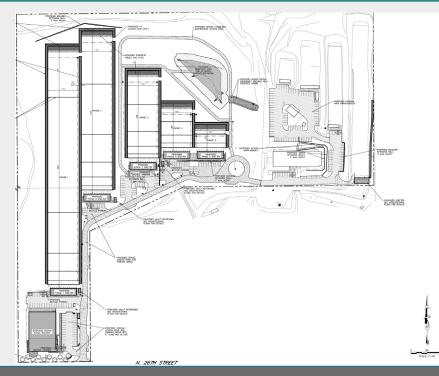
Board of County Commissioners, November 4, 2020 Docket SU-19-0009: Boulder Rifle Club Docket SE-20-0008: Boulder Rifle Club





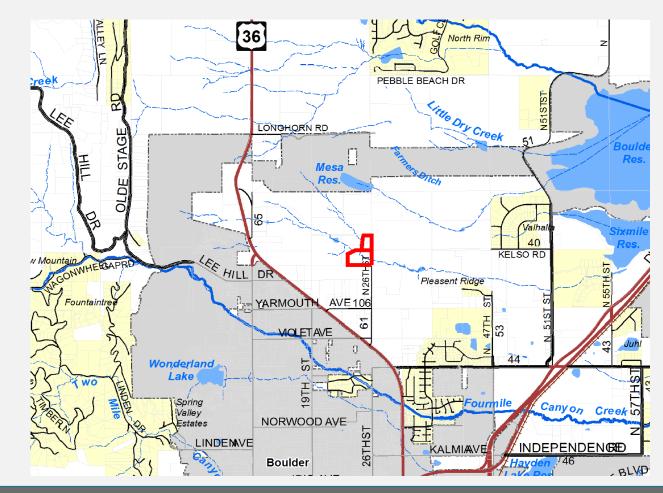
OVERVIEW – SUBDIVISION EXEMPTION

Docket SE-20-0008: Boulder Rifle Club

Request	Subdivision Exemption request for a boundary line adjustment to move 0.71 acre from parcel #146307000014 (4907 N. 26th Street) to parcel #146307001001 (4810 N. 26 th Street), resulting in parcel sizes of 14.71 and 6.85 acres, respectively.
Location	4810 and 4907 N. 26th Street, at the northern terminus of N 26th Street, approximately 0.68 mile north of its intersection with US 36
Property Size	6.12 acres & 15.44 acres
Zoning	Agricultural (A)
Legal Building Status	BLOT
Owners	Boulder Rifle Club, Inc., c/o Steve Martin - Rosi Dennett, Front Range Land Solutions

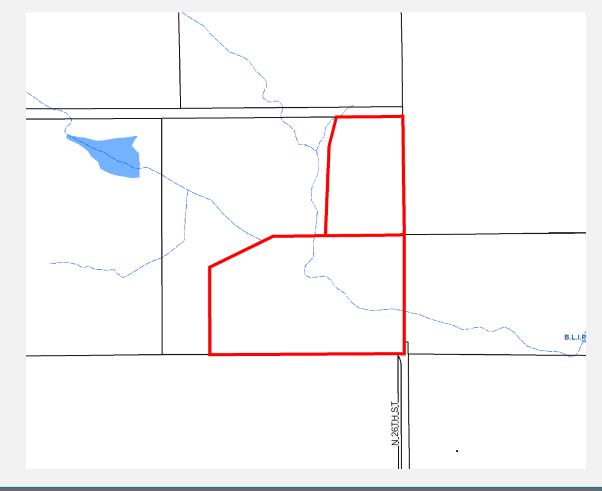


VICNITY





LOCATION



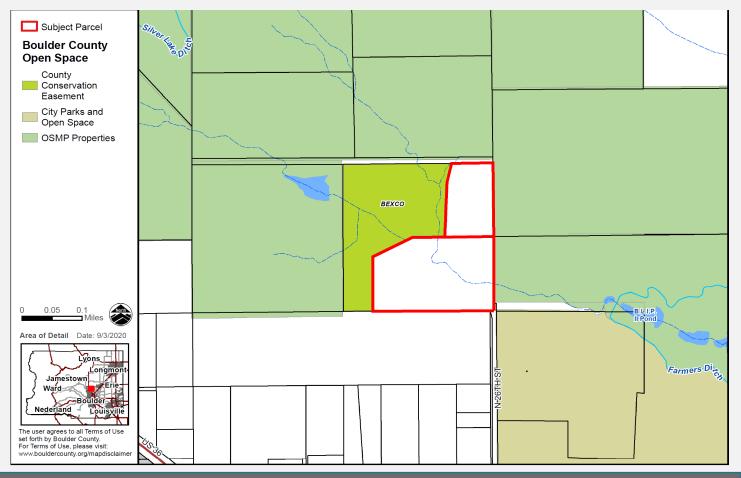


AERIAL



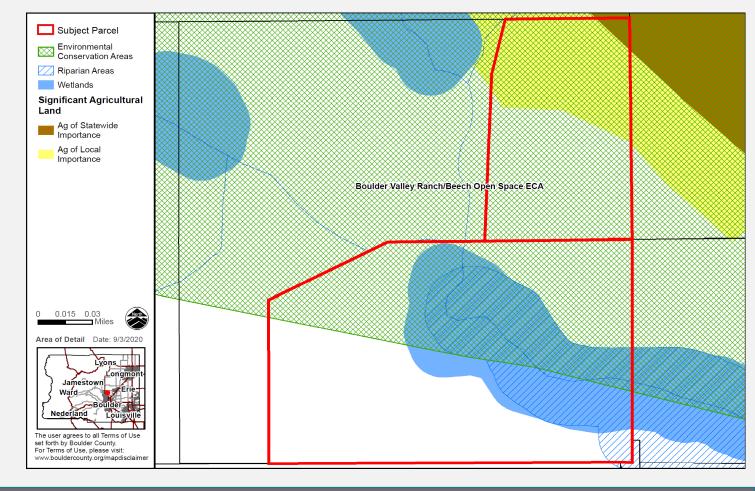


PUBLIC LANDS



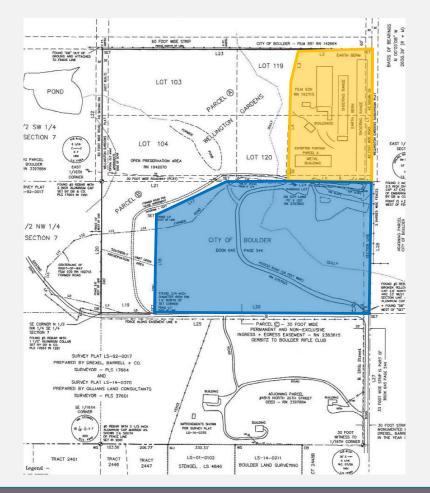


<u>COMP</u> <u>PLAN</u>



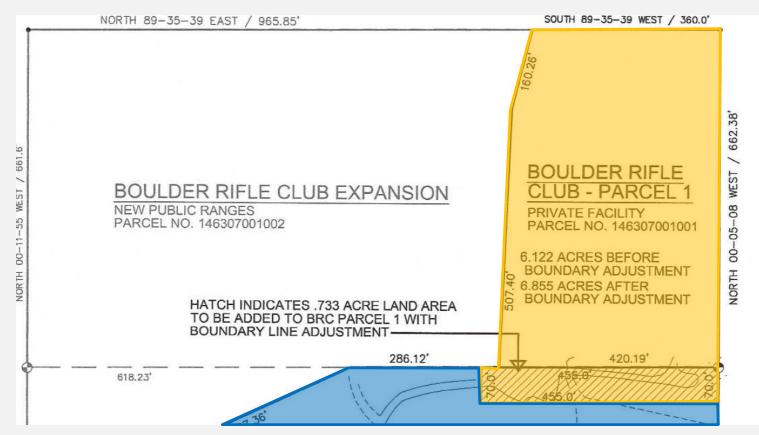


EXISTING





PROPOSED





REFERRALS

Development Review Team - Engineering - Need to redo existing easement to match new parcels.

<u>County Chief Building Official, County Parks and Open Space – Natural Resource Planner, County</u> <u>Public Health</u> – no conflict

<u>APO Comment</u> – Lots of comments opposed because it will facilitate Rifle Club expansion.



COMMUNITY PLANNING & PERMITTING

- A. A Subdivision Exemption or an Exemption Plat shall meet the following criteria:
 - 1. For Subdivision Exemptions only, if the exemption would result in an increase in the number of currently existing lots, any identified land use impacts associated with the increase are sufficiently mitigated.
 - Will not increase number of existing lots.





- A. A Subdivision Exemption or an Exemption Plat shall meet the following criteria:
 - 1. For Subdivision Exemptions only, if the exemption would result in an increase in the number of currently existing lots, any identified land use impacts associated with the increase are sufficiently mitigated.
 - 3. The proposed lots shall have legal access.
 - Have legal access via adjacency to public ROW and existing access easement.
 - 4. The proposed lots and potential development on them shall be capable of being served by an adequate physical access, including for emergency and non-emergency purposes, which meets the requirements of the County Engineer, and, if applicable, the local fire protection district.
 - Physical access exists.



