



Boulder County Purchasing
1325 Pearl Street
Boulder, CO 80302
purchasing@bouldercounty.org

INVITATION TO BID
COVER PAGE

BID Number: **7206-21**

BID Title: **Boulder County Courthouse Third Floor Acoustic Panels and ACT**

BID Questions Due: February 17, 2021 – 2:00 p.m.

Submittal Due Date: February 26, 2021 – 2:00 p.m.

Email Address: purchasing@bouldercounty.org

Documents included in this package:

- Bid Instructions
- Terms and Conditions
- Specifications
- Insurance and W-9 Requirements
- Submittal Checklist
- Bid Tab
- Signature Page
- Drawings
- Sample Contract



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INSTRUCTIONS

1. Purpose/Background

Boulder County Public Works, Building Services, is seeking proposals to provide labor, material and equipment to furnish and install acoustic wall and ceiling panels and acoustic ceiling tile and grid work for the Boulder County Courthouse Third Floor Remodel located at 1325 Pearl Street in Boulder.

Summary of Work: Provide a price for one and/or each item as listed below:

- a. Acoustical Ceilings
- b. Acoustic Wall and Ceiling Panels

2. Written Inquiries

All inquiries regarding this BID will be submitted via email to the Boulder County Purchasing Office at purchasing@bouldercounty.org on or before 2:00 p.m. **February 17, 2021**. A response from the county to all inquiries will be posted and sent via email no later than **February 22, 2021**.

Please do not contact any other county department or personnel with questions or for information regarding this solicitation.

3. Submittal Instructions

BIDs are due at the email box only, listed below, for time and date recording on or before **2:00 p.m. Mountain Time on February 26, 2021**. A bid opening will be conducted at 3:00 p.m. via email by sending a copy of the bid tab to all who have submitted a bid.

Please note that email responses to this solicitation are limited to a maximum of 50MB capacity. NO ZIP FILES OR LINKS TO EXTERNAL SITES ALLOWED. Electronic submittals must be received in the email box listed below. Submittals sent to any other box will NOT be forwarded or accepted. This email box is only accessed on the due date of your questions or proposals. Please use the Delivery Receipt option to verify receipt of your email. It is the sole responsibility of the proposer to ensure their documents are received before the deadline specified above. Boulder County does not accept responsibility under any circumstance for delayed or failed email or mailed submittals.

Email purchasing@bouldercounty.org; identified as **BID # 7206-21** in the subject line.

All BIDs must be received and time and date recorded by authorized county staff by the above due date and time. Sole responsibility rests with the bidder to see that their BID response is received on time at the stated location(s). Any BIDs received after due date and time will be returned to the bidder.

The Board of County Commissioners reserves the right to reject any and all BIDs, to waive any informalities or irregularities therein, and to accept the proposal that, in the opinion of the Board, is in the best interest of the Board and of the County of Boulder, State of Colorado.

Americans with Disabilities Act (ADA): If you need special services provided for under the Americans with Disabilities Act, contact the ADA Coordinator or the Human Resources office at (303) 441-3525 at least 48 hours before the scheduled event.



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TERMS AND CONDITIONS

1. Bidders are expected to examine the drawing, specifications, schedule of delivery, and all instructions. Failure to do so will be at the bidder's risk.
2. Each bidder will furnish the information required in the Invitation to Bid.
3. The Contract/Purchase Order will be awarded to that responsible bidder whose submittal, conforming to the Invitation to Bid, will be most advantageous to the County of Boulder, based on best value not only price.
4. The County of Boulder reserves the right to reject any or all bids and to waive informalities and minor irregularities in bids received, and to accept any portion of or all items proposed if deemed in the best interest of the County of Boulder to do so.
5. No submittal will be withdrawn for a period of thirty (30) days subsequent to the opening of bids without the consent of the County Purchasing Agent or delegated representative.
6. A signed purchase order or contract furnished to the successful bidder results in a binding contract without further action by either party.
7. Late or unsigned bids will not be accepted or considered. It is the responsibility of bidders to ensure that the bid arrives at the Administrative Services Information Desk prior to the time indicated in the "Invitation to Bid."
8. The proposed price will be exclusive of any Federal or State taxes from which the County of Boulder is exempt by law.
9. Any interpretation, correction or change of the bid documents will be made by Addendum. Interpretations, corrections and changes of the bid documents made in any other manner will not be binding, and bidder will not rely upon such interpretations, corrections and changes. The County's Representative will not be responsible for oral clarification.

