE DAMPERS AND CEILING SUPPLY DIFFUSERS TO AIR QUANTITIES SHOWN ON PLANS. REPLACE DUCT BRANCHES AS REQUIRED TO MEET NEW AIRFLOWS. REFER TO DUCT SIZING TABLE ON SHEET M0.2.
- MC TO INSPECT AND REPAIR DUCTWORK AS NECESSARY TO ENSURE OPERATIONAL INTEGRITY OF EXISTING SYSTEM. MC SHALL SEAL ALL DUCTWORK, NEW AND EXISTING, INCLUDING REPLACEMENT OF DUCTS COMING DOWN FROM EAVES ON ROOF. REFER TO WORK NOTE 3 ON THIS SHEET BELOW.

**WORK NOTES:**

- RELOCATE EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILLE TO NEW LOCATION SHOWN ON PLAN. DIFFUSERS / GRILLES NOT SHOWING AS MOVED ON PLANS ARE ROUGHLY IN SAME LOCATION, BUT WILL BE REINSTALLED AFTER NEW CEILING GRID IS IN PLACE.
- DEMO UNUSED EXISTING CEILING SUPPLY DIFFUSER / RETURN GRILLE IN DEMOLISHED ROOM. DEMO SUPPLY AIR DUCT BACK TO BRANCH TAKEOFF. CAP AND SEAL.
- RELOCATE EXISTING RESTROOM EXHAUST FAN AND DUCTWORK AS NEEDED TO ACCOMMODATE NEW ROOM LAYOUT.
- DEMOLISH EXISTING RESTROOM EXHAUST FAN, DUCTWORK, AND ROOF CAP. ROOF REPAIR BY G.C.
- RELOCATE EXISTING THERMOSTAT FROM DEMOLISHED WALL TO NEW LOCATION SHOWN ON PLANS. 4F A.F.F.
- EXISTING THERMOSTAT TO REMAIN.
- CONNECT NEW 8"Ø SA TAKE-OFF TO MAIN AND EXTEND TO VVVT ZONE DAMPER. ZD-1, AS SHOWN ON PLANS. RELOCATE EXISTING DUCT TAKE-OFFS AS NECESSARY TO ACCOMMODATE NEW DUCT CONNECTION TO MAIN.
- MAINTAIN MINIMUM 48" ON ALL SIDE OF UNIT WITH ACCESS DOORS PER MANUFACTURER'S RECOMMENDATIONS. ROOF CURB BY MC.
- DEMO EXISTING GOOSENECK AND DUCTWORK ON ROOF. ROUTE NEW 15x15 SA DUCT THROUGH EXISTING ROOF PENETRATION. FLASH AND SEAL WATER-TIGHT. REFER TO DUCT THRU ROOF DETAIL ON SHEET MPO.3.
- ROUTE NEW 3/4" GAS LINE FROM MALL-1 TO EXISTING GAS METER LOCATED ON NORTH SIDE OF BUILDING APPROX. 140'. CONNECT TO ADEQUATELY SIZED VALVED TEST BRANCH DOWNSTREAM OF EXISTING GAS METER. PROVIDE NEW VALVED TEST BRANCH AT NEW GAS LINE CONNECTION. LINE SIZED FOR 7"WC AT 0.5"WC PRESSURE DROP (IFGC TABLE 402.4(2)). CONTRACTOR TO VERIFY PRESSURE AND CAPACITY AVAILABLE ON-SITE PRIOR TO BID.



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**REVISIONS**

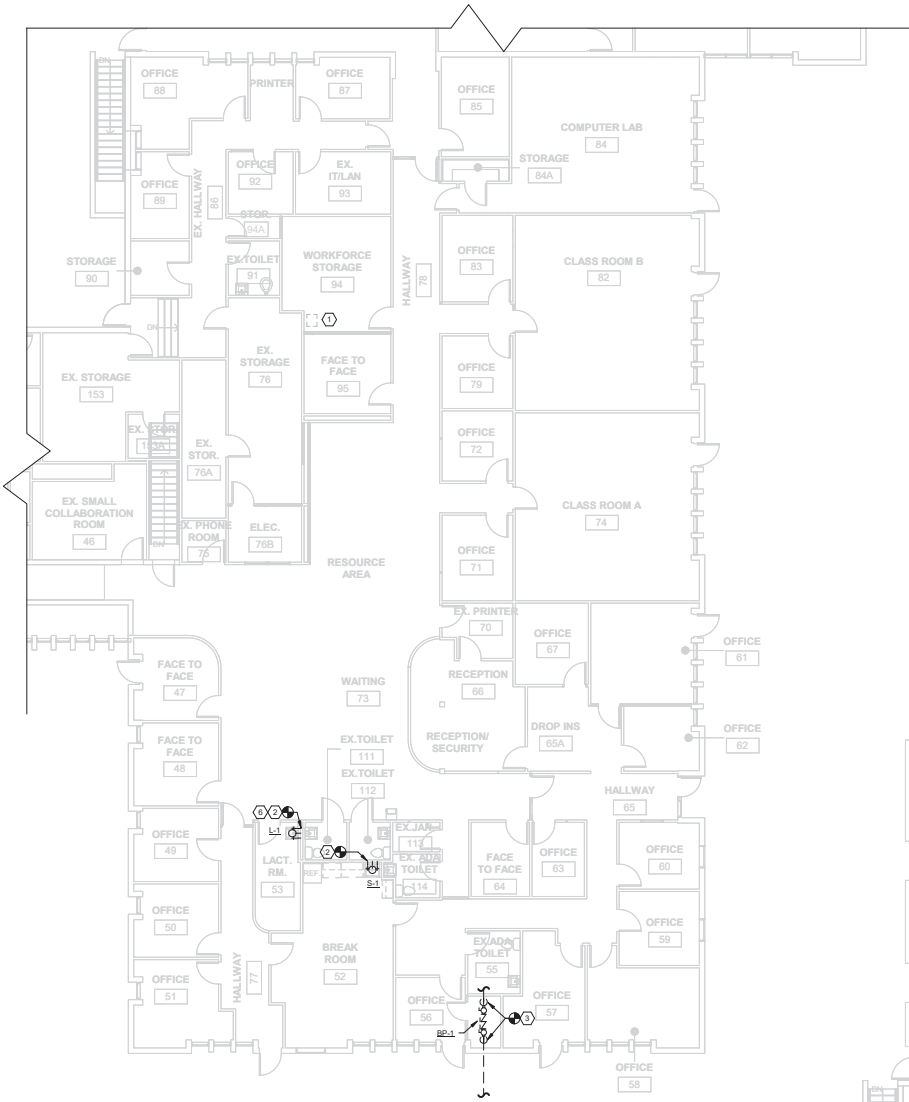
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PROJECT NAME: 1333 IRIS REMODEL  
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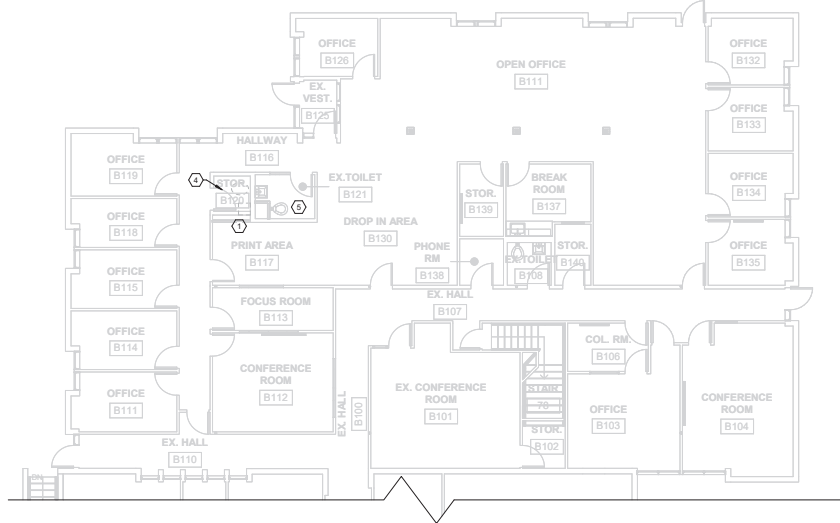
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CHECKED BY: DO  
PROJECT NO: 19019

**MECHANICAL NORTH AND ROOF PLANS**

**M1.1**



1 PLUMBING FIRST FLOOR SOUTH PLAN  
1/8" = 1'-0"



2 PLUMBING FIRST FLOOR NORTH PLAN  
1/8" = 1'-0"



**GENERAL NOTES:**

- OWNER TO COORDINATE ALL ELECTRICAL WORK AND ADDITIONAL ELECTRICAL LOADS ASSOCIATED WITH PLUMBING WORK WITH ELECTRICAL ENGINEER. ENGINEER TO CONFIRM ELECTRICAL CAPACITY IS AVAILABLE.
- ALL EXISTING PLUMBING EQUIPMENT, PIPING, AND ACCESSORIES TO REMAIN IN PLACE UNLESS NOTED OTHERWISE ON PLANS.

**WORK NOTES:**

- DEMO EXISTING HAND SINK. REMOVE AND CAP ASSOCIATED SUPPLY, VENT, AND DRAIN PIPING.
- ROUTE NEW 1/2" CW, 1/2" HW, 1-1/2" SAN, AND 1-1/4" V PIPES IN WALL TO CONNECT TO ADJACENT SINK PIPING.
- REPLACE EXISTING WATER ENTRY ASSEMBLY WITH NEW IN SAME LOCATION. CONTRACTOR TO VERIFY ADEQUATE SPACE IN CLOSET FOR INSTALLATION PRIOR TO BID. DOUBLE CHECK VALVE BACKFLOW PREVENTER ASSEMBLY APPROVED BY CITY OF BOULDER PUBLIC WORKS IN LIEU OF REDUCED PRESSURE BACKFLOW ASSEMBLY. REFER TO DETAIL ON MP-1.1 FOR INSTALLATION REQUIREMENTS.
- DEMO EXISTING RESTROOM WATER CLOSET AND LAVATORY. REMOVE AND CAP ASSOCIATED SUPPLY, VENT, AND DRAIN PIPING.
- RELOCATE EXISTING WATER CLOSET TO NEW LOCATION SHOWN ON PLAN. EXTEND PIPING SERVICES AS NECESSARY TO ACCOMMODATE NEW FIXTURE LOCATION.
- EXTEND HWC TO WITHIN 2'-0" OF FIXTURE PER BOULDER ENERGY CONSERVATION CODE.



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DATE	DESCRIPTION	NO.
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PROJECT NAME: 1333 IRIS REMODEL  
PROJECT NUMBER: 80304  
OWNER: BOULDER COUNTY  
ADDRESS: 1333 IRIS AVENUE, BOULDER, CO 80304  
PROJECT TITLE: PLUMBING PLANS  
DRAWN BY: EJ  
CHECKED BY: DO  
PROJECT NO: 19019

**P1.0**

## PROJECT GENERAL NOTES

REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INSTALLATION REQUIREMENTS

CIRCUITING ROUTING SHOWN IS DIAGRAMMATIC. CIRCUIT HOMERUN DESIGNATIONS ARE INDICATED AND SHALL BE STRICTLY FOLLOWED. ALL CIRCUITING SHALL BE COPPER CONDUCTORS IN CONDUIT (3/4" MINIMUM). LUMINAIRES MAY BE CONNECTED VIA MANUFACTURER PROVIDED FLEXIBLE CONDUIT/CONDUIT WIPES. CONTRACTOR SHALL PROVIDE ALL WIRE CONDUIT, JUNCTION/SPALL BOXES, AND SUPPORTS ETC FOR A COMPLETE ELECTRICAL SYSTEM.

ALL WIRING SHALL BE IN COMPLIANCE WITH THE NEC LATEST EDITION. ALL MULTICIRCUIT BRANCH WIRING (120V OR 277V SINGLE PHASE CIRCUITS) INSTALLED IN A COMMON CONDUIT WITH A COMMON NEUTRAL SHALL ORIGINATE FROM A MULTIPOLE BREAKER OR SHALL BE INSTALLED WITH MULTIPLE BREAKER HANDLE TIES. ALL MULTICIRCUIT BRANCH WIRING (120V OR 277V SINGLE PHASE CIRCUITS) INSTALLED IN A COMMON CONDUIT ORIGINATING AT SINGLE POLE BREAKERS SHALL BE INSTALLED WITH A DEDICATED NEUTRAL CONDUCTOR FOR EACH PHASE CONDUCTOR. THE NEUTRAL CONDUCTOR SHALL HAVE A TRACER STRIPE (THE STRIPE COLOR SHALL MATCH THE COLOR OF THE PHASE CONDUCTOR).