- 5. The proposed lots and potential development on them shall be capable of being served by an adequate water supply.
 - Both parcels have existing water access.
- 6. The proposed lots and potential development on them shall be capable of being served by an adequate on-site wastewater system or sewage treatment system as required by Boulder County Public Health.
 - Rifle Club has adequate OWTS and composting toilets.
- 7. Adequate public facilities and services shall exist to serve the proposed lots and potential development on them.
 - Public facilities in place to serve area currently.
- 9. The proposed lots and development on them shall be in harmony with the character of the neighborhood and compatible with the surrounding area and shall be appropriately landscaped and screened to minimize the obtrusiveness of structures and maximize visual blending with the surrounding topography.
 - Proposed lot sizes similar to others in area and sizes now. Will allow for proposed Rifle Club entrance improvements to happen on lot owned in total by Rifle Club.
- 10. The proposed lots and potential development on them shall not be subject to, or contribute to, significant risk from natural hazards such as unstable soils, steep or unstable slopes, floods, and wildfire.
 - No development proposed in natural hazards.



COMMUNITY PLANNING & PERMITTING

- 11. The proposed lots and potential development on them shall not have a significant adverse impact on environmental resources identified in the Comprehensive Plan or through the review of the application, such as Wetlands and Riparian Areas; plant communities and vegetative cover; Critical Wildlife Habitat and Migration corridors; Natural Areas and Natural Landmarks; Environmental Conservation Areas; agriculture, forestry, or open lands; and views, vistas, and scenic corridors.
 - Area previously developed and currently used as residential and some commercial.
- 13. The proposed lots and potential development on them shall not cause unnecessary or excessive site disturbance or erosion, or alter historic drainage patterns.
 - Not anticipated.



- 14. The proposed lots and potential development on them shall be in accordance with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development, and this Code.
 - As conditioned, will be will facilitate implementation of agreement with USFS





OVERVIEW – SPECIAL REVIEW

Docket SU-19-0009: Boulder Rifle Club

Location	4810 N. 26th Street, Parcel #s 146307001001 and 146307001002, at the northern terminus of N 26th Street, approximately 0.68 mile north of its intersection with US 36
Property Size	146307001001: ~6 acres 146307001002: ~18 acres
Zoning	Agricultural (A)
Owner / Agent	Boulder Rifle Club / Rosi Dennett



COMMUNITY PLANNING & PERMITTING

OVERVIEW

Docket SU-19-0009: Boulder Rifle Club

Special Review and Site Specific Development Plan to allow for development of currently vacant parcel (146307001002), to include:

- The construction of:
 - Five outdoor ranges (300-yard, 200-yard, 100-meter, 50-meter, 25-meter),
 - Five 3,132-square-foot range shelters,
 - Three 144-square-foot bathroom facilities,
 - a 20,050-square-foot indoor range building (15,000-square-foot lower level 16 lanes, lockers, 5,050-square-foot upper level – classrooms, office, restrooms, incidental sales space),
 - Seven 2,400-gallon fire suppression cisterns,
 - Six new parking lots 209 spaces total
- Realigned access
- Overlot grading for site development and drainage (100,043 cubic yards nonfoundational, 11,222 cubic yards foundational)



COMMUNITY PLANNING & PERMITTING

SU-19-0009: Boulder Rifle Club Summer Frederick, AICP

Request

OVERVIEW – SPRECIAL REVIEW

Docket SU-19-0009: Boulder Rifle Club

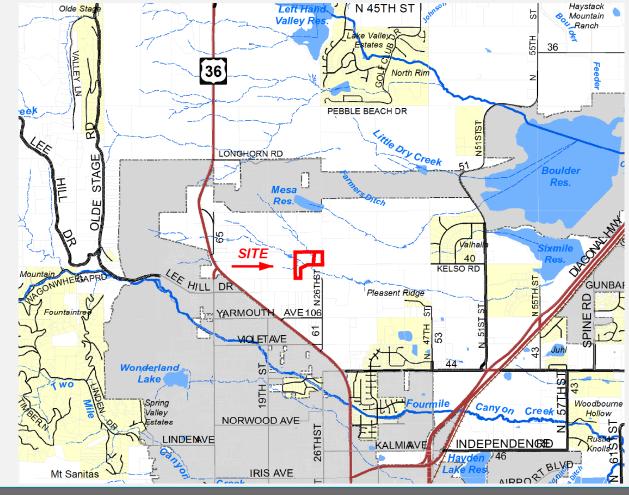
Amendment to existing Special Review on parcel (146307001001), to include:

- The construction of:
 - New, 1,612-square-foot, 10-bay firing line shelter for existing 200-yard range,
 - New range barrier,
 - Expanded parking lots, and
 - Retaining walls
- Realigned access

Request

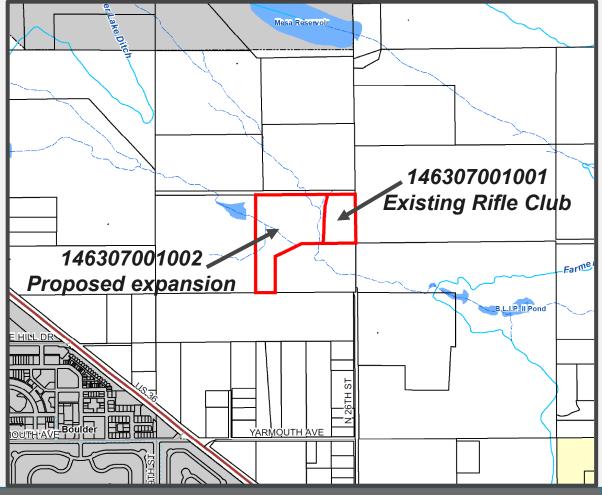


VICNITY



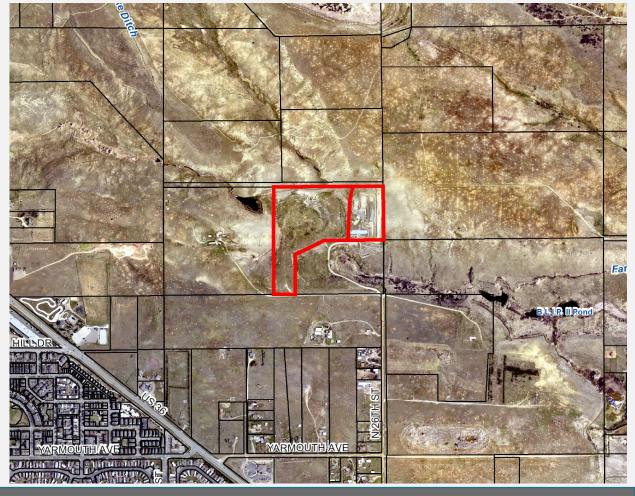


LOCATION





AERIAL



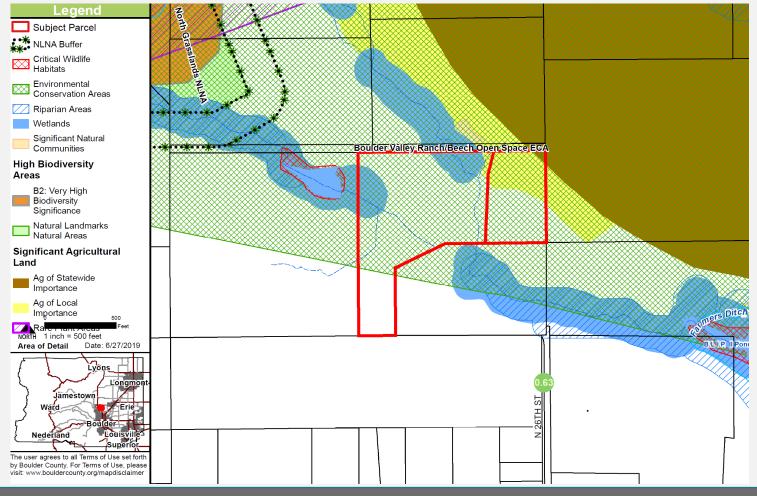


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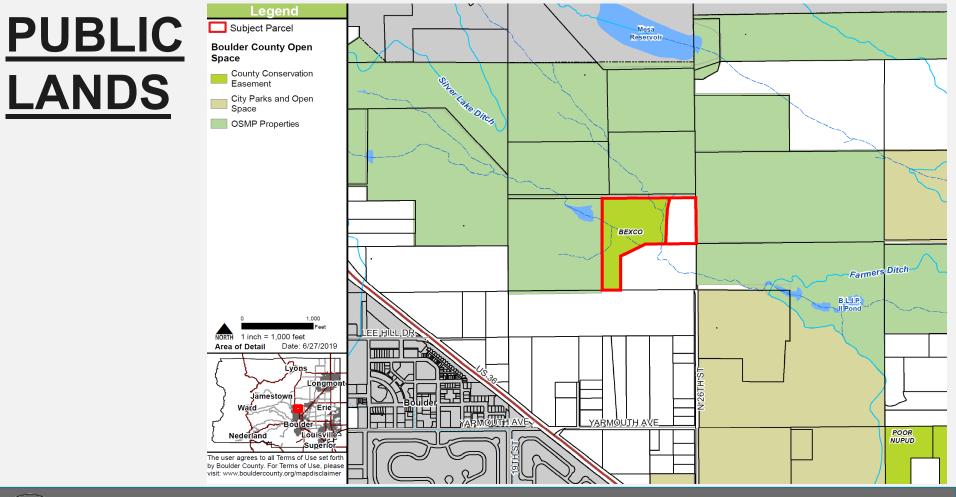




<u>COMP</u> PLAN









BP-93-0791	Residential Accessory Building				
146307001001	4810 26TH	5/14/1993	Permit Closed		
replace existing	retaining wall with concrete one(12')				
SU-87-13 Special Use Review		BOULDER RIFLE CLUB			
146307001001	4810 26th	8/7/1987	BOCC Approved		
The continuation	The continuation of the Boulder Rifle Club				
SU-77-13	J-77-13 Special Use Review BOULDER RIFLE CLUB		FLE CLUB		
146307001001		7/13/1977	BOCC Approved		
Rifle Range in th	ne Agricultural (A) Zoning District				
BP-80-0654	Residential Accessory Building				
146307001001	4810 26TH	3/3/1953			
INDOOR SHOO	TING RANGE				
BP-77-21790	Unlighted Free-standing Sign				
146307001001	4919 26TH	3/3/1953			
PERM SIGN					
MAJP-1900-	OWTS Major Repair				
146307001001	4810 26TH	1/1/1900	System Approved		
MAJP-1900-	OWTS Major Repair				
146307001001	4810 26TH	1/1/1900	System Approved		



SU-77-0013 – Rifle Club

- BOCC Approved
- Original Special Review approving Rifle Club use.