10. Confidential/Proprietary Information: Bids submitted in response to this “Invitation to Bid” and any resulting contract are subject to the provisions of the Colorado Public (Open) Records Act, 24-72-201 et.seq., C.R.S., as amended. Any restrictions on the use or inspection of material contained within the bid and any resulting contract will be clearly stated in the bid itself. Confidential/proprietary information must be readily identified, marked and separated/packaged from the rest of the bid. Co-mingling of confidential/proprietary and other information is NOT acceptable. Neither a bid, in its entirety, nor bid price information will be considered confidential/proprietary. Any information that will be included in any resulting contract cannot be considered confidential.
11. Boulder County promotes the purchase/leasing of energy efficient, materials efficient and reduced toxic level products where availability, quality and budget constraints allow. Bidders are expected whenever possible to provide products that earn the ENERGY STAR and meet the ENERGY STAR specifications for energy efficiency with power management features enabled. Bidders are encouraged to offer products and equipment with post-consumer recycled-content materials. Products should be packaged and delivered with a minimum amount of recycled packaging that adequately protects the product, but is not excessive.
12. Pursuant to Colorado law (House Bill 1292), in any bidding process for public works in which a bid is received from a non-resident bidder who is from a state that provides a percentage bidding preference, a comparable percentage disadvantage will be applied to the bid of that bidder. Bidders may obtain additional information from the Department of Personnel’s website: <http://www.colorado.gov/dpa/>.



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SPECIFICATIONS

Acoustic panel and tile scope should include, but is not necessarily limited to:

- 1. ACT, panels, hanger wires, wall angles, molding and accessories.**
- 2. Boulder County will demo existing ceilings.**
- 3. Material to be used is Armstrong Cortega Tegular 5/8" with corresponding grid material, sizes per plans. Color is white.**
- 4. Acoustical wall and ceiling panels are DESIGNTEX "GAMUT" as specified on the plans. Panels are approximately one inch thick.**
- 5. The hearing room ceilings are about 14' high and we cannot get a scissor lift into the space so please plan on other equipment / methods for install.**
- 6. Final project completion is scheduled for 5/31/2021.**



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INSURANCE AND W-9 REQUIREMENTS

PAYMENT & PERFORMANCE BONDS

Both a payment and a performance bond are required for this project and must each equal 100% of the proposed cost. Please include the cost of this bonding into the total proposed cost.

INSURANCE REQUIREMENTS

Commercial General Liability

Coverage should be provided on an Occurrence form, ISO CG0001 or equivalent. The policy shall be endorsed to include Additional Insured Owners, Lessees or Contractors endorsements CG 2038 (or equivalent), Designated Construction Project(s) General Aggregate Endorsement CG2503 (or equivalent) and Additional Insured Completed Operations for Owners, Lessees or Contractors CG 2037 (or equivalent). Minimum limits required of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products/Completed Operations Aggregate. The County requires the Products/Completed Operations coverage to be provided 3 years after completion of construction. An endorsement must be included with the certificate.

Automobile Liability

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

Workers' Compensation and Employer's Liability

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

Boulder County as Additional Insured: Boulder County shall be named as an additional insured for General Liability, Umbrella/Excess Liability, and Pollution Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS: County of Boulder, State of Colorado, a body corporate and politic, is named as Additional Insureds.

In regards to General Liability, Umbrella/Excess Liability, and Pollution Liability: If any or all of these coverages are required above, additional insured status will be required prior to beginning any and all tasks or work.

Note that the above insurance amounts are the minimum required for this project. **Proof of current insurance must be provided with your proposal in the form of a sample certificate or your proposal will be deemed non-responsive.** If you require a waiver of insurance requirements (e.g. Workers' Compensation and sole proprietorships) you may request one in your response with an explanation.

W-9 REQUIREMENT

Provide a copy of your business's W-9 with your proposal.



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SUBMITTAL SECTION

The bidder's attention is especially called to the items listed below, which must be submitted in full as part of the BID. Failure to submit any of the documents listed below as a part of your BID, or failure to acknowledge any addendum in writing with your BID, or submitting a bid on any condition, limitation or provision not officially invited in this Invitation to Bid (BID) may be cause for rejection of the BID.