ALL DISTRIBUTION AND BRANCH CIRCUIT FEEDERS SHALL BE PROVIDED WITH AN INSULATED GREEN GROUND WIRE.

ROUTE ALL CONDUIT/CIRCUITING IN FINISHED SPACES CONCEALED IN WALLS ABOVE CEILING OR BELOW FLOORS. ALL CONDUIT/CIRCUITING SHALL BE RUN PARALLEL TO BUILDING WALLS AND LINES. ANY SURFACE MOUNTED CONDUIT MOUNTED TO FINISHED SURFACES OR LOCATED IN FINISHED SPACES SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH IT IS MOUNTED.

MOUNTING HEIGHTS ARE AS FOLLOWS UNLESS NOTED OTHERWISE OR A PREVIOUS BUILDING STANDARD HAS BEEN ESTABLISHED.

POWER RECEPTACLES +18"  
TELEPHONE AND DATA OUTLETS +18"  
SWITCHES +48"

ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE.

NEW TELEPHONE, DATA, AND TELEDATA COMBINATION OUTLETS SHALL CONSIST OF A 4" SQUARE BACK BOX, SINGLE GANG PLASTER RING, AND 3/4" CONDUIT TO ABOVE THE CEILING. PROVIDE A RUBBER CABLE PROTECTION BUSHING ON THE END OF THE CONDUIT STUBBED OUT ABOVE THE CEILING.

COORDINATE EXACT POWER AND INSTALLATION REQUIREMENTS OF MECHANICAL EQUIPMENT WITH THE MECHANICAL, CONTRACTOR AND THE MANUFACTURER'S INSTALLATION LITERATURE.

CONTRACTOR SHALL EXAMINE ALL EXISTING DEVICES THAT ARE INDICATED TO REMAIN OR BE RELOCATED (RECEPT, SWITCHES, DIMMERS, ETC.) AND REPLACE DAMAGED UNITS WITH NEW.

ALL CEILING MOUNTED AND SUSPENDED LUMINAIRES SHALL HAVE A MINIMUM OF TWO SUPPORTS CONNECTED DIRECTLY TO STRUCTURAL COMPONENTS OF THE BUILDING.

CONNECT ALL EXIT SIGNS AND EMERGENCY LUMINAIRES TO UNSWITCHED CONDUCTOR OF THE INDICATED CIRCUIT.

CONTRACTOR SHALL PROVIDE ADDITIONAL SUPPORTS FOR ALL EXISTING EQUIPMENT, CONDUIT RINGS AND FLEX, AS WELL AS CABLE LOCATED ABOVE THE CEILING. SUPPORT FROM STRUCTURE AS REQUIRED BY NEC.

ALL PANELS WITH CIRCUITS INDICATED TO BE MODIFIED IN THESE DOCUMENTS SHALL BE PROVIDED WITH AN UPDATED, TYPED, PANEL DIRECTORY. INCLUDE CONTRACTOR'S CONTACT INFORMATION AND CLOSE-OUT DATE OF THE PROJECT.

## DEMOLITION GENERAL NOTES

AS-BUILT CONDITIONS HAVE BEEN DETERMINED FROM RECORD DRAWINGS IF THEY EXIST, FIELD INVESTIGATIONS (ACCESSIBLE AREAS AND EQUIPMENT) AND DISCUSSIONS WITH MAINTENANCE PERSONNEL (WHERE THEY ARE AVAILABLE). THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING AS-BUILT CONDITIONS PRIOR TO ANY DEMOLITION AND/OR MODIFICATIONS SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT/ENGINEER.

COORDINATE ALL DEMOLITION WITH GENERAL DEMOLITION. DISCONNECT ALL ELECTRICAL PRIOR TO DEMOLITION BY OTHER TRADES. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

CONTRACTOR SHALL COORDINATE WITH THE OWNER OR THEIR AUTHORIZED REPRESENTATIVE, TO DETERMINE ALL EXISTING EQUIPMENT AND DEVICES TO BE RETAINED BY THE OWNER. CONTRACTOR SHALL CAREFULLY REMOVE ALL EQUIPMENT AND DEVICES TO BE RETAINED. PRESERVE AND STORE THE EQUIPMENT IN A LOCATION DESIGNATED BY THE OWNER. ALL OTHER DEVICES, EQUIPMENT, AND DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROPRIATE OFFSITE LOCATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, PRESERVATION, STORAGE AND PROTECTION OF ALL EQUIPMENT AND DEVICES DESIGNATED TO BE REMOVED AND RE-INSTALLED.

ALL ABANDONED DEVICES, EQUIPMENT, CONDUIT, WIRE, CABLE, ETC. (WHETHER ABANDONED BY THIS PROJECT OR PREVIOUSLY ABANDONED) SHALL BE REMOVED.

POWER/LIGHTING SYSTEMS ALL FEEDERS AND BRANCH CIRCUITS CONDUIT AND CONDUCTORS SHALL BE REMOVED BACK TO THE SOURCE OR NEAREST REMAINING DEVICE AS APPLICABLE.

EXISTING ELECTRICAL EQUIPMENT, DEVICES, AND WIRING TO REMAIN WHERE INDICATED. RESTORE THE FUNCTION OF ANY REMAINING EQUIPMENT THAT IS AFFECTED BY MODIFICATIONS TO THE ELECTRICAL SYSTEM IN OTHER AREAS AS SOON AS POSSIBLE AND AT NO ADDITIONAL COST TO THE OWNER. ALL REPAIRS SHALL BE COORDINATED WITH THE ARCHITECT/ENGINEER. CONTRACTOR SHALL MAKE REASONABLE EFFORT TO LOCATE ALL AFFECTED DEVICES AND RESTORE FUNCTIONALITY.

EXISTING DEVICES INDICATED TO BE RECONNECTED TO NEW CIRCUITS AND/OR PANELS SHALL USE NEW CIRCUITS INDICATED. THE EXISTING BRANCH CIRCUIT SHALL BE INTERCEPTED NEAR THE FIRST REMAINING DEVICE AND NEW CONDUIT/WIRE INSTALLED FROM THAT POINT BACK TO THE NEW DISTRIBUTION (I.E. PANEL).

ALL ELECTRICAL AND LIFE SAFETY SYSTEMS THAT EXTEND INTO OCCUPIED AREAS SHALL REMAIN OPERATIONAL. CONTRACTOR SHALL COORDINATE ALL OUTAGES A MINIMUM OF SEVEN DAYS PRIOR TO OUTAGE. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE PERSONNEL FOR FIRE AND SECURITY WATCH DURING OUTAGES TO FIRE AND SECURITY SYSTEMS.

## LIGHTING CONTROL NOTES

LIGHTING CONTROL SYSTEM SHALL COMPLY WITH THE 2017 CITY OF BOULDER ENERGY CONSERVATION CODE (COBCEC).

FOR THE FOLLOWING DEVICES, REFER TO THE MANUFACTURER'S WIRING DIAGRAMS AND INSTALLATION INSTRUCTIONS. EACH MANUFACTURER MAY PROVIDE VARIOUS EQUIPMENT OR DEVICES TO ACCOMPLISH THE DESIGN INTENT. PROVIDE ALL NECESSARY DEVICES AND CONNECTORS FOR A COMPLETE AND OPERATIONAL LIGHTING CONTROL SYSTEM. PROVIDE SPECIFIED ITEMS OR EQUAL BY COOPER, CRESTRON, HUBBELL, LEVITON, NOVITAS, SENSOR SWITCH, OR WATTESTOPPER. PROVIDE ALL DEVICES BY ONE OR TWO MANUFACTURERS FOR MAINTENANCE SIMPLICITY. LOWER CASE LETTERS DENOTE SWITCHING/CONTROL ZONES. ALL WIRING SHALL BE AS RECOMMENDED BY SYSTEMS MANUFACTURER. ROUTED PARALLEL/PERPENDICULAR TO BUILDING WALLS AND LINES, AND SUPPORTED INDEPENDENTLY FROM OTHER SYSTEMS. PROGRAM OCCUPANCY SENSORS FOR MANUAL ON / AUTO OFF (VACANCY MODE), UNLESS INSTALLED IN A CORRIDOR, HALLWAY, RESTROOM, OR LOCKER ROOM WHERE AUTO ON/OFF IS PERMITTED. PROGRAM WITH A 30 MINUTE TIME DELAY BEFORE TURNING LIGHTS OFF, UNLESS NOTED OTHERWISE.

FOLLOWS UNLESS NOTED OTHERWISE:  
STORAGE, CUSTOMAL ROOMS, ETC. 5 MINUTES  
OFFICES, WORKROOMS, AND ASSOC. SPACES 15 MINUTES  
TOILET ROOMS 15 MINUTES

1. PROVIDE WALL MOUNTED SWITCH PIR OCCUPANCY SENSOR WITH SINGLE ZONE CONTROL. SENSOR SHALL BE CONFIGURED FOR MANUAL ON / AUTO OFF CONFIGURE FOR 3-WAY SWITCHING WHERE REQUIRED ON DRAWINGS.

2. PROVIDE WALL MOUNTED SWITCH DUAL TECHNOLOGY OCCUPANCY SENSOR WITH 0-10V DIMMING. SENSOR SHALL BE CONFIGURED FOR MANUAL ON / AUTO OFF. CONFIGURE FOR 3-WAY SWITCHING WHERE REQUIRED ON DRAWINGS.

3. PROVIDE DUAL TECHNOLOGY LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR WITH 2,000 SQ FT COVERAGE. LOCATE ON CEILING IN CENTER OF ROOM, OR EQUALLY SPACED WITH OTHER OCCUPANCY SENSORS (AWAY FROM THE DOOR) AND AIM INTO ROOM WHERE MOUNTED TO CEILING TILE. MOUNT CENTERED IN TILE OR ALIGNED AND CENTERED WITH OTHER DEVICES. CONNECT TO ROOM CONTROLLER VIA MANUFACTURER'S RECOMMENDED CABLING. PROGRAM FOR MANUAL ON / AUTO OFF CONTROL.

4. PROVIDE DUAL TECHNOLOGY LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSOR WITH COVERAGE FOR A CORRIDOR/HALLWAY. SENSOR SHALL BE CONFIGURED FOR AUTO ON / AUTO OFF. ORIENT SENSOR FOR DETECTION PARALLEL TO CORRIDOR / HALLWAY. MULTIPLE SENSORS WILL NEED TO BE CONNECTED TOGETHER FOR DETECTION IN LARGE CORRIDORS / HALLWAYS. CONNECT TO POWER PACK OR SLAVE PACK.

5. PROVIDE ROOM CONTROLLER, ON/OFF/0-10V DIMMING, TO CONTROL MULTIPLE ZONES. # REFERS TO THE NUMBER OR RELAYS/ZONES CONTROLLED. #D OR #S INDICATES NUMBER OF DIMMED OR SWITCHED ZONES, RESPECTIVELY. LOCATE ROOM CONTROLLER ABOVE ACCESSIBLE CEILING OR UP WITHIN THE JOIST/TRUSS CEILING CAVITY ABOVE WALL SWITCH STATIONS), UNLESS NOTED OTHERWISE. WHERE LOCATED ABOVE CEILING, PROVIDE TYPED LABEL ON CEILING TIE, GRID LIGHTING CONTROLLER ABOVE. CONNECT ROOM CONTROLLER VIA MANUFACTURER'S RECOMMENDED CABLING TO OTHER LIGHTING CONTROL DEVICES IN ROOM. WHERE INSTALLED ABOVE CEILING, ROOM CONTROLLER SHALL BE RETURN AIR PLENUM RATED.

6. PROVIDE POWER PACK OR SLAVE PACK TO WORK WITH OCCUPANCY SENSORS INDICATED ABOVE. LOCATE POWER PACK/SLAVE PACK ABOVE ACCESSIBLE CEILING NEAR LIGHT SWITCH OR IF INSTALLED IN HARD CEILING APPLICATION, LOCATE IN A J-BOX ADJACENT TO LUMINAIRE. PROVIDE LABEL ON J-BOX FACEPLATE, "LTG CNTRL POWER PACK".