SU-87-0013 - Review and approval of continuation of Rifle Club.

- BOCC Approved
- Conditions of approval:
 - 1. Closing of gap in east berm to be completed within one year of approval.
 - 2. Applicants to cooperate with Boulder County Health Department (BCHD) to resolve any noise complaints resulting from site.
 - 3. Revegetation of site to prevent erosion and cover bare earth commenced and continued as priority.
 - 4. On-site privy to be returned to standards set by BCHD.
 - 5. General clean-up of site (removal of tires, abandoned vehicles, other trash) to commence immediately and clean-up of site is maintained.
 - 6. In five years PC and BOCC review approval re: compliance and conditions of SU in effect.

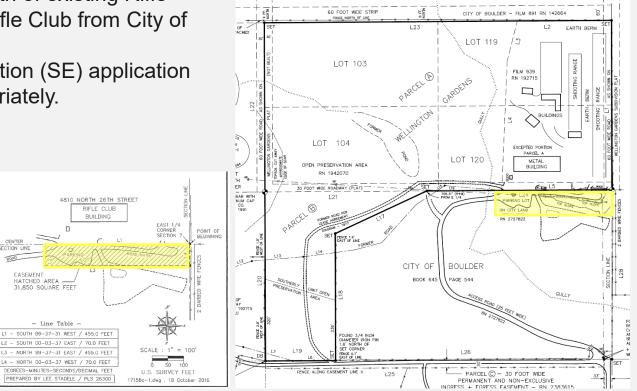


SECTION LIN

HATCHED AREA 31,850 SQUARE FEET

- Line Table -

- Portion of land immediate south of existing Rifle Club purchased by Boulder Rifle Club from City of Boulder.
- Submitted Subdivision Exemption (SE) application • to alter boundary lines appropriately.





ZON-06-012	3	BOULDER RIFLE CLUB				
146307001002	4810 26th	2/9/2006				
Possible Illegal Grading. Investigation revealed grading was actually being done on City of Boulder adjacen						
property. No Violation.						
LU-03-06	Limited Impact Special Use Review	BOULDER RIFLE CLUB SU/SSDP				
146307001002	4923 26th	7/16/2003				
see SU-03-06 fo	see SU-03-06 for details.					
SU-03-06	Special Use Review	BOULDER RIFLE CLUB SU/SSDP				
		7/9/2003				
Special Use Rev	Special Use Review / Site Specific Development Plan for a rifle range and including a 1,800 sq. ft. storage					
building (Outdoor Recreation for day use) and Limited Impact Special Review to complete the filling, grading,						
and revegetation						
BP-99-0716	Grading					
146307001002	4923 26TH	5/11/1999 Expired				
GRADING						
LU-98-07	Limited Impact Special Use Review	BEXCO INC LU				
146307001002	4923 26th	6/29/1998				
Limited Impact S	Limited Impact Special Use Review to place 98,000 cu, vds. of fill to raise the grade on the subject property.					
ZON-97-013	General Zoning Enforcement	BEXC0 INC				
146307001002	4923 26th	9/29/1997				
Illegal dumping.						



LU-98-07 – Limited Impact Special Review to place 98,000 cubic yards of fill to raise the grade on the subject property.

- Proposed add 7 to 13 feet of fill across the northern portion of property
- Fill area ~9 acres
- To mitigate erosion, diversion swale to be installed along north and east edge of fill area, direct runoff into sedimentation basin in southeast corner of fill area
- Site immediately revegetated, except 500 feet of western property line
- 09/08/1998 and 10/01/1998: Heard by BOCC
- Conditional approval by BOCC
 - Conservation Easement restricting future use
 - No structures will be located on portion of site covered by BVCP Natural Ecosystem Overlay Zone Area 2.
 - Remainder of site limited to uses allowed by "current Ag District zoning regulations."
 - Residential development limited to one SFU & subject to SPR.
 - Only use approved = fill. No materials to be removed.



146307001002	General Zoning Enjorcement	BOULDER RI	FLECLUB				
- 190.3U/UUUUUU	General Zoning Enforcement 4810 26th	2/9/2006					
Possible Illegal Grading. Investigation revealed grading was actually being done on City of Boulder adja							
property. No Violation							
	Limited Impact Special Use Review	BOULDER R	FLE CLUB SU/SSDP				
146307001002		7/16/2003					
see SU-03-06 for details.							
	Special Use Review	BOULDER RI	FLE CLUB SU/SSDP				
146307001002 4923 26th 7/9/2003							
Special Use Review / Site Specific Development Plan for a rifle range and including a 1,800 sq. ft. storage							
building (Outdoor Recreation for day use) and Limited Impact Special Review to complete the filling, grading,							
and revegetation	of the property.	and revegetation of the property.					
BP-99-0716	Grading						
BP-99-0716 146307001002	-	5/11/1999	Expired				
	-	5/11/1999	Expired				
146307001002	-	5/11/1999 BEXCO INC I	·				
146307001002 GRADING	4923 26TH		·				
146307001002 GRADING LU-98-07 146307001002	4923 26TH Limited Impact Special Use Review	BEXCO INC I 6/29/1998	JU				
146307001002 GRADING LU-98-07 146307001002	4923 26TH Limited Impact Special Use Review 4923 26th	BEXCO INC I 6/29/1998	JU				
146307001002 GRADING LU-98-07 146307001002 Limited Impact S	4923 26TH Limited Impact Special Use Review 4923 26th special Use Review to place 98,000 cu. yd	BEXCO INC I 6/29/1998 s. of fill to raise the	JU				
146307001002 GRADING	4923 26TH		·				

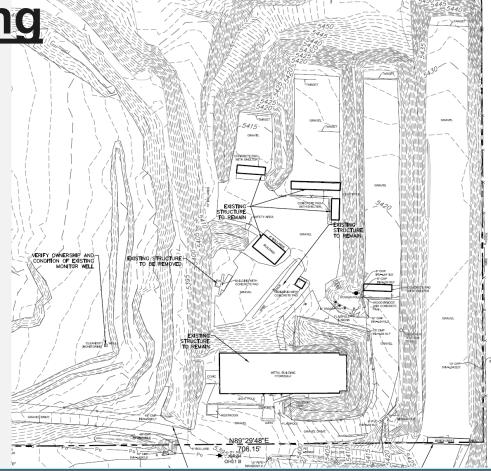


SU-03-06/LU-03-06 – Rifle Club Expansion

- Special Use Review / Site Specific Development Plan for a rifle range and including a 1,800 sq. ft. storage building (Outdoor Recreation for day use) and Limited Impact Special Review to complete the filling, grading, and revegetation of the property.
- 10/15/2003: Planning Commission TABLED INDEFINITELY to have applicant provide more information.
- 04/21/2004: Planning Commission recommended BOCC DENY SU-03-06 by vote of 5 to 0.
- 05/27/2004: BOCC TABLED to August 10, 2004. Requested additional information.
- 07/23/2004: Application WITHDRAWN by Applicant.