THIS CHECKLIST MUST BE SUBMITTED AS PART OF YOUR BID PACKAGE: Bidder will check each box indicating compliance:

INCLUDED	ITEM
	Name and Address of the Partners and Subcontractors if applicable
	A detailed project schedule with an all-inclusive total cost
	Information on the relevant experience of key personnel
	Submit a copy of any contract you would require to be executed in this process
	Submit three references for similar projects your company has completed within the last three years and contact information
	Insurance Certificate
	W-9
	Signature Page
	Addendum Acknowledgement(s) (If Applicable)



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BID TAB

Provide a price for one and/or each item as listed below. Any alternates should be noted next to the Item below and any additional information shall be attached, following this page, reviewing the alternate pricing. Work shall be awarded based on the most responsible Bid that best satisfies the requirements of the project, not necessarily on the lowest price. Boulder County reserves the right to make the award on the basis of the Bid deemed most favorable to the County, to waive any informalities, or to reject any or all Bids.

All work described in the Drawings, Specifications and Addenda for this project:

ITEM #1: Acoustic Wall and Ceiling Panels:

_____dollars
(\$ _____)

Duration_____ Working Days

ITEM #2: Acoustic Ceiling Tile w/ Grid System:

_____dollars
(\$ _____)

Duration_____ Working Days

Alternates (if any)

_____dollars
(\$ _____)



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SIGNATURE PAGE

Contact Information	Response
Company Name including DBA	
List Type of Organization (Corporation, Partnership, etc.)	
Name, Title, and Email Address of Person Authorized to Contract with Boulder County	
Company Address	
Company Phone Number	
Company Website	

By signing below I certify that:

- I am authorized to bid on my company's behalf.
- I am not currently an employee of Boulder County.
- None of my employees or agents is currently an employee of Boulder County.
- I am not related to any Boulder County employee or Elected Official.
- (Sole Proprietorships Only) I am not a Public Employees' Retirement Association (PERA) retiree.