7. PROVIDE LOW VOLTAGE SWITCH WALL STATION PER MANUFACTURER'S SYSTEM. PROVIDE 2, 3, OR 4 BUTTON SWITCH FOR ON/OFF/RAISE/LOWER CONTROL.

PROVIDE HAND HELD CONTROL, BLUETOOTH APP, OR OTHER DEVICE NECESSARY FOR "ACCESSIBILITY" TO PROGRAM THE LIGHTING CONTROL SYSTEM(S).



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BOULDER COUNTY  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
8004

SHEET  
COVER SHEET

FILE NAME

ACCT 120066  
DATE 12/18/2019  
DRAWN BY: AEJ  
CHECKED BY: AEJ

REVISIONS

NO.	DESCRIPTION

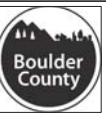
SHEET  
E-000



**PLAN GENERAL NOTES:**  
 REFER TO E-000 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
 AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**

- NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.
- ▶ REMOVE EXISTING BRANCH CIRCUIT PANEL. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P1. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL SCHEDULES ON SHEET E-600.
  - ▶ REMOVE EXISTING BRANCH CIRCUIT PANEL. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P2. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-600.
  - ▶ REMOVE EXISTING BRANCH CIRCUIT PANEL. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P3. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P3 SCHEDULE ON SHEET E-600.



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**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

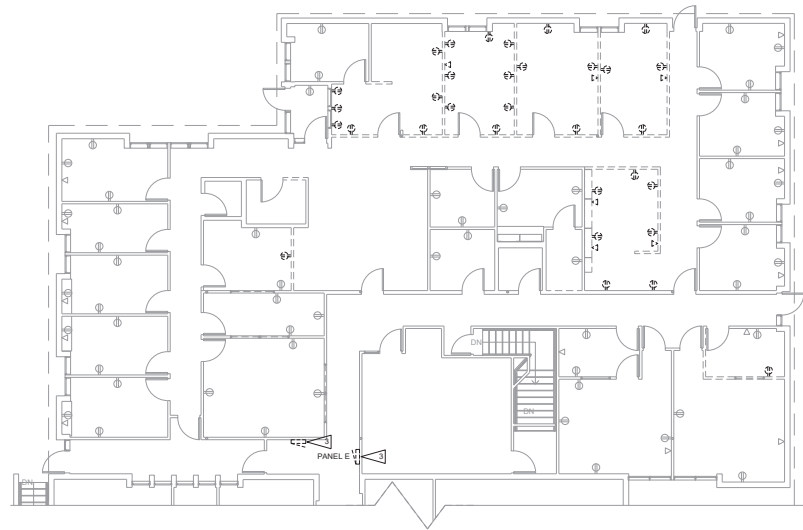
LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 8004

SHEET  
 FIRST FLOOR  
 POWER  
 DEMO PLAN  
 FILE NAME

ACCT 120066  
 DATE: 12/18/2019  
 DRAWN BY: AEJ  
 CHECKED BY: AEJ

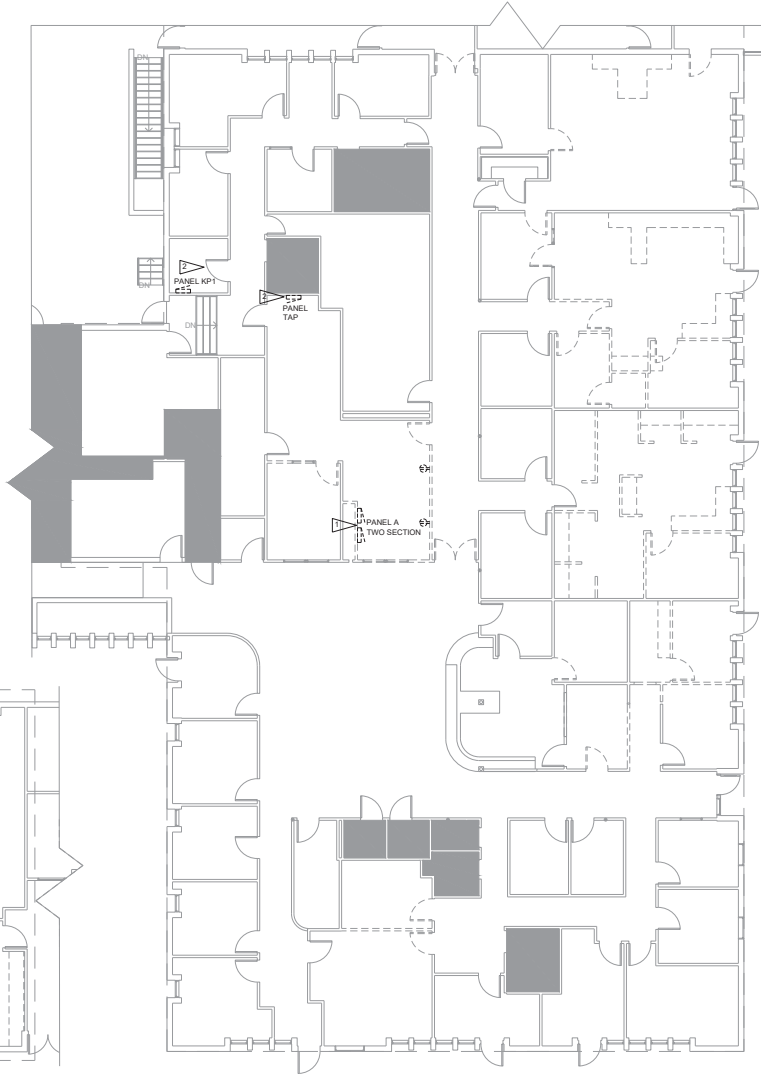
REVISIONS

SHEET  
**ED-111**



1  
 ED111

**NORTHEAST CORNER  
 DEMOLITION PLAN**  
 1/8" = 1'-0"



2  
 ED111

**SOUTHEAST CORNER  
 DEMOLITION PLAN**  
 1/8" = 1'-0"



3  
 ED111

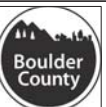
**SOUTHWEST CORNER  
 DEMOLITION PLAN**  
 1/8" = 1'-0"



**DEMOLITION PLAN GENERAL NOTES:**  
 REFER TO E-000 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
 AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**

NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.  
 REMOVE EXISTING LUMINAIRE(S) AND ASSOCIATED LIGHTING  
 CONTROLS (I.E. SWITCHES, E.T.). PRESERVE EXISTING LIGHTING  
 BRANCH CIRCUITS FOR CONNECTION OF NEW LUMINAIRES.  
 MAINTAIN CIRCUIT CONTINUITY TO REMAINING DEVICES.



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**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL

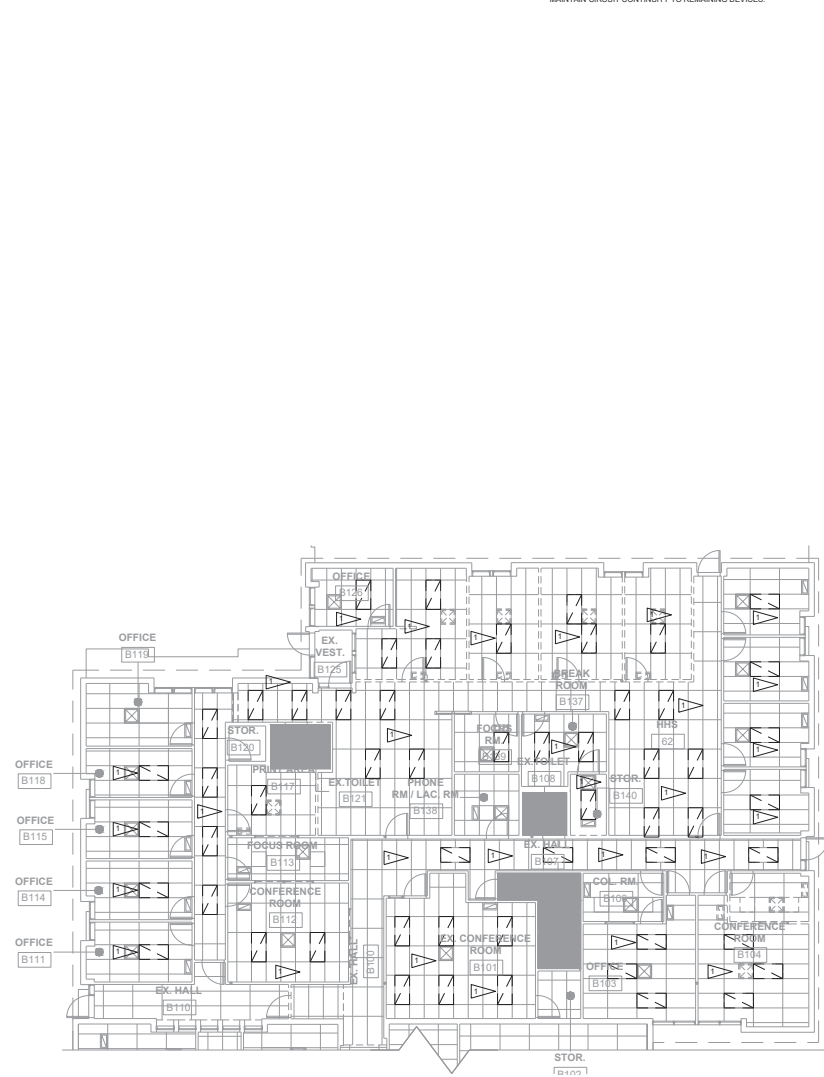
LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80004

SHEET  
 FIRST FLOOR  
 REFLECTED CEILING  
 DEMO PLAN  
 FILE NAME

ACCT: 120066  
 DATE: 12/18/2019  
 DRAWN BY: AEJ  
 CHECKED BY: AEJ

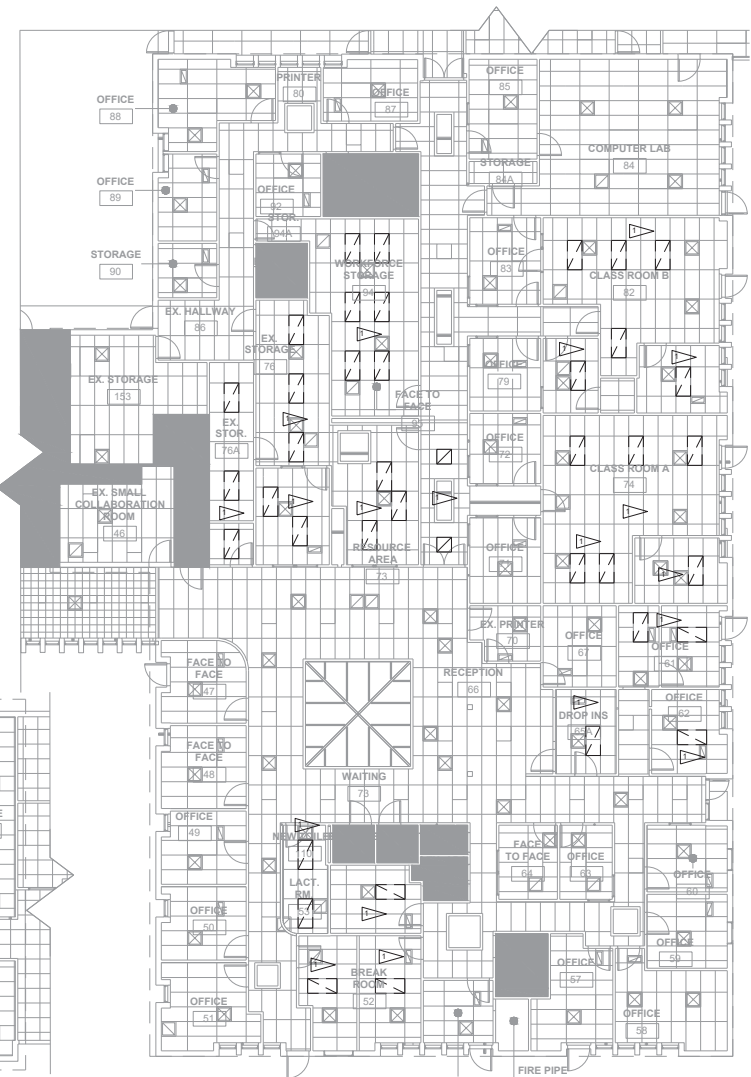
NO.	REVISIONS

SHEET  
**ED-121**



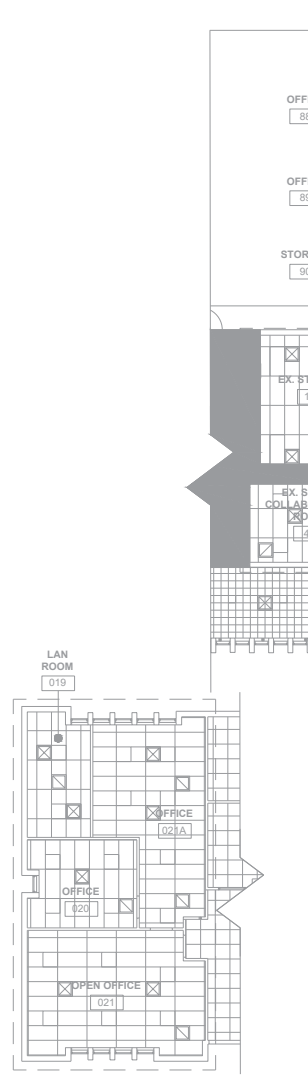
**1**  
 ED121  
 1/8" = 1'-0"