SITE PLAN - Existing





SITE - Existing



View from south looking north



View from west looking east



COMMUNITY PLANNING & PERMITTING

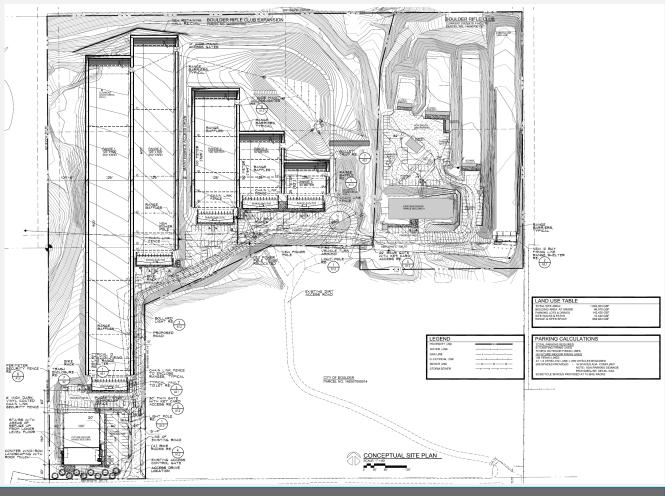
MESA RESERVOIR TRAIL

SITE PLAN - Proposed



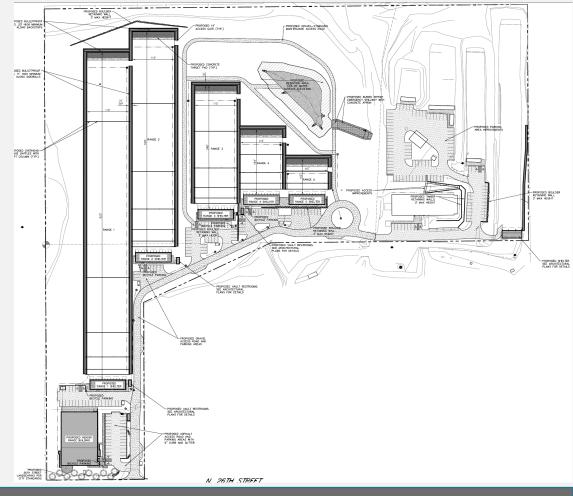


<u>CONCEPT</u> SITE PLAN



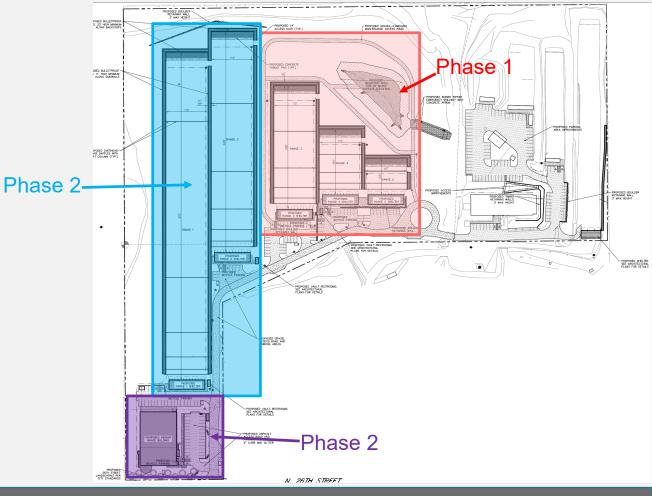
COMMUNITY PLANNING & PERMITTING

SITE PLAN



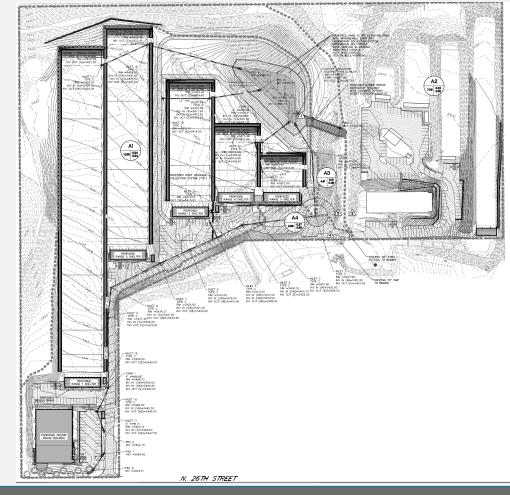


SITE PLAN



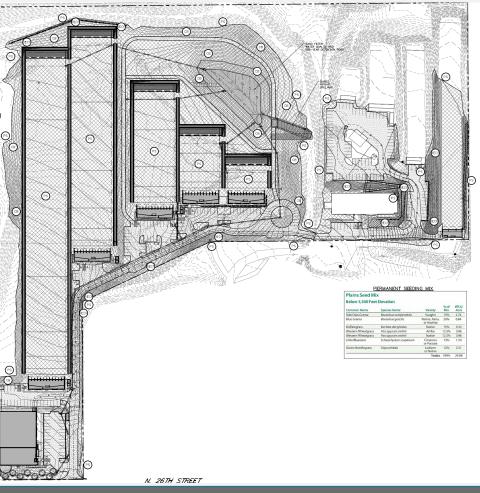


GRADING PLAN



COMMUNITY PLANNING & PERMITTING

SWM & **REVEG PLAN**



EROSION CONTROL LEGEND PS PERMANENT SEEDING (LEPICE DETAIL EC-2) CB COMPOST BLANKET AND FILTER BERN (UDFCD DETAIL EC-5)

ROLLED EROSION CONTROL PRODUCTS (UDFCD DETAIL EC-6)

BEST MANAGEMENT PRACTICES GENERAL NOTES CONTRACTOR/PERMITTEE SHALL PERIODICALLY INSPECT ALL INSTALLED BM PROVIDE MAINTENANCE, AND MAKE REPAIRS AS NECESSARY TO PREVENT THEIR TALLEE

SILT FENCE OR AN EQUIVALENT SHALL BE PLACED AS PERIMETER CONTROL ON ALL CONSTRUCTION ACTIVITIES THAT OCCUR ON LAND. UNLESS OTHERWISE SPECIFIES IN THE CONTROL DOCUMENTS, OR OTHERWISE REQUISITIES REMOVE PERIMETER CONTROLS WITHIN 30 DAYS AFTER THE DATE OF WARRANTY PERFORMANCE OF THE WORK OR IN ACCORDANCE WITH BMPS.

3. VEHICLE TRACKING CONTROLS SHALL BE USED AT ALL VEHICLE AND EQUIPMEN ACCESS POINTS TO THE SITE TO PREVENT SEDMENT EXHING THE PROJECT SITE ONTO PAKED PUBLIC ROADS. ACCESS SHALL BE PROVIDED ONLY AT LOCATIONS APPROVED BY THE EVARPER MAP. RECORDED ON THE SWMP SITE MAP.

ALL INLETS AND CULVERTS SHALL BE PROTECTED DURING ONSITE CONSTRUCTION ACTIVITIES. INLET PROTECTION LOCATIONS SHALL BE RECORDED ON THE SWMP STIE MAP.

CONCRETE WASTED IN DESIGNATED DEWATERING AREAS SHALL BE COLLECTED. REMOVED FROM THE PROJECT SITE, AND DISPOSED OF PROPENLY, WASTED CONCRETE ALSO INCLUDES EXCESS CONCRETE REMOVED FROM FORMS SPILLS, SLO AND ALL OTHER UNUSED CONCRETE THAT ENDS UP ON THE GROUND.

6. THE CONTRACTOR/PERMITTE MUST MAINTAIN A SPELL FOR OWNER WORKING AROUND SURFACE WATERS. IF POLLITAITS ARE SPILLED INTO ANY SURFACE WATERS UPING THE COURSE OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR/PERMITTEE MUST NOTEY THE DIMERS' REPRESENTATIVE OR ENGINEER MURDIATEJ.

 ALL EXISTING MATURE TREES WITHIN THE DESIGNATED PROJECT AREA ARE BE FENCE PROTECTED IN PLACE AT ONFLINE UNLESS OTHERWISE DIRECTED BY DROMERER FRIGT TO THE INTRADIO OF UNKIN, THE INDIRECT SHALL MARK ANY TREES AND/OR LARGE SHRUBS TO BE REMOVED AS PART OF CONSTRUCTION ACTIVITIES. AREAS OF THER FRIENDAL SHALL BE DETERMINED AND MARKED IN COLLABORATION BETWEEN THE CONTRACTOR/PERMITTEE AND THE ENGINEER

8. ALL EXCAVATION ACTIVITIES OCCURRING WITHIN TO FEET OF THE DRIPLINE SHALL BE FORTOWED BY HAND AND F NECESSARY ROOTS SHALL BE CLEANLY CUT MATTERED IN THE SAME EXCPC. THINK ON SHAPPING TROOTS THE DATA MATTERED IN THE SAME EXCPC. THINK ON SHAPPING TROOTS THE DATA HE APPLED. SOLS SHALL NOT BE COMPACTED WITHIN THE DAPLINE OF MATURE TREES UNLESS OTHERWISE APPROVED BY THE ENORMER.

SU-19-0009: Boulder Rifle Club Summer Frederick, AICP



COMMUNITY PLANNING & PERMITTING

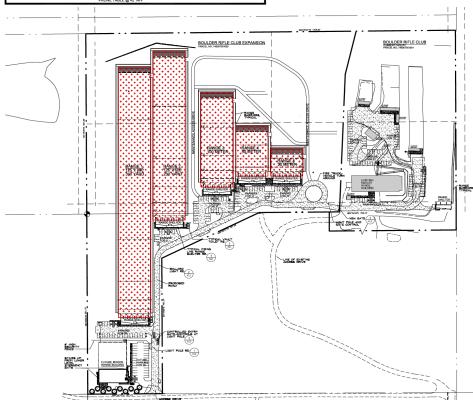
MASTER CONCEPT

SHOOTING RANGE TABLE						
RANGE NO.	DESCRIPTION	FIRING POSITIONS	FIRING DISTANCE	RANGE WIDTH	LANES	LANE WIDTH
RANGE 1	300 YD. RIFLE RANGE	STANDING, SEATED, PRONE*	300 YARDS	125 FT.	12 LANES	8 FT.
RANGE 2	200 YD, RIFLE RANGE	STANDING, SEATED, PRONE*	200 YARDS	125 FT.	12 LANES	8 FT.
BANGE 3	100 METER RIFLE RANGE	STANDING, SEATED, PRONE*	100 M	125 FT.	12 LANES	8 FT.
RANGE 4	50 METER PISTOL RANGE	STANDING, SEATED	50 M	125 FT.	12 LANES	8 FT.
RANGE 5	25 METER PISTOL RANGE	STANDING, SEATED	25 M	125 FT.	12 LANES	8 FT.
		PRONE TABLE @ 42 AFF				