**Signature of Person Authorized to Bid on
 Company's Behalf**

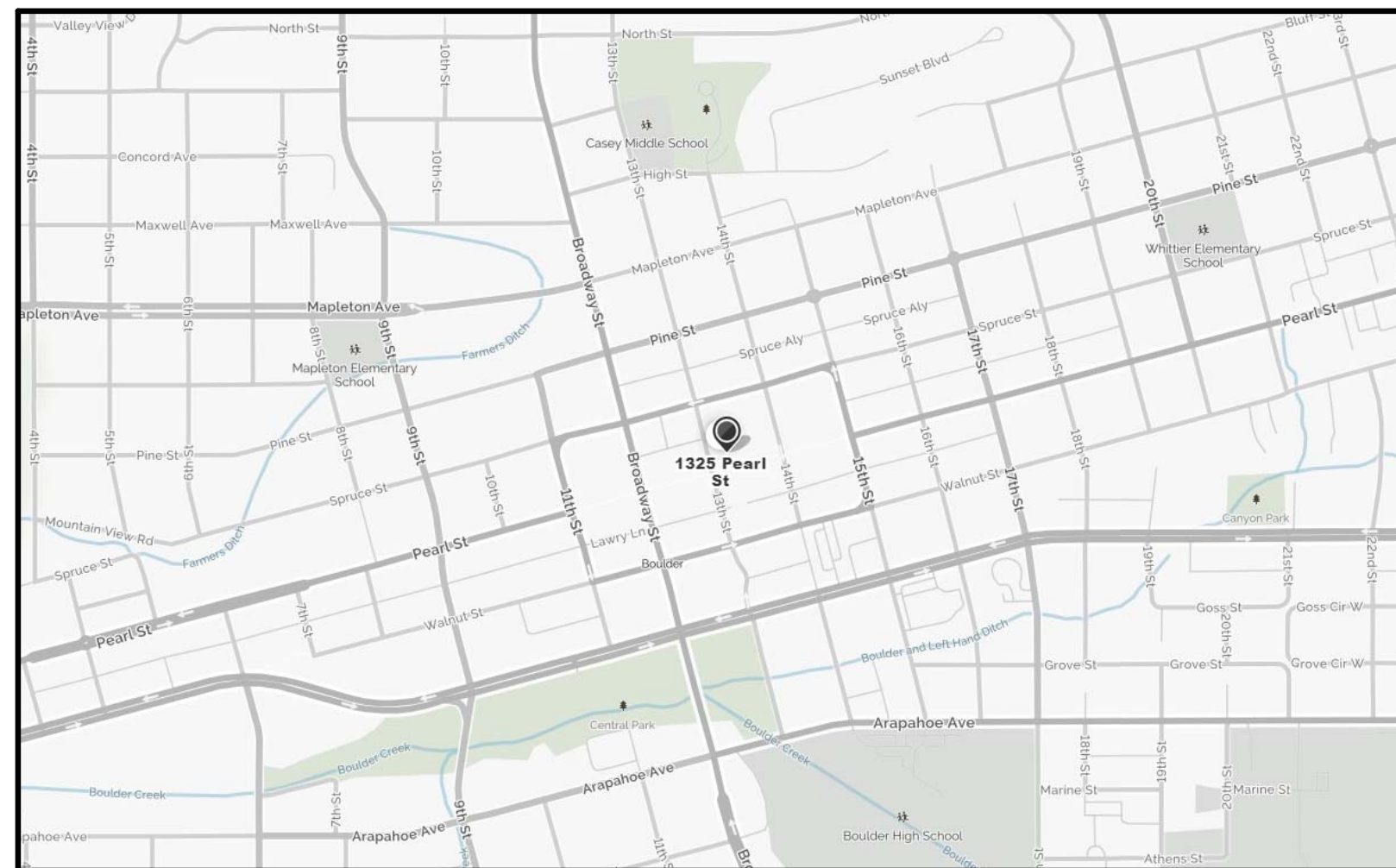
Date

Note: If you cannot certify the above statements, please explain in a statement of explanation.

3RD FLOOR BOCC REMODEL

1325 PEARL STREET BOULDER, COLORADO 80302

Building Permit Submittal



VICINITY MAP

TYPICAL ABBREVIATIONS

A-	ASSEMBLY OCCUPANCY	MAN.	MANUFACTURER
AC	ACOUSTIC ONLY HERMAN MILLER	MAT.	MATERIAL
AC/GL	ACOUSTIC AND GLASS HERMAN MILLER	MAX.	MAXIMUM
ADA	AMERICAN DISABILITY ACT (COMPLIES WITH)	MECH.	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MET.	METAL
ARCH.	ARCHITECT	MIR.	MIRROR
B	BUSINESS OCCUPANCY	MIN.	MINIMUM
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	O.C.	ON CENTER
BM	BEAM	OCC.	OCCUPANCY
CA	CARD ACCESS	O.DIA.	OUTSIDE DIAMETER
C.L.	CENTER LINE	OPP.	OPPOSITE
CL.G.	CEILING	OTS.	OPEN TO STRUCTURE
CONC.	CONCRETE	P-E	PUBLIC ESTABLISHED ZONING
CONTR.	CONTINUOUS	PL.	PLATE
CONST.	CONSTRUCTION	PH.	PHASE
COORD.	COORDINATE	PRMT.	PERMIT
CPT.	CARPET	PROP.	PROPERTY
CT	CERAMIC TILE	P.T.D.	PAPER TOWEL DISPENSER
D.E.B.	DRY ERASE BOARD	PTD.	PAINTED
D.F.	DRINKING FOUNTAIN	R.	RISER
DIA.	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
EA.	EACH	RE.	REFERENCE
EQUIPT.	EQUIPMENT	RB	RUBBER BASE
ES	ELECTRONIC STRIKE	S.A.C.	SUSPENDED ACOUSTICAL CEILING
ETC.	ET CETERA	SB	SOUND BOARD
EX	EXISTING	S.C.	SOLID CORE
EXP.	EXPOSED	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F.E.	FIRE EXTINGUISHER	SS	STAINLESS STEEL
F.D.	FLOOR DRAIN	STL.	STEEL
FR	FIRE RATED	STO.	STORAGE
G.C.	GENERAL CONTRACTOR	STRUCT.	STRUCTURAL
GA.	GAGE	THICK.	THICKNESS
GALV.	GALVANIZED	T.	TREAD
G.W.B.	GYPSTUM WALL BOARD	T.O.	TOP OF
HWDR.	HARDWARE	T.P.	TOILET PAPER DISPENSER
HGHT.	HEIGHT	TYP.	TYPICAL
I.B.C.	INTERNATIONAL BUILDING CODE	U.N.O.	UNLESS NOTED OTHERWISE
INS.	INSULATION	V.B.	VAPOR BARRIER
INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
I.T.	INFORMATION TECHNOLOGY	W/	WITH
J	JOINT	WC	WATER CLOSET
KIT.	KITCHEN	WD.	WOOD
LNM	LINOLEUM	WP	WORK POINT

PROJECT DATA

PROJECT ADDRESS:
1325 Pearl Street, Boulder, CO 80302

PROJECT DESCRIPTION: Third Floor of County Courthouse Remodel: Renovation of office spaces and hearing room. Demolition of non-load bearing walls. Upgrading one small toilet room to meet ADA requirements. New ADA dais to be constructed for new layout of hearing room. Insulation and furr out of exterior walls. Upgrading lighting and controls, AV Equipment, and addition of floor boxes. New floor finishes.