**NORTHEAST CORNER**  
 DEMOLITION REFLECTED CEILING PLAN



**2**  
 ED121  
 1/8" = 1'-0"

**SOUTHEAST CORNER**  
 DEMOLITION REFLECTED CEILING PLAN



**3**  
 ED121  
 1/8" = 1'-0"

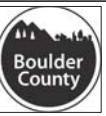
**SOUTHWEST CORNER**  
 DEMOLITION REFLECTED  
 CEILING PLAN



**PLAN GENERAL NOTES:**  
 REFER TO E-000 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
 AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**

- NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.
- 1. **SLAB ON GRADE FLOOR BOX:** PROVIDE LEGRAND WIREMOLD EVOLUTION SERIES "FIBRESCO" 4-GANG BOX AND COVER. PROVIDE (1) 1" C FOR AV, (1) 1" C FOR TELE-DATA AND (2) DUPLEX POWER OUTLETS. STUB TELE-DATA CONDUIT TO ABOVE ACCESSIBLE CEILING. ROUTE AV CONDUIT AS SHOWN ON FLOOR PLAN. PRIOR TO ROUGH-IN, COORDINATE EXACT LOCATION OF FLOOR BOX WITH ARCHITECT. PRIOR TO ORDER COORDINATE COVER FINISH AND TYPE WITH ARCHITECT.
  - 2. **TELE-POWER POLES:** PROVIDE LEGRAND 30TP-4V SERIES, TWO DUPLEX POWER POLE. CONTRACTOR SHALL PROVIDE AND TERMINATE BRANCH CIRCUITS AND DATA CABLES AS INDICATED. APPROXIMATE LOCATION IS SHOWN AND EXACT LOCATION WILL BE COORDINATE WITH FURNITURE UPON INSTALLATION.



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**BOULDER COUNTY**  
 1333 IRIS REMODEL

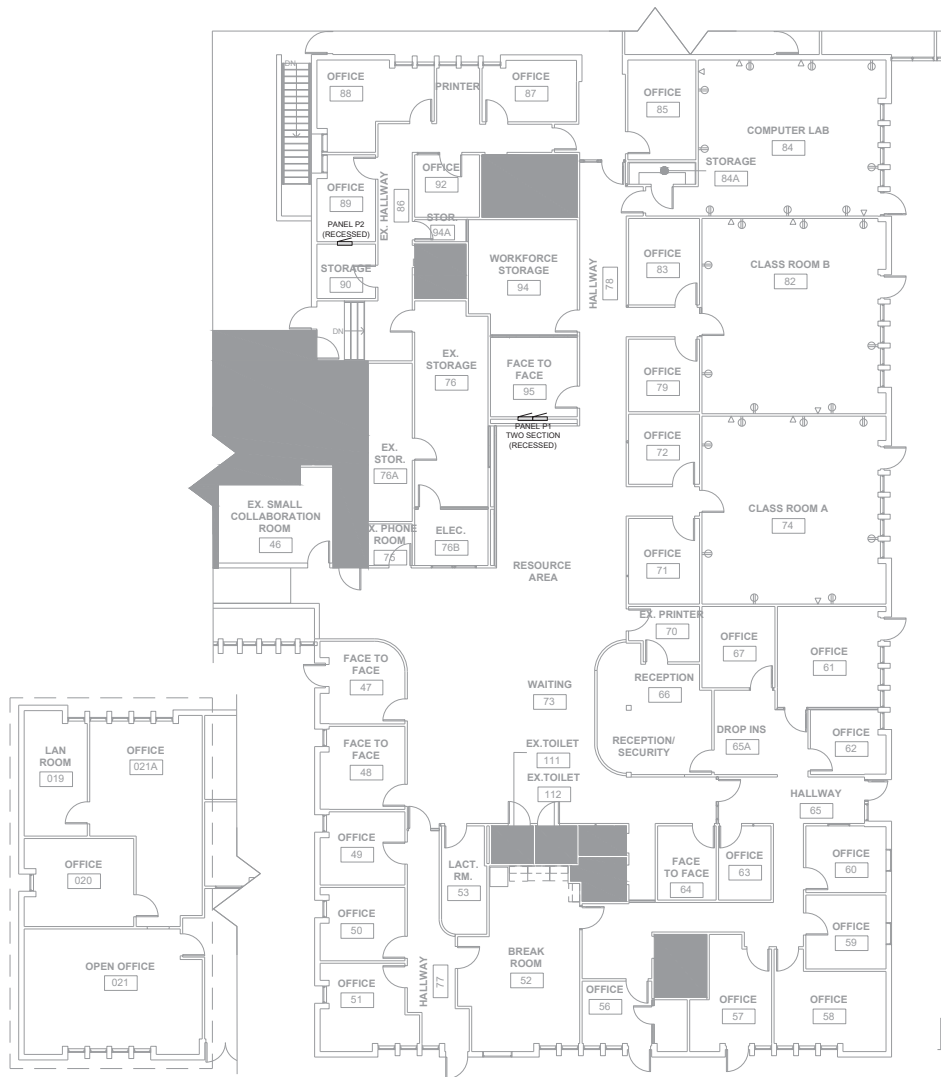
PROJECT  
 1333 IRIS REMODEL

LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80004  
 SHEET  
 FIRST FLOOR  
 REMODEL  
 POWER PLAN  
 FILE NAME

ACCT 120066  
 DATE: 12/18/2019  
 DRAWN BY: AJ  
 CHECKED BY: AE

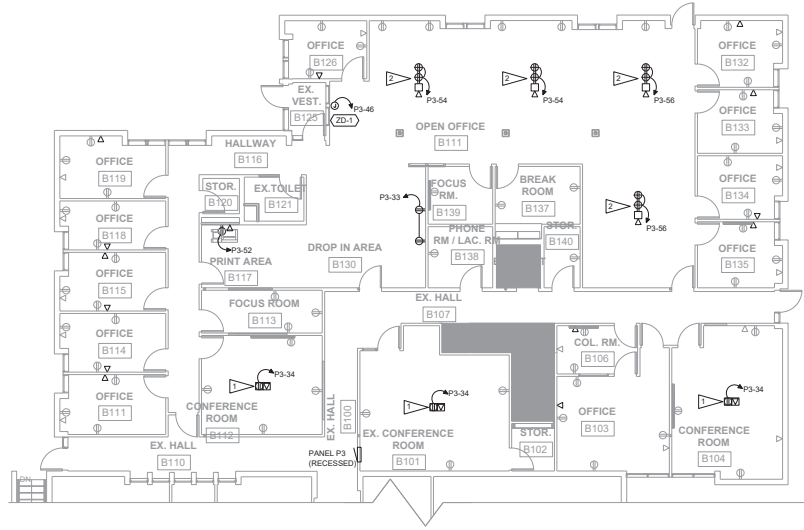
REVISIONS

SHEET  
**E-111**



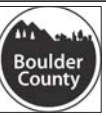
**3**  
 E111  
 SOUTHWEST CORNER  
 REMODEL PLAN  
 1/8" = 1'-0"

**2**  
 E112  
 SOUTHEAST CORNER  
 REMODEL PLAN  
 1/8" = 1'-0"



**1**  
 E111  
 NORTHEAST CORNER  
 REMODEL PLAN  
 1/8" = 1'-0"

PLAN GENERAL NOTES:  
REFER TO E-000 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
AND LIGHTING CONTROL GENERAL NOTES.



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BOULDER COUNTY  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80504

SHEET  
PARTIAL ROOF  
PLAN

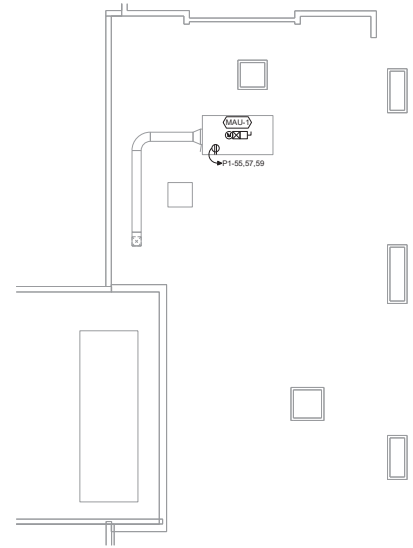
FILE NAME

ACCT 120066  
DATE 12/18/2019  
DRAWN BY: AEI  
CHECKED BY: AEI

REVISIONS

NO.	DESCRIPTION

SHEET  
E-112

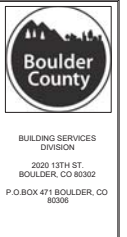


1 PARTIAL ROOF PLAN  
E112 1/8" = 1'-0"



**PLAN GENERAL NOTES:**  
 REFER TO E-000 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
 AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**  
 NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.  
 ▽ INSTALL NEW LUMINAIRE(S) AND LIGHTING CONTROLS AS SPECIFIED, CONNECT TO EXISTING LIGHTING BRANCH CIRCUITS IN THE VICINITY AND PROVIDE LIGHTING CONTROL ZONES AS INDICATED ON PLAN (WHERE NOTED WITH a OR b).  
 ▽ INSTALL NEW EXIT SIGN OR EM LUMINAIRE TO UNSWITCHED CONDUCTOR OF LOCAL LIGHTING CIRCUIT.



**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

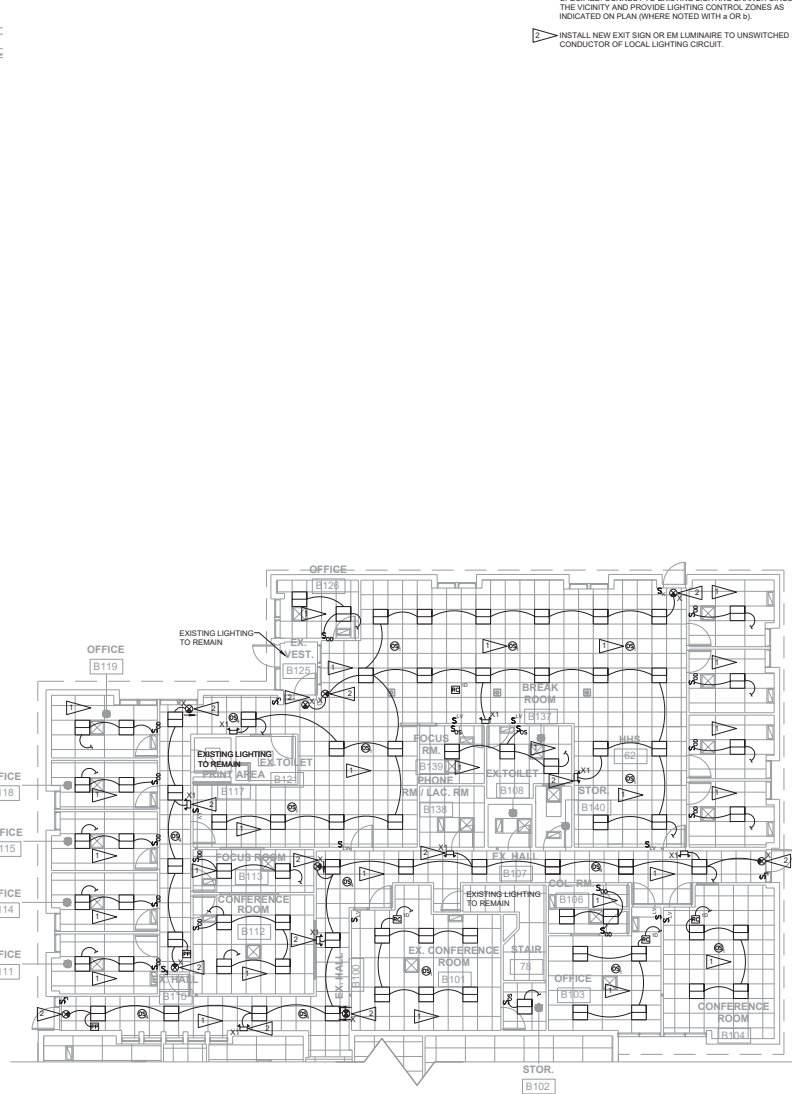
LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80504