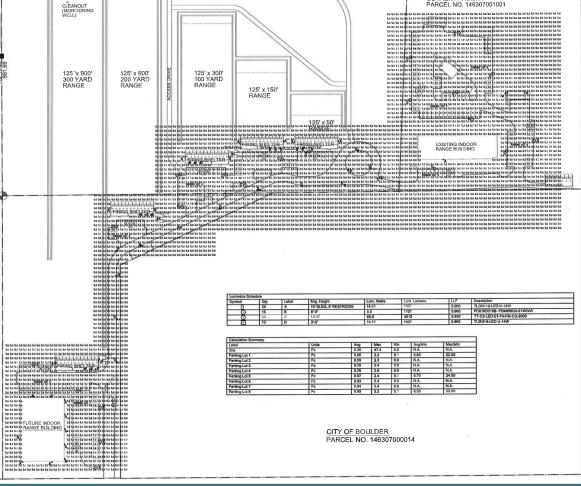
- BALLISTIC RANGE BAFFLES SPACED DOW
- RANGE

SHOOTING RANGE SHELTERS WITH BALLISTIC TREATMENTS IN ROOF AND SIDEWALLS TO MEET 180° RULE





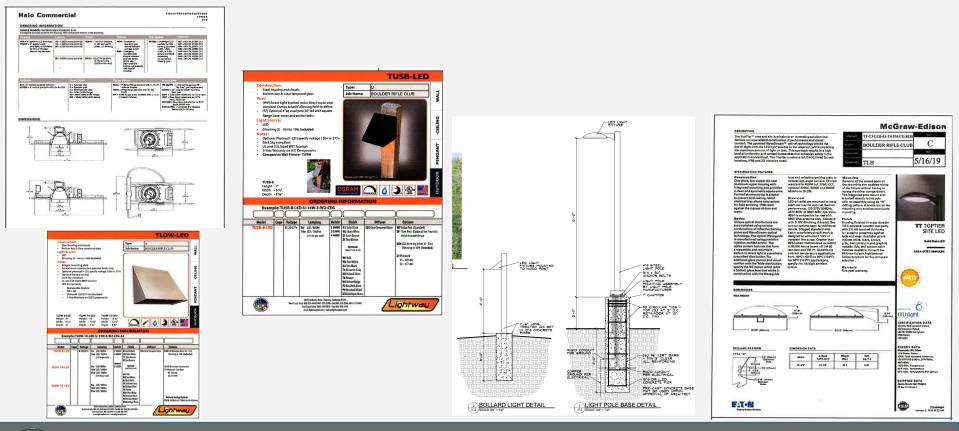
LIGHTING PLAN





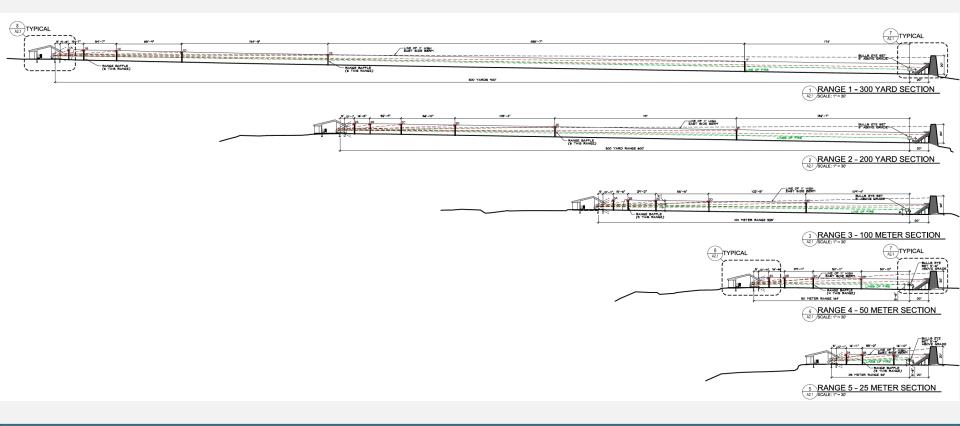
COMMUNITY PLANNING & PERMITTING

LIGHTING FIXTURES



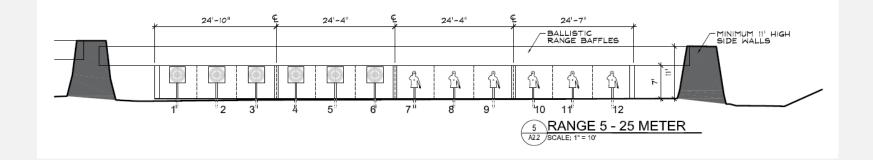
COMMUNITY PLANNING & PERMITTING

RANGE CROSS-SECTIONS

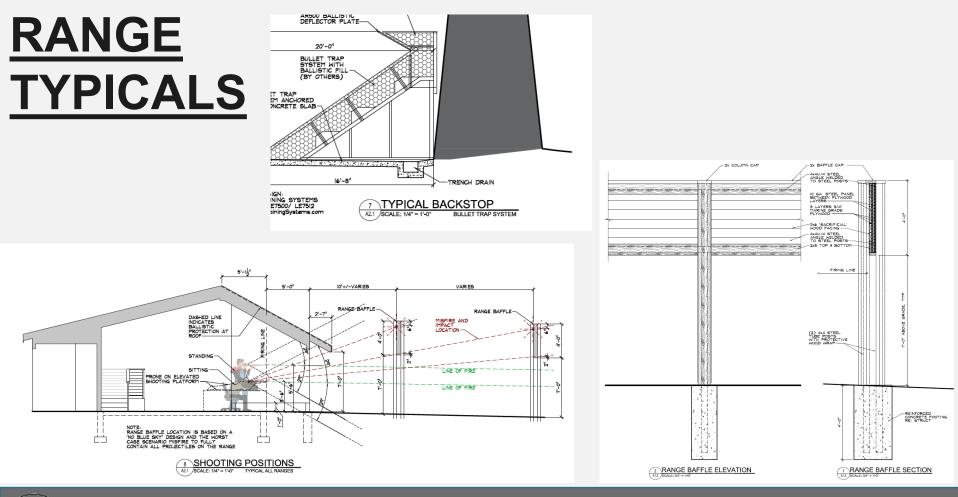


COMMUNITY PLANNING & PERMITTING

RANGE ELEVATION

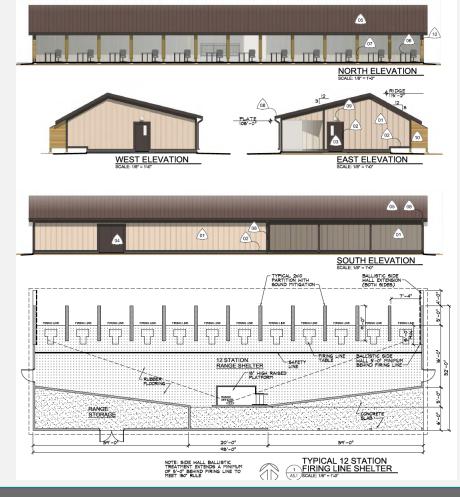








STRUCTURE ELEVATIONS





STRUCTURE ELEVATIONS



EAST ELEVATION



02

PIT TOILET WEST ELEVATION SCALE: 1/4" = 1'-0"



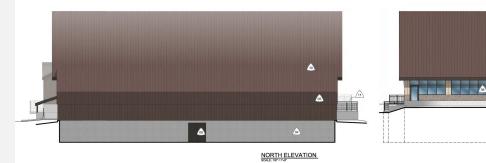
NORTH ELEVATION SCALE: 1/4" = 1"-0"