VERTICAL DATUM:
100'-0" = First Floor Finish

No additional square footage is added with this remodel.

PARCEL INFORMATION:
Property Address: 1325 Pearl Street
City: Boulder
Owner: County of Boulder, Jeff Maxwell, Public Works Director
Parcel Number: 146330324001
Mailing Address: PO Box 471
City, State, Zip: Boulder CO 80306-0471
Sec-Town-Range: 30-1N-70
Subdivision: Boulder O T East & West & North - B0
Jurisdiction: Boulder
Legal Description: Public Square Blk Between Blk 94 & 95 Boulder O T
Square Feet: 89,506
Acres: 2.05
RENOVATION SQUARE FOOTAGE:
BUILDING TOTAL: 32,368 SF
REMODEL: 6,450 SF

PROJECT DIRECTORY

OWNER:
BOULDER COUNTY
P.O. BOX 471
BOULDER, CO 80306
ARCHITECT OF RECORD:
BOULDER COUNTY PUBLIC WORKS
BUILDING SERVICES DIVISION
2525 13TH ST, 2ND FLOOR
BOULDER, CO 80302
MACKENZIE SCHOOF, 303-441-3187
mschoofs@bouldercounty.org

GENERAL CONTRACTOR:
BOULDER COUNTY PUBLIC WORKS
BUILDING SERVICES DIVISION
2525 13TH ST, 2ND FLOOR
BOULDER, CO 80302
JOE MAY, 303-441-1263
jmayer@bouldercounty.org
GC License #LIC0099057

ELECTRICAL CONTRACTOR:
BOULDER COUNTY PUBLIC WORKS
BUILDING SERVICES DIVISION
2525 13TH ST, 2ND FLOOR
BOULDER, CO 80302
MARTIN MARINO, 303-434-4834
mmarino@bouldercounty.org

INFORMATION TECHNOLOGY:
BOULDER COUNTY IT
SHAWN BLEAM, 303-441-4537
sbleam@bouldercounty.org

MECHANICAL ENGINEER:
BCER ENGINEERING
5420 WARD ROAD, SUITE 200
ARVADA, CO 80002-1838
MECH. ENGINEER: SHANE NEWMAN
PROJECT MANAGER: JEFF ADAMS
snewman@bcer.com
303-405-2862
jadams@bcer.com
303-422-7400

ELECTRICAL ENGINEER:
BCER ENGINEERING
5420 WARD ROAD, SUITE 200
ARVADA, CO 80002-1838
ELECTRICAL DESIGNER: GREG MONDRAGON
PROJECT MANAGER: JEFF ADAMS
gmondragon@bcer.com
303-405-2878
jadams@bcer.com
303-422-7400

PLUMBING ENGINEER:
BCER ENGINEERING
5420 WARD ROAD, SUITE 200
ARVADA, CO 80002-1838
PLUMBING ENGINEER: JUSTIN PATTERSON
PROJECT MANAGER: JEFF ADAMS
jpatterson@bcer.com
303-405-2856
jadams@bcer.com
303-422-7400

CODE INFORMATION

CONSTRUCTION SHALL COMPLY WITH THE 2018 IBC.

OCCUPANCY TYPE: B - BUSINESS (OFFICE AREAS)
A - ASSEMBLY (CONFERENCE AND HEARING ROOMS)

TYPE OF (NEW) CONSTRUCTION: 2B

ZONE: P(Public)

THIS PROJECT WILL BE CONSTRUCTED TO MEET THE ADA CODE REQUIREMENTS.

BUILDING USAGE OR SQUARE FOOTAGE IS NOT CHANGING.

SHOULD WE PENETRATE ANY RATED WALL ASSEMBLIES THE PENETRATION WILL BE IN COMPLIANCE WITH IBC 2015 CHAPTER 7 REQUIREMENTS FOR WALL PENETRATIONS.

THIS PROJECT WILL REMAIN FULLY SPRINKLERED, MEETING IBC AND CITY OF BOULDER REQUIREMENTS. ANYTHING ENTERING/EXITING RATED ASSEMBLIES WILL BE IN COMPLIANCE.