SHEET  
FIRST FLOOR  
REFLECTED CEILING  
REMODEL PLAN  
FILE NAME

ACCT 120066  
DATE: 12/18/2019  
DRAWN BY: AEJ  
CHECKED BY: AEJ

NO.	REVISIONS

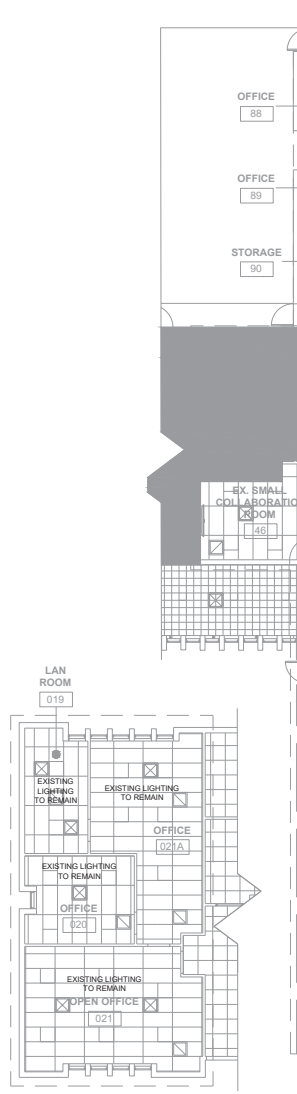
SHEET  
**E-121**



**1** NORTHEAST CORNER  
REFLECTED CEILING REMODEL PLAN  
1/8" = 1'-0"



**2** SOUTHEAST CORNER  
REFLECTED CEILING REMODEL PLAN  
1/8" = 1'-0"



**3** SOUTHWEST CORNER  
REFLECTED CEILING  
PLAN  
1/8" = 1'-0"

**DEMOLITION PLAN GENERAL NOTES:**  
 REFER TO E-500 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES,  
 AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**

- NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.
- EXISTING PANEL A / NEW PANEL P1: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MAIN DISTRIBUTION BOARD (MDC) IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P1 SCHEDULE ON SHEET E-500.
- EXISTING PANEL KP1 / NEW PANEL P2: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.
- EXISTING PANEL E / NEW PANEL P3: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P3 SCHEDULE ON SHEET E-500.
- EXISTING "TAP" PANEL: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P2. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.
- EXISTING PANEL: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P2. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.



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**BOULDER COUNTY**  
 1333 IRIS REMODEL

PROJECT  
 1333 IRIS REMODEL  
 LOCATION  
 1333 IRIS AVE.  
 BOULDER, COLORADO  
 80004  
 SHEET  
 ELECTRICAL ONE LINE  
 DEMOLITION  
 FILE NAME

ACCT 120066  
 DATE: 12/18/2019  
 DRAWN BY: AEJ  
 CHECKED BY: AEJ

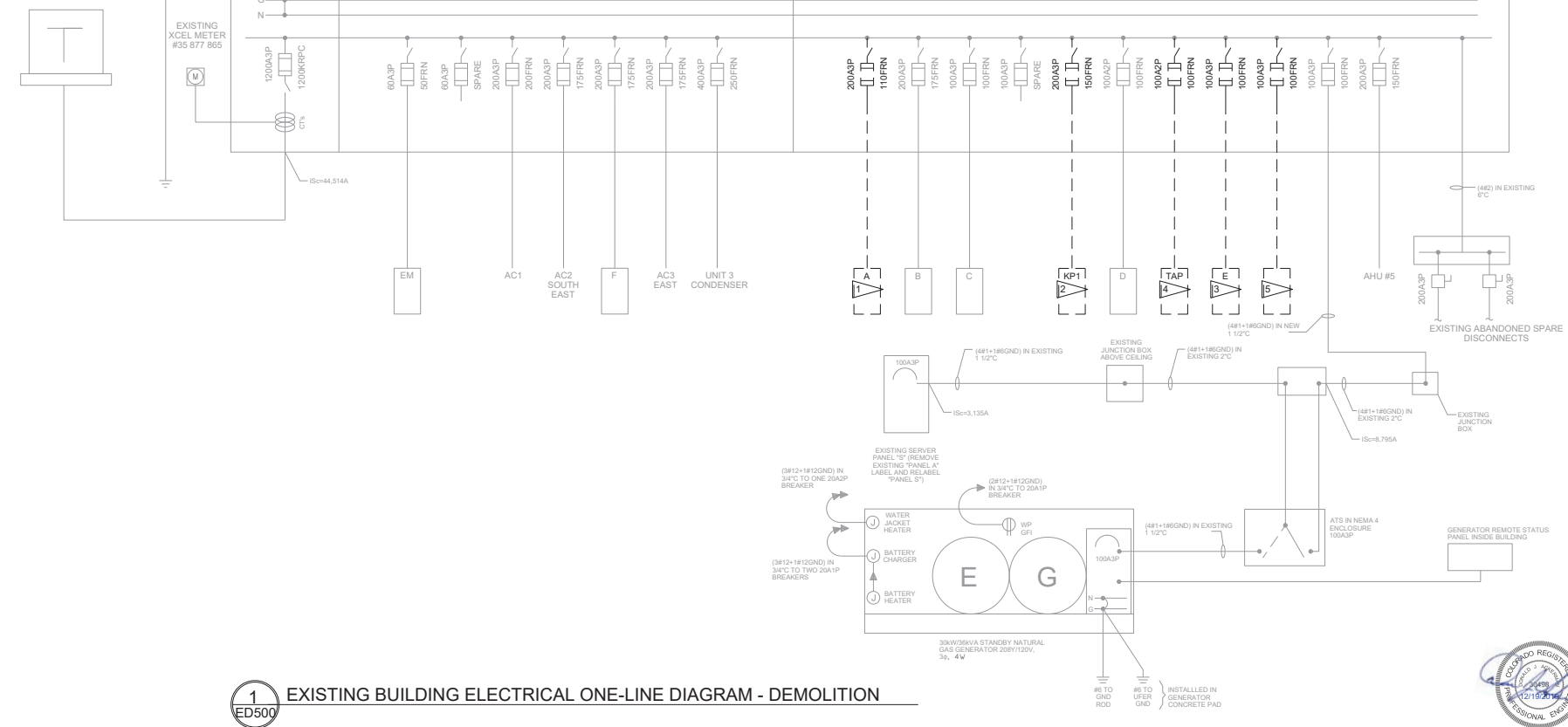
REVISIONS

SHEET  
**ED-500**



EXISTING MAIN DISTRIBUTION CENTER "MDC" 1200A, 208Y/120V,  
 3φ, 4W, 50,000AIC, WEYCO UNIPOWER SWITCHBOARD BY  
 YOUNG ELECTRIC & MFG, CO.

EXISTING XCEL  
 ENERGY PADMOUNT  
 TRANSFORMER 300KVA,  
 208Y/120V, SECONDARY



**1** EXISTING BUILDING ELECTRICAL ONE-LINE DIAGRAM - DEMOLITION

Short Circuit Summary						
Point-to-Point * Feeder Summary						
Description	Phase	Length	Isc Avail	# Runs	C	V(L-L)
Utility Transformer			56900			
MDC	3	60	56900	4	22737	208
Panel P1	3	200	44514	1	13923	208
Panel P2	3	200	7045	1	4911	208
Panel P3	3	200	2050	1	4911	208

FEEDER SCHEDULE					
ALL WIRE SHALL BE COPPER UNLESS NOTED OTHERWISE					
Feeder Key	# of Runs	Wire Size	Ground	Conduit	Notes
150A4G	1 Set	4#1/0	+1#6G	2"	
200A4G	1 Set	4#3/0	+1#6G	2 1/2"	

NOTES:  
1 Minimum 1" Conduit for all underground installations

**DEMOLITION PLAN GENERAL NOTES:**  
REFER TO E-500 FOR PLAN GENERAL NOTES, LIGHTING GENERAL NOTES, AND LIGHTING CONTROL GENERAL NOTES.

**FLAG NOTES:**  
NOT ALL FLAG NOTES MAY BE USED ON EACH SHEET.

- EXISTING PANEL A / NEW PANEL P1: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MAIN DISTRIBUTION CENTER (MDC) IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P1 SCHEDULE ON SHEET E-500.
- EXISTING PANEL KP1 / NEW PANEL P2: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.
- EXISTING PANEL E / NEW PANEL P3: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. PROVIDE NEW DISTRIBUTION FEEDER FROM MDC TO NEW PANEL LOCATION. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P3 SCHEDULE ON SHEET E-500.
- EXISTING "TAP" PANEL: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P2. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.
- EXISTING PANEL: DEMO EXISTING PANEL CONDUIT AND DISTRIBUTION FEEDERS BACK TO MDC IN BASEMENT. EXTEND EXISTING BRANCH CIRCUITS TO NEW PANEL P2. REFER TO NEW PANEL LOCATION ON SHEET E-111 AND PANEL P2 SCHEDULE ON SHEET E-500.



**Boulder County**  
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Wheat Ridge, Colorado 80225  
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F: 303-778-1929  
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**BOULDER COUNTY**  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80004

SHEET  
ELECTRICAL ONE LINE

FILE NAME

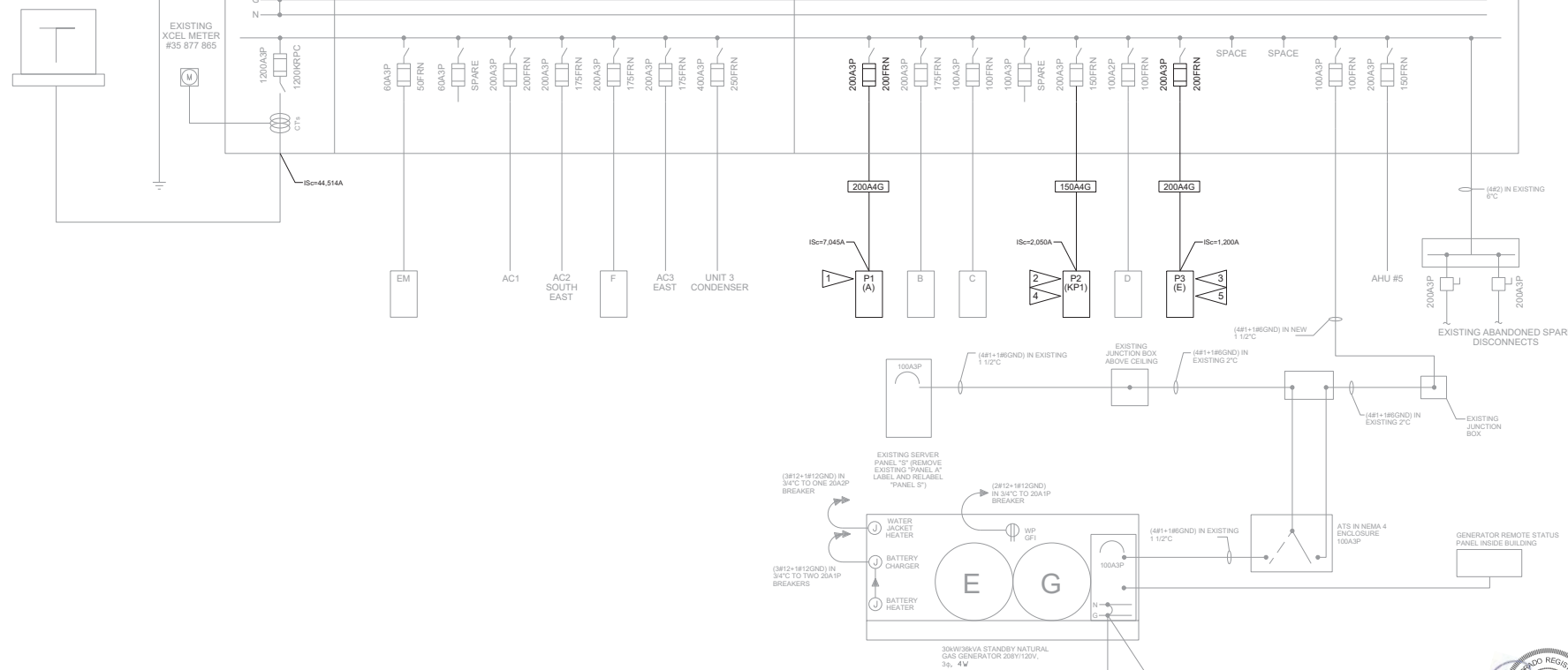
ACCT 120066  
DATE: 12/18/2019  
DRAWN BY: AEJ  
CHECKED BY: AEJ

REVISIONS

SHEET  
E-500

EXISTING MAIN DISTRIBUTION CENTER "MDC" 1200A, 208Y/120V, 3φ, 4W, 50,000AIC WEYCO UNIPOWER SWITCHBOARD BY YOUNG ELECTRIC & MFG, CO.