SOUTH SIMILAR



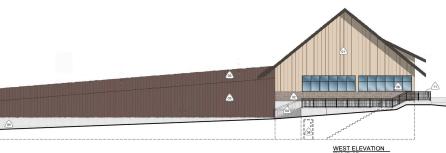


<u>NEW</u> INDOOR RANGE







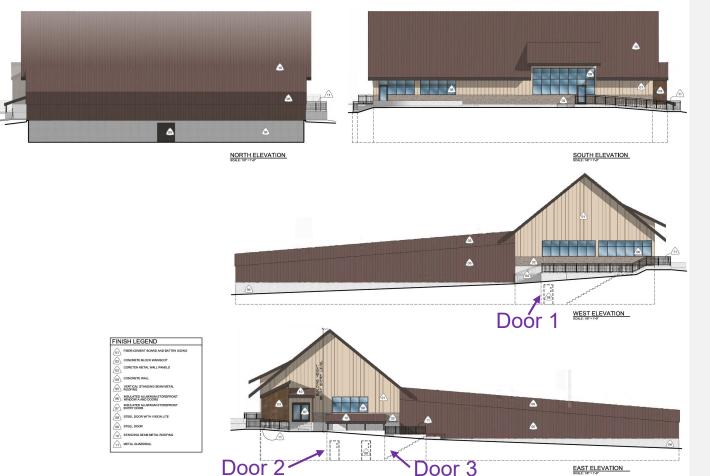


COMMUNITY PLANNING & PERMITTING

SU-19-0009: Boulder Rifle Club Summer Frederick, AICP

SOUTH ELEVATION

NEW INDOOR RANGE

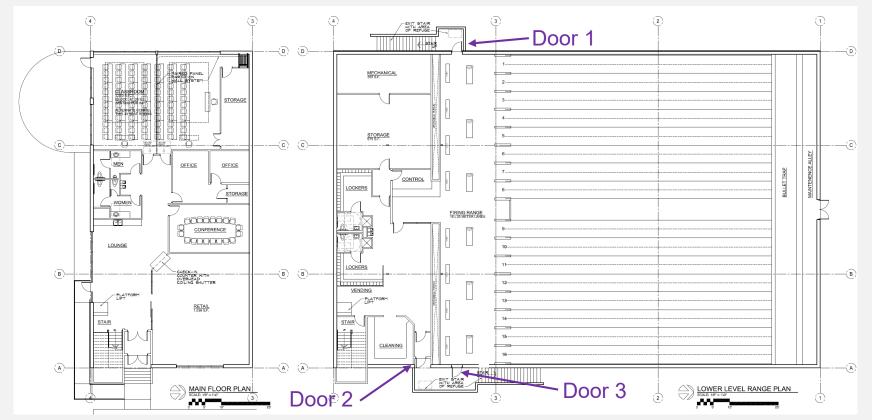




SU-19-0009: Boulder Rifle Club Summer Frederick, AICP

EAST ELEVATION

NEW INDOOR RANGE





EXISTING





Boulder County Parks & Open Space – CE Team:

- Identifies existing conservation easement (CE).
- Acknowledges CE does not allow a shooting range, also acknowledges need for change to fulfill BOCO commitment to Northern Front Rage Recreational Sport Shooting Management Partnership (02/01/2018 BOCO letter).
- Supports proposal subject a recommended condition of approval requiring a Restrictive Covenant to allow a public shooting range (with related improvements) and that will replace the existing conservation easement.



Boulder County Parks & Open Space – Natural Resource Planner:

- Acknowledges revised and additional materials include significant improvements to application:
 - Fossil site investigation completed
 - Erosion Control Plan improved
 - Reveg Plan includes surface of ranges
 - Report by wildlife biologist no significant wildlife impact should result
- Identified some remaining concerns:
 - Northern retaining wall still approximately 10 feet from surface flow
 - Type of materials that are excavated during grading
 - Information related to and intended purpose/future of identified "monitoring well" and "cleanout (monitoring well).
 - Prairie Dog mitigation measures
 - Revegetation and Weed Control measures



Boulder County Public Health:

- Repair permit for vault toilet approved 04/18/79
- Repair permit for vault toilet approved 09/28/94
- Owner or agent must apply for OWTS permit proposed toilet facilities upgrades on existing.
- Owner or agent must apply for OWTS permit for proposed new toilet facilities.



Boulder County Development Review-Engineering:

- Legal access demonstrated.
- Proposed paved access drive is in compliance with Boulder County Multimodal Transportation Standards.
- Traffic impacts appropriately considered in submitted Traffic System Impact Study.
- Average Daily Trips projected to approximately double weekdays: from 86 to 190 ADT, weekends 262 to 576 ADT.
- Submission of Traffic Control Plan or Method of Handling Traffic required, hauling plan must be submitted with Traffic Control Plan.
- One bicycle space for every 10 automobile parking spaces.
- Written permission from ditch company for discharge into Farmers Ditch required.
- Boulder County Stormwater Quality Permit required.
- Access Permit will be issued concurrently with Building Permit.



Boulder County Historic Preservation Team, Colorado Division of Water Resources, Xcel: No conflict

Boulder County Building Safety & Inspection Services Teams: Building and grading permits required, plumbing fixtures must meet or exceed requirements of IBC Chapter 29, need to provide for accessibility – parking, signage, routes, fixtures and features, Observation Reports required, must meet wind and snow loads, FPD must provide written approval of building permit plans and specifications of project, appointment with Michelle Huebner to review construction drawings.

Colorado Department of Public Health & Environment: not an exhaustive list, applicant must comply with applicable rules and regulations, including but not limited to:

- · hazardous and solid waste,
- water quality administered by Water Quality Control Division,
- clean water, may include stormwater discharge permit if construction disturbs one-acre+
- air quality
- Health Equity and Environmental Justice



City of Boulder Planning Department:

- Parcel located within Boulder Valley Comprehensive Plan Planning Area III-Rural Preservation, designated Open Space-Other on Land Use Map.
- Staff may examine a land use change for site during next regular BVCP update.
- Parcel is not eligible for annexation.
- Proposal does not constitute New Urban Development because:
 - Does not require full range of urban facilities and services;
 - Daily trips and number of users are relatively modest;
 - Intensity and design of outdoor lighting is not excessive; and,
 - Lack of alternative site that is appropriate for proposed activity.
- Based on stated level of use future expansion may need urban services and therefore may need to be located in City of Boulder.



City of Boulder Open Space and Mountain Parks:

- Recognizes significant public benefit to providing public shooting ranges that meet USFS requirements to close most of dispersed shooting areas west of City.
- Proposal will create visual, noise, and visitor experience impacts to OSMP adjacent land.
- Noise study shows noise will be similar or exceed current levels. Noise impacts are expected to be more frequent and lasting.
- Proposed range improvements are approximately 600 feet from Hidden Valley Trail.
- Recognizes proposed engineered solutions to mitigate the normal 1,320-foot setback requirement – to mitigate noise and safety concerns, supports use of these engineered solutions AND 1,320-foot setback.
- Trail work and route changes to Hidden Valley Trail planned as part of OSMP North Trail Study Area.
- Applicant expressed interest in working with City and providing funding toward projects to realign trails and improve visit experience.
- Asks a condition requiring collaboration and "significant funding contribution" for trail realignment.



City of Boulder Open Space and Mountain Parks:

- If trail realignment not required, applicant to design and landscape the proposed development to minimize impacts to viewshed and maintain trees and vegetation to help with screening.
- Weapons and shooting prohibited on or onto OSMP property.
- Requests more information on proposed lead contamination and abatement measures.
- Requests requirement of use of lead-free and frangible rounds as mitigation measure for water quality and wildlife health.
- Construction access across and storage of construction materials or dumping of debris on cityowned land is not allowed.
- All open space fences and boundaries must be respected.
- Highlights need for thoughtful design of access road, parking, and signage to prevent possibility
 of guests and club members parking in ROW, blocking OSMP gates, or parking on OSMP
 property at peak usage times.
- Provided recommended seed mix instead of applicant's mix in Revegetation Plan.
- Applicant's commitments re: outdoor lighting, building design, color and materials, and noise abatement measures should be conditions of approval.



COMMUNITY PLANNING & PERMITTING

C. Vargas & Associates:

- With revised and additional materials, no objection.
- Read all materials, but did not specifically review materials others would review, e.g. drainage study, noise study, neighbor input, historical artifacts, wildlife impacts.
- Had two phone conferences with Club Designer to clarify and expand on previous referral comments.
- Reference drawings demonstrate intent for bullet containment for all shooting positions.
- Horizontal containment by backstop and bullet trap, two side berms/range, and ballistic walls on each side of shooting sheds.
- Side walls are specifically impartant since side berms do not extend to 5 feet up-range of firing lines.
- Vertical containment and elimination of over shots by ballistic roof protection of each shed and subsequent baffle lines designed to "No Blue Sky" concept from shooting positions.
- As Built drawings demonstrating "No Blue Sky" can be seen from all allowable shooting positions for each range are proof of design.



Adjacent Property Owners:

- Extended notification area from required 1,500 feet from subject parcel boundaries to one-mile from subject parcel boundaries
- Hundreds of public comments received via email and phone.
- Both in support and in opposition of proposal.
- In support increased education opportunities, convenience of site, closure of USFS lands, reduction in wildfire ignition
- In opposition noise, safety of open space users, increased traffic, increased gun usage, inappropriate use adjacent to open space and neighborhoods



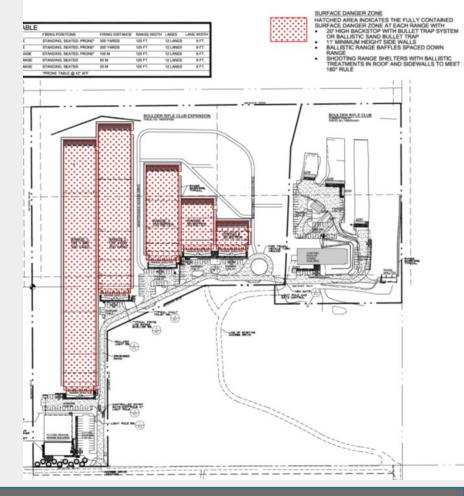
Special Use Review Criteria Article: 4-601.A

- 1. The use will comply with the minimum zoning requirements;
 - 4-102.B.10.a Firing Range is allowed in the Ag zoning district via approval of Special Review.
 - 4-510.A.1 Firing Range, Outdoor: A facility inclusive of its component shooting ranges, , Surface Danger Zone or Shortfall Zones, parking areas, all structures for classrooms, administrative offices, ammunition storage areas and other associated improvements, for which the use is to provide a place for the discharge of various types of firearms. The definition excludes hunting and shooting activity occurring outside of identified and approved firing ranges, and occasional target practice by individuals on property owner or leased by the individual.