EXISTING XCEL ENERGY PADMOUNT TRANSFORMER 300KVA, 208Y/120V, SECONDARY



1 E500 EXISTING BUILDING ELECTRICAL ONE-LINE DIAGRAM - NEW





BUILDING SERVICES DIVISION  
2020 13TH ST.  
BOULDER, CO 80502  
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BOULDER COUNTY  
1333 IRIS REMODEL

PROJECT  
1333 IRIS REMODEL

LOCATION  
1333 IRIS AVE.  
BOULDER, COLORADO  
80004

SHEET  
ELECTRICAL SCHEDULES  
AND DETAILS

FILE NAME

ACCT: 120066  
DATE: 12/18/2019  
DRAWN BY: AJJ  
CHECKED BY: AEJ

REVISIONS

SHEET  
E-600



BC 1333 Iris Building Renovation - Equipment Electrical Connection Schedule									
Key	Description	Electrical			Feeder & Conduit			Protection	Notes
		Load	Volt	PH	A/C	Feeder	Conduit		
MAU-1R	Make Up Air Unit 1	212 MCA 30 KW/CP	208	3	NA	Panel P3-55.57.57 BWR (New 20A3P) Feeder (New 2812+1812G) 3/4"C	Heavy Duty Safety Disc @ Unit 20A3P / 2FIS-R		
MAU-1R	Make Up Air Unit Maintenance Rec	180 W	120	1	NA	Feeder (New 2812+1812G) 3/4"C Panel P3-48 BWR (New 20A3P)	Hardware Connection Only Heavy Duty Safety Disc @ Unit 20A3P / 2FIS-R		1
ZD-1	Zone Damper 1	14 W	120	1	NA	Feeder (New 2812+1812G) 3/4"C			

Notes (All notes may not be used in the schedule above):  
1 Provide a separate 120V circuit to unit for maintenance receptacle and/or internal lighting - refer to the receptacle/lighting information line in this schedule, for this unit -

COORDINATE EXACT REQUIREMENTS FOR ALL ELECTRICAL WORK ASSOCIATED WITH THE MECHANICAL EQUIPMENT MODIFICATIONS, WITH THE MECHANICAL CONTRACTOR, MANUFACTURER'S NAMEPLATES AND LITERATURE PRIOR TO ROUGH-IN. REFER TO THE MECHANICAL PLANS (9WAC & PLUMBING) FOR ALL EQUIPMENT LOCATIONS

BC 1333 Iris Building Renovation Luminaire Schedule										
Key	LED Color, Wattage	Delivered Lumens	Driver & Dimming	Description	Finish	Mount	Manufacturer	Specification Catalog Number	Max Input Voltage	Notes
A	19W 4000K	2,776	5 VOLT 10% DIM	RECESSED LED 2x2 CENTER BASKET (TROFFER, INTEGRAL DRIVER)	WHITE	RECESSED	RAB	SW5WBQ2-19W1010	120	20
X	LED'S INCLUDED	NA	NA	UNIVERSAL MOUNTED LED EXIT SIGN, WHITE STEEL HOUSING, GREEN LEDS, FACES AND ARROWS PER DRAWINGS. BATTERY BACK-UP	WHITE GREEN LED'S	UNIVERSAL	EXTRONIX	GG0 JEZE-WB-WH-C10	120	5
X1	NA	1100	NA	WALL MOUNTED EMERGENCY LIGHT, BATTERY BACK-UP, TWO ADJUSTABLE LED LAMP HEADS, SELF DIMMING	WHITE	WALL	DUALITE	LZ-151	120	

Not all parts and pieces may be identified in the catalog number - it shall be the Contractor's and Supplier/Manufacturer's responsibility to ensure all necessary parts, pieces, and hardware are provided with the luminaire for a complete installation.

Name	Panel P2	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Rec. TV Control Unit	1200	20	1	1	1200
2	Rec. Staff Lounge Conf	1200	20	1	1	1200
3	Rec. Staff Lounge 150	1200	20	1	1	1200
4	Rec. Staff Lounge 150	1200	20	1	1	1200
5	Rec. Staff Lounge 150	1200	20	1	1	1200
6	Rec. Staff Lounge 150	1200	20	1	1	1200
7	Rec. Staff Lounge 150	1200	20	1	1	1200
8	Rec. Staff Lounge 150	1200	20	1	1	1200
9	Rec. Staff Lounge 150	1200	20	1	1	1200
10	Rec. Staff Lounge 150	1200	20	1	1	1200
11	Rec. Staff Lounge 150	1200	20	1	1	1200
12	Rec. Staff Lounge 150	1200	20	1	1	1200
13	Rec. Staff Lounge 150	1200	20	1	1	1200
14	Rec. Staff Lounge 150	1200	20	1	1	1200
15	Rec. Staff Lounge 150	1200	20	1	1	1200
16	Rec. Staff Lounge 150	1200	20	1	1	1200
17	Rec. Staff Lounge 150	1200	20	1	1	1200
18	Rec. Staff Lounge 150	1200	20	1	1	1200
19	Rec. Staff Lounge 150	1200	20	1	1	1200
20	Rec. Staff Lounge 150	1200	20	1	1	1200
21	Rec. Staff Lounge 150	1200	20	1	1	1200
22	Rec. Staff Lounge 150	1200	20	1	1	1200
23	Rec. Staff Lounge 150	1200	20	1	1	1200
24	Rec. Staff Lounge 150	1200	20	1	1	1200
25	Rec. Staff Lounge 150	1200	20	1	1	1200
26	Rec. Staff Lounge 150	1200	20	1	1	1200
27	Rec. Staff Lounge 150	1200	20	1	1	1200
28	Rec. Staff Lounge 150	1200	20	1	1	1200
29	Rec. Staff Lounge 150	1200	20	1	1	1200
30	Rec. Staff Lounge 150	1200	20	1	1	1200
31	Rec. Staff Lounge 150	1200	20	1	1	1200
32	Rec. Staff Lounge 150	1200	20	1	1	1200
33	Rec. Staff Lounge 150	1200	20	1	1	1200
34	Rec. Staff Lounge 150	1200	20	1	1	1200
35	Rec. Staff Lounge 150	1200	20	1	1	1200
36	Rec. Staff Lounge 150	1200	20	1	1	1200
37	Rec. Staff Lounge 150	1200	20	1	1	1200
38	Rec. Staff Lounge 150	1200	20	1	1	1200
39	Rec. Staff Lounge 150	1200	20	1	1	1200
40	Rec. Staff Lounge 150	1200	20	1	1	1200
41	Rec. Staff Lounge 150	1200	20	1	1	1200
42	Rec. Staff Lounge 150	1200	20	1	1	1200

Name	Panel P1	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 13820 VA	
2	Rec over 10,000	10000	100%		Ph B 12740 VA	
3	Motor	15940	50%		Ph C 10960 VA	
4	Water		100%	Connected	27220 VA	
5	Kitchen		100%	Code Demand	25000 VA	
6	Microbanium		100%	Code Demand	68.81 Amps	

Name	Panel P3	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 21900 VA	
2	Rec over 10,000	10000	100%		Ph B 21900 VA	
3	Motor	15940	50%		Ph C 11920 VA	
4	Water		100%	Connected	62400 VA	
5	Kitchen		100%	Code Demand	60200 VA	
6	Microbanium		100%	Code Demand	158.32 Amps	
7	Sub Panel		100%	Code Demand	187.32 Amps	

Name	Panel P1	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 21900 VA	
2	Rec over 10,000	10000	100%		Ph B 21900 VA	
3	Motor	15940	50%		Ph C 11920 VA	
4	Water		100%	Connected	62400 VA	
5	Kitchen		100%	Code Demand	60200 VA	
6	Microbanium		100%	Code Demand	158.48 Amps	
7	Sub Panel		100%	Code Demand	187.48 Amps	

Name	Panel P1	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 21900 VA	
2	Rec over 10,000	10000	100%		Ph B 21900 VA	
3	Motor	15940	50%		Ph C 11920 VA	
4	Water		100%	Connected	62400 VA	
5	Kitchen		100%	Code Demand	60200 VA	
6	Microbanium		100%	Code Demand	158.48 Amps	
7	Sub Panel		100%	Code Demand	187.48 Amps	

Name	Panel P1	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 21900 VA	
2	Rec over 10,000	10000	100%		Ph B 21900 VA	
3	Motor	15940	50%		Ph C 11920 VA	
4	Water		100%	Connected	62400 VA	
5	Kitchen		100%	Code Demand	60200 VA	
6	Microbanium		100%	Code Demand	158.48 Amps	
7	Sub Panel		100%	Code Demand	187.48 Amps	

Name	Panel P1	Unit	Method	Required
Volt	208/120	Bus Rating	100	
Ph	3	Main Breaker	Main Lug Only	225
Wire	4	A/C Rating	10,000	

Code	Description	Load	VA	Dem	Per Phase	Load Summary
1	Lighting	10000	100%		Ph A 21900 VA	
2	Rec over 10,000	10000	100%		Ph B 21900 VA	
3	Motor	15940	50%		Ph C 11920 VA	
4	Water		100%	Connected	62400 VA	
5	Kitchen		100%	Code Demand	60200 VA	
6	Microbanium		100%	Code Demand	158.48 Amps	
7	Sub Panel		100%	Code Demand	187.48 Amps	



# Boulder County Sample Contract

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THIS CONTRACT ("Contract") is entered into by and between the County of Boulder, State of Colorado, a body corporate and politic, acting by and through its Board of County Commissioners for the benefit of the [Department] ("County") and [Supplier] ("Contractor"). County and Contractor are each a "Party," and collectively the "Parties."

In consideration of the mutual covenants contained in this Contract, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

1. Incorporation into Contract: The **Details Summary** is incorporated into this Contract. The **Contract Documents** are incorporated into this Contract by reference, except to the extent that the Proposal, if any is incorporated, contains any obligations placed upon County and not otherwise contained in this Contract.
2. Work to be Performed: Contractor will provide all labor and equipment and do all tasks necessary and incidental to performing the work as described in the **Details Summary** and **Contract Documents** (the "Work"). Contractor will perform the Work (a) in a good and workmanlike manner, (b) at its own cost and expense, (c) in accordance with recognized industry standards of care, skill and diligence for the type of work being performed, and (d) in strict accordance with the Contract.
3. Term of Contract: The **Contract Term** begins on the **Start Date** and expires on the **Expiration Date**, unless terminated sooner. All the Work must be performed during the **Contract Term**.
4. Payment for Work Performed: In consideration of the Work performed by Contractor, and subject to conditions contained in this Contract, County will pay an amount not to exceed the **Contract Amount** to Contractor in accordance with the **Contract Documents**.
5. Invoicing: Contractor will promptly provide a copy of its Form W-9 and invoice template to County upon request. Contractor must submit an invoice to the County by the fifteenth (15th) day of the month following completion of the Work. All invoices submitted require the following components: Contractor's name and address (submitted W-9 address must match remit address), detailed description of services, dates of services, itemization of labor and materials costs, "Bill to: Boulder County" language, payment remittance address, payer, name and address, date of invoice, unique invoice number, and total amount due. Contractor must send all completed invoices to the **Invoice Contact** in the **Details Summary**. Email delivery is preferred by the County; County may require delivery of invoices by email. Failure to submit invoices in a timely manner and in accordance with the terms of this Contract may cause a delay in payment. County may recoup any damages incurred because of Contractor's failure to submit invoices pursuant to the terms of this paragraph. County's acceptance or payment of an invoice will not constitute acceptance of any Work performed under this Contract.
6. Extra Time to Complete the Work: If Contractor cannot complete the Work by the **Expiration Date**, Contractor may request extra time to complete the Work. County, in its sole discretion, may grant Contractor additional time to complete the Work and, if so, will provide Contractor with written notice of the amount of extra time granted. County granting extra time to complete the Work will not entitle Contractor to additional compensation from County. This Contract will remain in full force and effect during any time period that Contractor is permitted to finish completing the Work.
7. Extension of Contract Term (Additional Work): Upon mutual agreement of the Parties, this Contract may be extended until the **Final End Date**. During any extended **Contract Term**, the terms of this Contract will remain in full force and effect, unless otherwise amended in writing by the Parties. Where the Contractor will provide additional services for additional compensation beyond the initial **Contract Amount**, the Parties must execute a written amendment before the then-current **Expiration Date**. If necessary, the written amendment will incorporate an updated Scope of Work and updated Fee Schedule as exhibits. Contractor must provide a current Certificate of Insurance to the County that complies with the **Insurance Requirements** of this Contract, if any, prior to any extended **Contract Term**.