- 4-510.A.5.a.i setbacks are 1,320 feet from structures, trails, etc.
 - Proposed decrease in setback may be considered based on range design, operational plans, topographic features, noise studies, and/or manmade improvements, including but not limited to backstop and side berms, bullet traps, ricochet catchers, and overhead or ground safety baffles which provide sufficient safety measures to project adjacent properties.
 - Backstops and side berms, bullet traps and overhead safety baffles are shown on plans.
 - City has plans to relocate Hidden Valley Trail

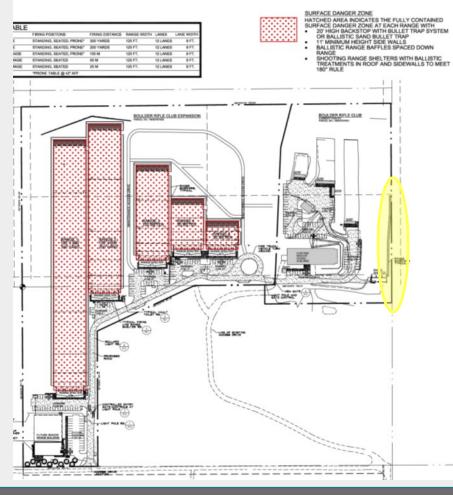
 recommended condition of approval requiring BRC pay \$30,000 toward work.
 - Noise study provided





COMMUNITY PLANNING & PERMITTING

- Appears to be a range barrier wall on eastern side of existing 200-yard range that seems to be within Ag zoning district's required 7-foot side setback.
 - Recommended condition of approval requiring setback survey, redesign of barrier, or Variance application





- New Restrictive Covenant required to replace existing Conservation Easement which encumbers parcel #146307001002
- Article 4-516.V.5.c requires specific numbers of electric vehicle charging stations for new or expanded parking lots totaling 15 or more spaces.





Special Use Review Criteria Article: 4-601.A

- 2. The use will be compatible with the surrounding area;
 - Proposed development is an expansion of existing Rifle Club use on an immediately adjacent parcel.
 - Parcel is owned by Rifle Club.
 - Vacant site of former construction debris dump.
 - New Restrictive Covenant
- 3. The use will be in accordance with the Comprehensive Plan;
 - Goal I.1 The County should encourage and promote coordination and cooperation between federal, state, and local government entities charged with making decisions which significantly affect land use in Boulder County.
 - Proposal is intended to support USFS Partnership and allow for portion of identified USFS land to be closed to recreational sport shooting.



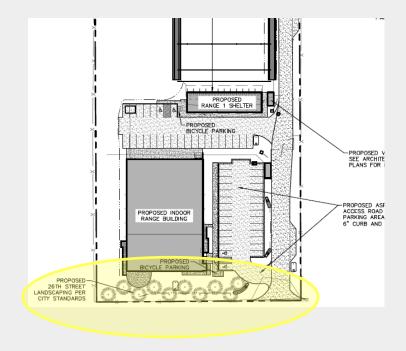
Special Use Review Criteria Article: 4-601.A

- 7. The use will support a multimodal transportation system;
 - Providing bicycle parking recommended condition of approval requiring plan showing more/required number of bike spaces
 - 4-516.V.5.c EV charging stations required for new or expanded parking lots totaling 15+ spaces.
 - One Level 2 or Level 3 charging station for first 15 spaces
 - If no Level 3, one additional Level 2 station for each additional 25 spaces (8 stations for 209 spaces)
 - If Level 3 is installed, no additional stations required
- 8. The use will not cause significant air, odor, water or noise pollution;
 - Pollution not anticipated.
 - Noise discussed in Special Provision 4-602.F.1.c



Special Use Review Criteria Article: 4-601.A

- The use will be adequately buffered or screened to mitigate any undue visual impacts of the use;
 - Only proposed landscaping besides revegetation of disturbed areas is line of tree along parcel boundary where adjacent to N 26th Street.
 - Recommended condition of approval requiring tree planting of entire perimeter of both parcels, where feasible





COMMUNITY PLANNING & PERMITTING

- New indoor range/office/classroom building proposed height of 38 feet – majority of other structures are approximately 20 feet or lower.
- Presents significant bulk and mass to N 26th Street, adjacent residential property to the south, and surrounding open space properties





Special Use Special Provisions for Firing Range, Outdoors 4-602.F:

- a. Range Design
 - i. Pistol and Rifle Firing Ranges. Pistol and rifle firing range design shall include sufficient land area under control of the applicant for the Surface Danger Zone to accommodate the ballistics of the highest-powered firearms and the range of ammunition that may be used in the permitted firing activities. Such geographic areas shall be designed based on industryaccepted range design guidelines, standards, and best practices. Such spatial requirements may be reduced in consideration of natural topographic features or manmade improvements, including but not limited to, backstop and side berms, bullet traps, ricochet catchers, and overhead or ground safety baffles which will provide sufficient safety measures to protect persons or adjacent properties. The range design and operation will dictate the Surface Danger Zone. The Surface Danger Zone will, in turn, affect setback distances.
 - Includes overhead safety baffles, backstops, side berms, and bullet traps.



Special Use Special Provisions for Firing Range, Outdoors 4-602.F:

- c. Noise. All firing line locations shall be located and maintained such that the sound levels generated by the discharge of firearms on the range do not exceed a 65 dB peak impulse response at existing residential structures (whether permanent or seasonal), lodging, or other occupiable or occupied structures not on the subject property. The applicant shall submit a noise study proving the proposed range will meet this standard at time of application. All noise studies shall be performed by a professional engineer registered in the State of Colorado or other equally qualified individual and shall take the topography of the surrounding area into account.
 - Noise study submitted
 - Four monitoring locations monitoring February 8-11
 - Shots for data modeling shot on February 8, 2019. .22 caliber long rifle and .300 Winchester Magnum used.
 - · Modeling expanded to wider range, results included in amendment



<u>NOISE</u> STUDY

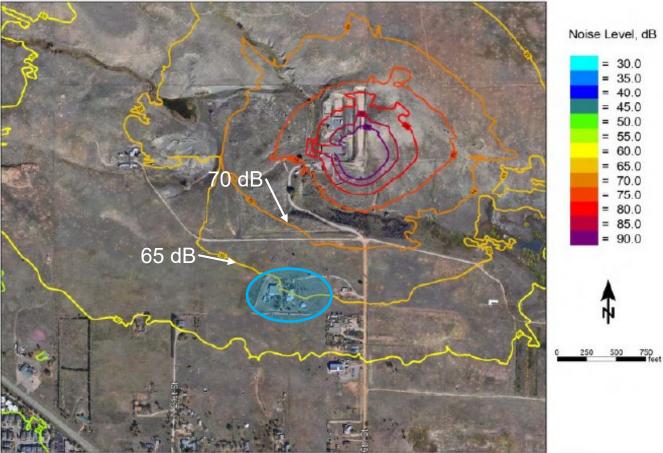


Figure B-11 Noise Contour Map of Existing Mitigated 200-yard Range (dB Maximum Impulse)



NOISE STUDY

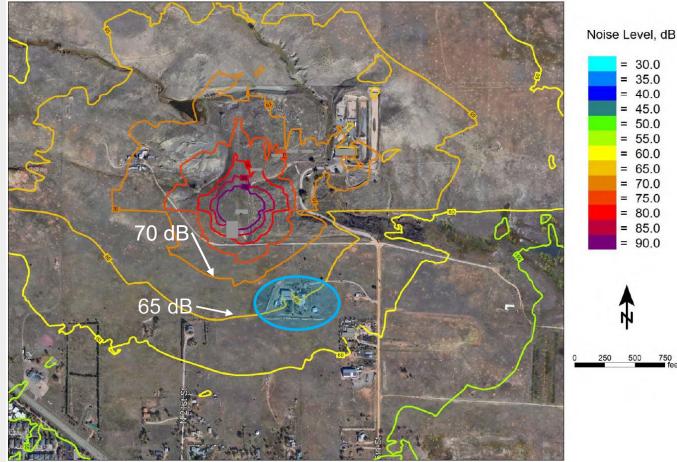


Figure B-14 Noise Contour Map of Proposed Mitigated 300-yard Range (dB Maximum Impulse)



NOISE STUDY

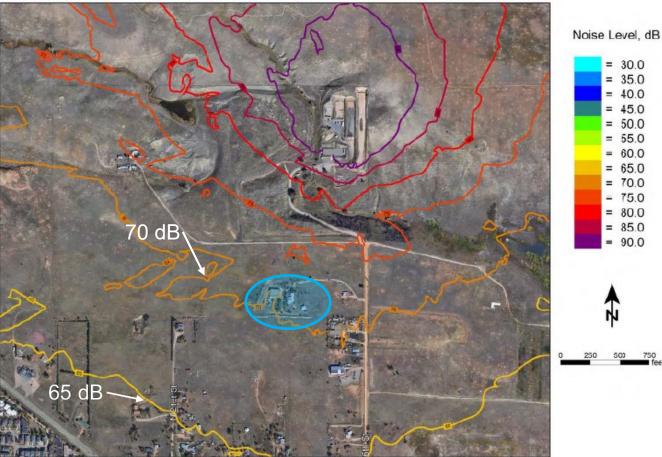


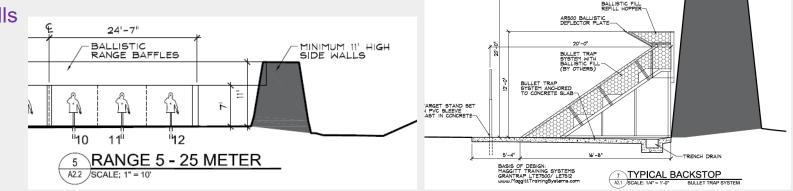
Figure B-3 Noise Contour Map of Existing 100-yard Range (dB Maximum Impulse)