8. Schedule of Work: County may designate the hours (on a daily or weekly basis) during which Contractor can perform the Work, strictly for the purposes of minimizing inconvenience to the County and interference with County operations. Contractor will otherwise set its own work schedule.
9. Indemnity: Contractor will be liable for any damages to persons or property caused by or arising out of the actions, obligations, or omissions of Contractor, its employees, agents, representatives or other persons acting under Contractor's direction or control in performing or failing to perform the Work under this Contract. Contractor will indemnify and hold harmless County, its elected and appointed officials, and its employees, agents and representatives (the "indemnified parties"), from any and all liability, claims, demands, actions, damages, losses, judgments, costs or expenses, including attorneys' fees, which may be made or brought or which may result against any of the indemnified parties as a result or on account of the actions or omissions of Contractor, its employees, agents or representatives, or other persons acting under Contractor's direction or control. This indemnification obligation will extend to claims based on Contractor's unauthorized use or disclosure of confidential information and intellectual property infringement. County will not be obligated to indemnify or defend Contractor under any circumstances. Contractor's obligations under this provision shall survive expiration or termination of this Contract.
10. Nondiscrimination: Contractor will comply with the letter and spirit of the Colorado Anti-Discrimination Act, C.R.S. § 24-34-401, et seq., as amended, and all applicable local, State and Federal laws concerning discrimination and unfair employment practices. County prohibits unlawful discrimination on the basis of race, color, religion, gender, gender identity, national origin, age 40 and over, disability, socio-economic status, sexual orientation, genetic information, or any other status protected by applicable Federal, State or local law. Contractor must require that its subcontractors, if any, similarly comply with all applicable laws concerning discrimination and unfair employment practices.
11. Information and Reports: Contractor will provide to authorized County, State, and Federal government representatives all information and reports that may be required for any purpose authorized by law. Contractor will permit access to such representatives to Contractor's facilities, books, records, accounts, and any other relevant sources of information. Where information required by a representative is in the exclusive possession of a person or entity other than Contractor, Contractor must so certify to the County and explain what efforts it has made to obtain the information.
12. Independent Contractor: Contractor is an independent contractor for all purposes in performing the Work. Contractor is not an employee of the County for any purpose, including the Federal Insurance Contribution Act, the Social Security Act, the Federal Unemployment Tax Act, the provisions of the Internal Revenue Code, the Colorado Workers' Compensation Act, the Colorado Unemployment Insurance Act, and the Public Employees Retirement Association. Accordingly, County will not withhold or pay any income tax, payroll tax, or retirement contribution of any kind on behalf of Contractor or Contractor's employees. As an independent contractor, Contractor is responsible for employing and directing such personnel and agents as it requires to perform the Work. Contractor will exercise complete authority over its personnel and agents and will be fully responsible for their actions.
13. Termination for Non-Appropriation: The other provisions of this Contract notwithstanding, the County is prohibited by law from making commitments beyond the current fiscal year. Payment to Contractor beyond the current fiscal year is contingent on the appropriation and continuing availability of funding in any subsequent year. County has reason to believe that sufficient funds will be available for the full **Contract Term**. Where, however, funds are not allocated for any fiscal period beyond the current fiscal year, County may terminate this Contract without penalty by providing seven (7) days' written notice to Contractor.
14. Termination for Breach: Either Party's failure to perform any of its material obligations under this Contract, in whole or in part or in a timely or satisfactory manner, will be a breach. The institution of proceedings under any bankruptcy, insolvency, reorganization or similar law, by or against Contractor, or the appointment of a receiver or similar officer for Contractor or any of its property, which is not vacated or fully stayed within thirty (30) days after the institution of such proceeding, will also constitute a breach. In the event of a breach, the non-breaching Party may provide written notice of the breach to the other Party. If the notified Party does not cure the breach, at its sole expense, within thirty (30) days after delivery of notice, the non-breaching Party may exercise any of its remedies provided under this Contract or at law, including immediate termination of this Contract.

15. Termination for Convenience: County may terminate this Contract, in whole or in part, for any reason, upon seven (7) days' advance written notice to Contractor.

16. Remedies for Non-Performance: If Contractor fails to perform any of its obligations under this Contract, County may, at its sole discretion, exercise one or more of the following remedies, which shall survive expiration or termination of this Contract:

a. Suspend Performance: County may require that Contractor suspend performance of all or any portion of the Work pending necessary corrective action specified by the County and without entitling Contractor to an increase in compensation or extension of the performance schedule. Contractor must promptly stop performance and incurring costs upon delivery of a notice of suspension by the County.

b. Withhold Payment Pending Corrections: County may permit Contractor to correct any rejected Work at the County's discretion. Upon County's request, Contractor must correct rejected work at Contractor's sole expense within the time frame established by the County. Upon completion of the corrections satisfactory to the County, County will remit payment to Contractor.

c. Deny Payment: County may deny payment for any Work that does not comply with the requirements of the Contract or that Contractor otherwise fails to provide or complete, as determined by the County in its sole discretion. Upon County request, Contractor will promptly refund any amounts prepaid by the County with respect to such non-compliant Work.

d. Removal: Upon County's request, Contractor will remove any of its employees or agents from performance of the Work, if County, in its sole discretion, deems any such person to be incompetent, careless, unsuitable, or otherwise unacceptable.

17. Binding Arbitration Prohibited: County does not agree to binding arbitration by any extra-judicial body or person.

18. Conflicts of Interest: Contractor must not engage in any business or personal activities or practices or maintain any relationships that conflict in any way with the full performance of Contractor's obligations.

19. Notices: All notices provided under this Contract must be in writing and sent by Certified U.S. Mail (Return Receipt Requested), electronic mail, or hand-delivery to the other Party's **Contact** at the address specified in the **Details Summary**. For certified mailings, notice periods will begin to run on the day after the postmarked date of mailing. For electronic mail or hand-delivery, notice periods will begin to run on the date of delivery.

20. Statutory Requirements: This Contract is subject to all statutory requirements that are or may become applicable to counties or political subdivisions of the State of Colorado generally, including but not limited to: C.R.S. § 38-26-107, which requires withholding funds where the County receives a claim for payment from a supplier or subcontractor of Contractor upon notice of final settlement (required for public works contracts that exceed \$150,000); C.R.S. § 8-17-101 et seq.; C.R.S. § 18-8-301, et seq.; and C.R.S. § 18-8-401, et seq.

21. Public Contracts for Services (C.R.S. §§ 8-17.5-101, et seq.): Contractor hereby certifies, warrants, and agrees that it does not knowingly employ or contract with an illegal alien who will perform work under this Contract and further certifies that it will confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Contract by participating in the E-Verify Program established under Pub. L. 104-28 or the department verification program established under C.R.S. § 8-17.5-102(5)(c). Contractor (i) shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (ii) shall not enter into a contract with a subcontractor that fails to certify to the contractor that the subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (iii) has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this Contract through participation in the E-Verify program or department program; (iv) is prohibited from using either the E-Verify program or department program procedures to undertake preemployment screening of job applicants while this Contract is being performed; and (v) shall comply with any reasonable request by the department made in the course of an investigation that the Colorado Department of Labor and Employment is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5). If Contractor obtains actual knowledge that a subcontractor performing work under this

Contract knowingly employs or contracts with an illegal alien, Contractor shall (a) notify the subcontractor and County within three (3) days that Contractor has actual knowledge that subcontractor is employing or contracting with an illegal alien; and (b) terminate the subcontract if, within three (3) days of receiving notice hereunder, subcontractor does not stop employing or contracting with the illegal alien; except that Contractor shall not terminate the contract with the subcontractor if during such three (3) days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien. Contractor's violation of this provision will constitute a material breach of this Contract, entitling the County to terminate the contract for breach. If this Contract is so terminated, Contractor shall be liable for actual and consequential damages to the County.

22. Entire Agreement/Binding Effect/Amendments: This Contract represents the complete agreement between the Parties and is fully binding upon them and their successors, heirs, and assigns, if any. This Contract terminates any prior agreements, whether written or oral in whole or in part, between the Parties relating to the Work. This Contract may be amended only by a written agreement signed by both Parties.

23. Assignment/Subcontractors: This Contract may not be assigned or subcontracted by Contractor without the prior written consent of the County. If Contractor subcontracts any of its obligations under this Contract, Contractor will remain liable to the County for those obligations and will also be responsible for subcontractor's performance under, and compliance with, this Contract.

24. Governing Law/Venue: The laws of the State of Colorado govern the construction, interpretation, performance, and enforcement of this Contract. Any claim relating to this Contract or breach thereof may only be brought exclusively in the Courts of the 20<sup>th</sup> Judicial District of the State of Colorado and the applicable Colorado Appellate Courts.

25. Breach: The failure of either Party to exercise any of its rights under this Contract will not be deemed to be a waiver of such rights or a waiver of any breach of the Contract. All remedies available to a Party in this Contract are cumulative and in addition to every other remedy provided by law.

26. Severability: If any provision of this Contract becomes inoperable for any reason but the fundamental terms and conditions continue to be legal and enforceable, then the remainder of the Contract will continue to be operative and binding on the Parties.

27. Third-Party Beneficiary: Enforcement of the terms and conditions and all rights and obligations of this Contract are reserved to the Parties. Any other person receiving services or benefits under this Contract is an incidental beneficiary only and has no rights under this Contract. Notwithstanding, where the beneficiary **Department** is led by an Elected Official, such Elected Official shall be considered a third-party beneficiary.

28. Colorado Open Records Act: County may disclose any records that are subject to public release under the Colorado Open Records Act, C.R.S. § 24-72-101, et seq.

29. Conflict of Provisions: If there is any conflict between the terms of the main body of this Contract and the terms of any of the **Contract Documents**, the terms of the main body of the Contract will control.

30. Governmental Immunity: Nothing in this Contract shall be construed in any way to be a waiver of the County's immunity protection under the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, et seq., as amended.

31. Representations and Warranties: Contractor represents and warrants the following:

- a. Execution of this Contract and performance thereof is within Contractor's duly authorized powers;
- b. The individual executing this Contract is authorized to do so by Contractor;
- c. Contractor is authorized to do business in the State of Colorado and is properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over the Work and the Contractor; and
- d. Contractor and its subcontractors, if any, are financially solvent, able to pay all debts as they mature, and have sufficient working capital to complete the Work and perform all obligations under the Contract.