CRITERIA REVIEW

Special Use Special Provisions for Firing Range, Outdoors 4-602.F:

- e. All backstops shall have sufficient depth, based on industry-accepted range design guidelines, of sand or other similar soft earthen material that is free of rocks, stones and other hard objects that may result in ammunition ricochets. All manmade berms shall be designed to reduce the potential for erosion. All backstops and berms shall be maintained to perform their intended functions. Parallel ranges separated by bulletproof barriers or berms shall be a minimum eight feet high. Backstops shall be a minimum twenty feet high.
 - Typical backstop drawing shows 20-foot height.
 - Range cross-sections show minimum 11-foot tall side walls





CRITERIA REVIEW

Special Use Special Provisions for Firing Range, Outdoors 4-602.F:

- Any future expansion that results in additional firing positions, including without limitation a lengthened daily period of operations or increased length of the direct fire zone or the area of the shotfall zone to accommodate the use of firearms not identified in the then-existing Special Use permit application will constitute a substantial modification under 4-603 of the Code. Changes that are not a substantial modification and are routine maintenance include simple, small-scale activities (e.g., repairing structures such that a building permit is not required under the Code) associated with regular and general upkeep of an existing building, firing line, target line, parking lots, etc. Routine maintenance activities are associated with maintaining a facility, not expansion or new construction.
 - Any future expansion will require a Special Review application.



RECOMMENDATION

For the reasons described above, Community Planning & Permitting staff recommends that the Board of County Commissioners *Conditionally Approve* **Dockets SU-19-0009 and SE-20-0008: Boulder Rifle Club** with the 37 conditions of approval listed in the staff recommendation document.



COMMUNITY PLANNING & PERMITTING

- 1. The applicant shall provide a Development Agreement, for review and approval by County staff, prior to the issuance of any permits by the Boulder County Community Planning & Permitting Department.
- 2. The applicant shall comply with all applicable local, state, and federal regulations and obtain and maintain necessary permits.
- 3. The submitted Subdivision Exemption application shall be approved, and all post-approval requirements shall be met prior to the recordation of the Development Agreement.
- 4. The applicant shall obtain all required building and grading permits.
- 5. The design professional responsible for the design or a similarly qualified Colorado-licensed professional is to observe the grading and submit a stamped report to the Building Safety & Inspection Services Team for review and approval. The final report is to state that the work has been completed in substantial conformance with the approved engineered plan.
- 6. The applicant shall work with the City of Boulder Open Space and Mountain Parks staff on plans to relocate the Hidden Valley Trail and the implementation work to physically relocate the trail. Additionally, the applicant shall pay the committed \$30,000.00 or an alternative amount agreed upon by both parties to the City of Boulder Open Space and Mountain Parks to be used for the relocation of the Hidden Valley Trail.



- 7. The applicant shall submit a revised site plan with specific measurements showing the proposed side range barrier associated with the existing 200-yard range barrier is more than 7 feet from the eastern parcel boundary, or the applicant shall apply for a setback Variance for the proposed location of the barrier. If the Variance application is denied by the Board of Adjustment, the applicant must submit a revised site plan showing the barrier is outside the required 7-foot setback.
- 8. The applicant shall contact the Parks & Open Space Department and negotiate a restrictive covenant that will allow a public shooting range (with related improvements) and that will replace the existing conservation easement. This change from a conservation easement to a restrictive covenant is necessary to fulfill Boulder County's commitment in the Northern Front Range Recreational Sport Shooting Management Partnership to implement a landscape-level, multi-jurisdictional strategy to provide safe, responsible and accessible recreational sport shooting opportunities, as expressed by Boulder County's Board of County Commissioners in a letter to Colorado Parks and Wildlife dated February 1, 2018.
- 9. The finalized Restrictive Covenant shall be recorded with the Boulder Clerk and Recorder's office prior to the submission of any permit applications to the Community Planning & Permitting Department.



- Revised site plans showing the locations of electric vehicle charging stations required per Article 4-516.V.5.c. shall be submitted with application materials submitted for building permits associated with Phase 1 construction.
- 11. The applicant shall provide a Revegetation Plan as part of any building permit application associated with Phase 1 construction.
- 12. The applicant shall provide a Weed Control Plan as part of any building permit application associated with Phase 1 construction.
- 13. The required Weed Control Plan shall include specifics related to the removal of all Russianolive trees located on the subject properties.
- 14. The applicant shall submit a Traffic Control Plan or Method of Handling Traffic with building permit application materials. The Traffic Control Plan shall include a Haul Plan.
- 15. A Stormwater Quality Permit application shall be submitted with the first building or grading permit application.
- 16. Lights, as shown on the submitted lighting plan, shall only be on during approved hours of operation.



- 17. The applicant shall reduce the height of the new indoor range building to approximately 25 feet above existing grade and shall submit new plans reflecting the required change with building permit application.
- 18. The applicant shall work with the Natural Resource Planner and Wildfire Mitigation Specialists to create an expanded Landscaping Plan that includes plantings of trees and other vegetation at various points along the perimeters of the subject parcels. The finalized Landscaping Plan shall be submitted with the building permit application for Phase 1 construction.
- 19. The applicant shall provide written documentation from the ditch company that manages Farmers Ditch approving the drainage plan that includes discharge into the Farmers Ditch.
- 20. Development on both subject parcels shall conform with plans submitted to Community Planning & Permitting Department on June 2, 2020, including the firing shelter associated with the existing 100-yard range.
- 21. The applicant shall install safety fencing and signage along the entire perimeter of the subject properties. The fence along the western subject property line shall be a prairie dog fence.



- 22. The applicant shall submit revised plans that include additional sound mitigation measures for the proposed 300-yard and existing 200-yard ranges, and the proposed firing shelter at the existing 100-yard range. These measures shall ensure that the 65 dB maximum allowed noise level is met for the residence located on the immediately adjacent parcel to the south.
- 23. The applicant shall submit a certification prepared by a professional engineer registered in the State of Colorado or other equally qualified individual confirming that the Boulder Rifle Club has an Environmental Stewardship Plan. The Environmental Stewardship Plan shall include, but not be limited to, the following items: semi-annual water and soil sampling and specifics related to processes for reclamation and recycling of expelled ammunition and lead. The components of the Plan must comply with the Best Management Practices, specifically related to lead management, as specified by the EPA's most current edition of Best Management Practices for Lead at Outdoor Shooting Ranges.
- 24. Approved hours of operation are limited to: 7:00 am or sunrise, whichever is later to dusk or 7:00 pm, whichever is earlier, with one day per week having a closing time of 9:00 pm for educational or law enforcement activities. Hours after 7:00 pm or dusk shall only be for education or law enforcement activities.
- 25. No alcohol or drugs shall be allowed on the subject properties.



- 26. No tracer rounds or incendiary rounds shall be allowed at any of the Boulder Rifle Club ranges.
- 27. The applicant shall submit an approved Fire Safety and Response Plan and associated written approval of the plan from the local fire protection district and the Sheriff as an Exhibit to the required Development Agreement.
- 28. The applicant shall submit a Wildfire Mitigation Plan with building permit applications for Phase 1 construction. The applicant shall submit a revised site plan with specific measurements showing the proposed side range barrier associated with the existing 200-yard range barrier is more than 7 feet from the eastern parcel boundary, or the applicant shall apply for a setback Variance for the proposed location of the barrier. If the Variance application is denied by the Board of Adjustment, the applicant must submit a revised site plan showing the barrier is outside the required 7-foot setback.
- 29. he applicant shall submit documentation of an on-site emergency communication system with building permits for Phase 1 construction.
- 30. One trained safety officer during all hours open to the public and one range member who has passed minimum training requirements during hours when facilities are used but not open to the public shall be on-site.



- 31. The applicant shall submit a Safety Plan with building application materials associated with construction of Phase 1.
- 32. The applicant shall submit to Community Planning & Permitting staff an Annual Report detailing all Boulder Rifle Club operations and physical site conditions one year after the date building permits are closed for Phase 1 construction. Staff shall review the annual report and make a determination if subsequent annual reports are required.
- 33. Only that which is proposed in this application is approved through this Special Review. Any expansion or substantial change to the physical layout of the subject properties, or the operations of the Boulder Rifle Club shall be subject to a new Special Review application process.
- 34. Construction of Phase I shall commence within five years of approval of SU-19-0009: Boulder Rifle Club. If such construction has not commenced, the Special Review approval shall lapse. Construction of all development approved through SU-19-0009: Boulder Rifle Club must be completed within 10 years of the approval.
- 35. All post-approval requirements for the Subdivision Exemption shall be completed one year from date of approval.
- 36. The applicants shall be subject to the terms, conditions and commitments of record and in the file for Docket SE-20-0008: Boulder Rifle Club.
- 37. The Applicant shall be subject to the terms, conditions, and commitments of record and in the file for Docket SU-19-0009: Boulder Rifle Club.