32. Legal Compliance: Contractor assumes full responsibility for obtaining and maintaining any permits and licenses required to perform the Work. Contractor's performance under this Contract and the Work itself will comply with all Federal, State, and local laws, regulations, ordinances and codes.
33. Litigation Reporting: Contractor is not currently involved in any action before a court or other administrative decision-making body that could affect Contractor's ability to perform the Work. Contractor will promptly notify the County if Contractor is served with a pleading or other document in connection with any such action.
34. Tax Exemption: County is exempt from payment of Federal, State, and local government taxes. Contractor shall collect no tax from the County, and the County shall not be liable to pay any taxes imposed on Contractor. County shall provide its tax exemption status information to Contractor upon request.
35. Delegation of Authority: The Parties acknowledge that the Board of County Commissioners has delegated authority to the Department Head or Elected Official that leads the beneficiary **Department** and their designees to act on behalf of the County under the terms of this Contract, including but not limited to the authority to terminate this Contract.
36. Ownership of Work Product: All work product, property, data, documentation, information or materials conceived, discovered, developed or created by Contractor pursuant to this Contract ("Work Product") will be owned exclusively by the County. To the extent possible, any Work Product will be deemed to be a work made for hire. Contractor unconditionally and irrevocably transfers and assigns to the County all right, title and interest in and to any Work Product.
37. Publicity Releases: Contractor will not refer to this Contract or the County in commercial advertising without prior written consent of the County. This provision shall survive expiration or termination of this Contract.
38. Execution by Counterparts; Electronic Signatures: This Contract may be executed in multiple counterparts, each of which will be deemed an original, but all of which will constitute one agreement. The Parties approve the use of electronic signatures, governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24 71.3 101 to 121. The Parties will not deny the legal effect or enforceability of this Contract solely because it is in electronic form or because an electronic record was used in its creation. The Parties will not object to the admissibility of this Contract in the form of electronic record, or paper copy of an electronic document, or paper copy of a document bearing an electronic signature, because it is not in its original form or is not an original.
39. Limitation on Public Statements and Lobbying Activity. During the term of this Contract, Contractor may receive from the County its confidential data, work product, or other privileged or confidential information that is protected by law. To maintain the fact and appearance of absolute objectivity, Contractor shall not, without the prior written consent of the County, which shall not be unreasonably withheld, do any of the following: (a) disclose information obtained because of this contractual relationship to any third party; (b) lobby any State or Federal agency on any pending matter while this Contract is effective; or (c) make any public statements or appear at any time to give testimony at any public meeting on the subject matters regarding which Contractor is or was retained by the County. County may set reasonable conditions on any disclosure authorized by the County under this provision. Notwithstanding, Contractor may make disclosures as required by law, and to law enforcement officials in connection with any criminal justice investigation.
40. Sustainability: County encourages Contractor to consider the procurement and use of environmentally preferable products and services while performing services under this Contract. "Environmentally preferable purchasing" means making purchasing choices for products and services that have a lesser or reduced adverse effect on human health and the environment when compared with competing products and services that serve the same purpose. Environmentally preferable purchasing is consistent with the County's commitment to protecting our air, water, soil, and climate for current and future generations. County encourages Contractor to incorporate the following actions into Contractor's performance of the Work: environmentally preferable supplies and services; conservation of water; efficient energy use; waste prevention; reuse and recycle construction and de-construction materials in a manner that maximizes reuse of materials; sustainable transportation choices, including consideration to business communication software such as Skype alternative to air travel and public transit or carpooling for in-person

meetings; pollution prevention; low toxicity for public health & safety; and reduced emissions to address climate change.

41. Insurance Requirements: Prior to commencing the Work, Contractor will provide a Certificate of Insurance to the County demonstrating adequate insurance coverage as required by this paragraph. All policies evidencing coverage required by the Contract will be issued by insurance companies satisfactory to the County. Contractor will forward Certificates of Insurance directly to the **County Department** and **Contact** listed in the **Details Summary**.

a. For the entire duration of this Contract including any extended or renewed terms, and longer as may be required by this Contract, Contractor shall procure and maintain at its own expense, and without cost to the County, the following kinds and minimum amounts of insurance to insure the liability risks that Contractor has assumed under this Contract:

i. **Commercial General Liability**

***Non-Construction contracts use the following language:***

This coverage should be provided on an Occurrence Form, ISO CG001 or equivalent, with Minimum limits of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products Completed Operations Aggregate.

***Construction Contracts only – include the following paragraph:***

Coverage should be provided on an Occurrence form, ISO CG0001 or equivalent. The policy shall be endorsed to include Additional Insured Owners, Lessees or Contractors endorsements CG 2038 (or equivalent), Designated Construction Project(s) General Aggregate Endorsement CG2503 (or equivalent) and Additional Insured Completed Operations for Owners, Lessees or Contractors CG 2037 (or equivalent). Minimum limits required of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products/Completed Operations Aggregate. The County requires the Products/Completed Operations coverage to be provided 3 years after completion of construction. An endorsement must be included with the certificate.

ii. **Automobile Liability**

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

***This coverage may not be required if Contractor is not using a vehicle as part of its performance under the contract. Contact Risk Management with any questions.***

iii. **Workers' Compensation and Employer's Liability**

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

***This coverage may not be required if contractor is not mandated under State law to maintain this coverage. A waiver is available on the contracts routing website.***

iv. **Umbrella / Excess Insurance**

Umbrella/Excess Liability insurance in the amount \$[X],000,000.00, following form.

***This insurance is a broad, high-limit policy, which acts more than the underlying primary insurance policy. This coverage is designed to provide additional liability limits beyond the primary insurance limits and is triggered upon the underlying limits becoming exhausted. Umbrella / Excess insurance is most commonly required when an exposure to the County could potentially create liabilities in excess of the basic insurance limits. The most common limits for these policies range from \$2,000,000 to \$5,000,000.***

*Please consult with Risk Management if you feel this coverage should be required.*

**IN ADDITION TO THE ABOVE, ONE OR MORE OF THE FOLLOWING FOUR (4) INSURANCE COVERAGES MAY BE REQUIRED. CONTACT RISK MANAGEMENT IF YOU HAVE QUESTIONS ABOUT WHICH INSURANCE COVERAGE TO INCLUDE. DELETE THIS INSTRUCTION (AND ANY INAPPLICABLE INSURANCE PARAGRAPHS) WHEN FINALIZING THE CONTRACT:**

v. **Professional Liability (Errors and Omissions)**

***All contractors required to be professionally certified by the State of Colorado (i.e., architects, engineers, doctors, nurses, etc.) and/or any consultants whose errors in judgment, planning, design, etc. could result in economic loss to the County must provide proof of professional liability coverage. This also applies to anyone managing or overseeing construction.***

Professional liability coverage with minimum limits of \$1,000,000 Per Loss and \$1,000,000 Aggregate. Professional Liability provisions indemnifying for loss and expense resulting from errors, omission, mistakes or malpractice is acceptable and may be written on a claims-made basis. The contractor warrants that any retroactive date under the policy shall precede the effective date of this Contract; and that either continuous coverage will be maintained or an extended discovery period will be exercised for a period of two (2) years beginning at the time work under this Contract is completed.

vi. **Pollution Liability**

***This coverage is required whenever work under the contract involves pollution risk to the environment or losses caused by pollution conditions (including asbestos) that may arise from the operations of the Contractor described in the Contractor's scope of services.***

Coverage pay for those sums the Contractor becomes legally obligated to pay as damages because of Bodily Injury, Property Damage or environmental Damage arising out of a pollution incident caused by the Contractor's work including Completed Operations. Coverage shall include emergency response expenses, pollution liability during transportation (if applicable) and at Non-Owned Waste Disposal Site (if applicable). The Minimum limits required are \$1,000,000 Per Occurrence/Loss and \$1,000,000 Policy Aggregate. If the coverage is written on a claims-made basis, the Contractor warrants that any retroactive date applicable to coverage under the policy precedes the effective date of this Contract; and that continuous coverage will be maintained or an extended discovery period will be exercised for a period of three (3) years beginning from the time that work under this contract is completed. County shall be named as an additional insured for ongoing operations and completed operations.

vii. **Third Party Commercial Crime Insurance / Third Party Fidelity Bond**

***Crime / Third Party Fidelity covers the contractor and the contractor's employees when engaged in work for a client on behalf of the County. This coverage is for employee dishonesty, theft, embezzlement, forgery and alteration. Coverage is required when the contractor will be handling money or collecting fees on behalf of the County or when the contractor has access to client's personal property and/or documentation***

The Crime limit shall be \$1,000,000 Per Loss and include an endorsement for "Employee Theft of Client Property". In order to provide coverage to County during the course of this contract, Commercial Crime policies must be endorsed to cover Third Party Fidelity. Third party fidelity covers the vendor's employees when engaged in work for a client. In addition, the County will be listed as loss payee on the commercial crime coverage. This third-party coverage can also be provided by obtaining a third-party fidelity bond.

viii. **Privacy / Cyber Liability Insurance**

As a provider of a service which *may* require the knowledge and retention of personal identifiable information including but not limited to, names, dates of birth, social security numbers, usernames,

and passwords, and/or HIPAA sensitive personal information of clients served, the following minimum insurance limits are required:

Contractors with 10 or fewer County clients:	\$50,000
Contractors with 11 – 15 County clients:	\$500,000
Contractors with more than 25 County clients:	\$1,000,000

***If the scope does not pertain to clients directly, contact Risk Management for appropriate language.***

ix. **Sexual Abuse and Molestation Coverage**

As a provider of a service which has contact with individuals that are part of a sensitive population and are in a position of trust the following minimum insurance limits are required:

Contractors with 5 or fewer County clients:	\$100,000
Contractors with 6-10 County clients:	\$250,000
Contractors with 11-15 County clients:	\$500,000
Contractors with 16 or more County clients:	\$1,000,000

If the number of clients increases during the contract period, the required coverage limit will increase to correspond accordingly.

***If the scope does not pertain to clients directly, contact Risk Management for appropriate language.***

***THE STATED INSURANCE LIMITS FOR ALL COVERAGES ARE MINIMUM AMOUNTS; DEPENDING ON THE CONTRACT, HIGHER LIMITS MAY BE REQUIRED OR ADVISABLE. CONTACT RISK MANAGEMENT IF YOU HAVE ANY QUESTIONS ABOUT MINIMUM LIMITS. DELETE THIS PARAGRAPH WHEN FINALIZING THE CONTRACT.***

b. Boulder County as Additional Insured: Boulder County shall be named as an additional insured for General Liability, Umbrella/Excess Liability, and Pollution Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

**THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS**: *County of Boulder, State of Colorado, a body corporate and politic, is named as Additional Insured.*

c. Notice of Cancellation: Each insurance policy required by this Contract shall provide the required coverage and shall not be suspended, voided or canceled except after thirty (30) days' prior written notice has been given to the County except when cancellation is for non-payment of premium, then ten (10) days' prior notice may be given. If any insurance company refuses to provide the required notice, Contractor or its insurance broker shall notify the County any cancellation, suspension, or nonrenewal of any insurance policy within seven (7) days of receipt of insurers' notification to that effect.

d. Insurance Obligations of County: County is not required to maintain or procure any insurance coverage beyond the coverage maintained by the County in its standard course of business. Any insurance obligations placed on the County in any of the **Contract Documents** shall be null and void.

e. Deductible: Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of Contractor.

f. Primacy of Coverage: Coverage required of Contractor and its subcontractors, if any, shall be primary over any insurance or self-insurance program carried by the County.

g. Subrogation Waiver: All insurance policies in any way related to this Contract secured or maintained by Contractor as required herein shall include clauses stating that each carrier shall waive all rights of recovery, under subrogation or otherwise, against County, its organizations, officers, agents, employees, and volunteers.

**[Signature Page to Follow]**

IN WITNESS WHEREOF, the Parties have executed and entered into this Contract as of the latter day and year indicated below.

<b>SIGNED for and on behalf of Boulder County</b>		<b>SIGNED for and on behalf of Contractor</b>	
Signature:		Signature:	
Name:		Name:	
Title:		Title:	
Date:		Date:	
<i>↓↓ For Board-signed documents only ↓↓</i>			
Attest:		<i>Initials</i>	
Attestor Name:			
Attestor Title:			



**CONTRACTOR’S CERTIFICATION OF COMPLIANCE**

Pursuant to Colorado Revised Statutes, § 8-17.5-101, et seq., as amended, as a prerequisite to entering into a contract for services with Boulder County, Colorado, the undersigned Contractor hereby certifies that at the time of this certification, Contractor does not knowingly employ or contract with an illegal alien who will perform work under the attached contract for services and that the Contractor will participate in the E-Verify Program or Department program, as those terms are defined in C.R.S. § 8-17.5-101, et seq., in order to confirm the employment eligibility of all employees who are newly hired for employment to perform work under the attached contract for services.

CONTRACTOR:

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name (Print or Type)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

Note: Registration for the E-Verify Program can be completed at: <https://e-verify.uscis.gov/enroll/>.