STAIR CALCULATION

MAXIMUM NUMBER OF OCCUPANTS THROUGH A STAIRWAY = 101 X .3 INCHES PER OCCUPANT = 30.3 INCHES MIN < 37 INCH WIDTH OF EXISTING STAIR #1. (PER 1005.3.1 STAIRWAY)

EXIT DOOR CALCULATION

MAXIMUM NUMBER OF OCCUPANTS THROUGH AN EXIT DOOR / OTHER MEANS OF EGRESS = 101 X .2 INCHES PER OCCUPANT = 20.2 INCHES MIN WIDTH < CLEAR DOOR WIDTH OF STANDARD PROJECT DOOR CLEAR WIDTH OF 36 INCHES. (PER 1005.3.1 OTHER EGRESS COMPONENTS) PLEASE NOTE:

W EXIT: 101 X .2 = 20.2' < 36"
N EXIT: 23 X .2 = 4.6' < 60"
E EXIT: 20 X .2 = 4' < 36"
S EXIT: 96 X .2 = 19.2' < 60"

PROJECT ESTIMATE

AREA OF REMODEL
FIRST FLOOR 0 SF
SECOND FLOOR 0 SF
THIRD FLOOR 6,450 SF
FOURTH FLOOR 0 SF
FIFTH FLOOR 0 SF

GENERAL NOTES:

- A: The contract documents include these drawings. Any discrepancies found among the drawings, these general notes, and the site conditions shall be reported to the Architect who shall address such inconsistencies in writing. Any work done by the contractor after discovery of such error shall be done at the contractor's risk. The contractor shall verify and familiarize themselves with all drawings prior to proceeding with any work or fabrication.
- B: Mechanical, electrical, and plumbing to conform to work requirements indicated herein and suitable for the intended uses of the spaces.
- C: If there is a conflict between a large scale drawings and smaller scale drawing of the same area, the larger scale drawing is to be considered more precise.
- D: Architectural plans show the desired layout of furniture and ceiling grid. Notify architect immediately in writing if there is a discrepancy between Architectural, Mechanical, and Electrical.

PLUMBING FIXTURE COUNT (ENTIRE BUILDING)

FIXTURE COUNT BELOW VERIFIES EXISTING COMPLIANCE

APPLICABLE CODE REFERENCES
TABLE 2902-1
BUSINESS: (County Government offices)

1 WC PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR REMAINDER EXCEEDING 50.

1 LAV PER 40 FOR FIRST 80 AND 1 PER 80 REMAINING AFTER 80

1 DRINKING FOUNTAIN PER 100 (Required for occupant loads>15)

1 MOP SINK (required for occupant loads>15)

AUDITORIUMS WITHOUT PERMANENT SEATING: 1 PER 125 FOR MEN, 1 PER 65 WOMEN. LAVS= 1 PER 200

419.2 IPC = SUBSTITUTION FOR WATER CLOSETS. IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67 PERCENT OF THE REQUIRED WATER CLOSETS IN ASSEMBLY AND EDUCATIONAL OCCUPANCIES. URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50 PERCENT OF THE REQUIRED WATER CLOSETS IN ALL OTHER OCCUPANCIES.

FIRST FLOOR

1ST FLOOR (2 public toilets and 1 unisex staff toilet)
8750 SF
8750/100 = 88 OCCUPANTS

2ND FLOOR (No Public toilets)
8750 SF
8750/100 = 88 OCCUPANTS

FIXTURE COUNT 1st + 2nd
88+88 = 176 OCCUPANTS
176/2 = 88 MALE / 88 FEMALE

REQUIRED WOMEN'S TOILETS = 88 FEMALE = 2
REQUIRED MEN'S TOILETS = 88 MALE = 2

EXISTING WOMEN'S TOILETS = 3 IN PUBLIC TOILET
EXISTING MEN'S TOILETS = 2 = 1 + 2 URINALS (WE ARE EXCEEDING REQUIRES WC'S, >50% URINALS IS OK)

EXISTING STAFF ONLY UNISEX = 1 UNISEX IN OFFICES

EXISTING MOP SINK = 1 MOP SINK

THIRD FLOOR

2ND FLOOR (no toilets)
8750/100 = 88

3RD FLOOR (public toilets)
6450 SF
6450/100 = 65 OCCUPANTS

*ASSEMBLY SPACES ON 3RD FLOOR = 1798 + 419 = 2217 SF (1 PER 125 FOR MEN, 1 PER 65 FOR WOMEN. LAVS = 1 PER 200)
2217/15 = 148 = 74 MEN/74 WOMEN = 1 TOILET MEN'S & 1 TOILET WOMEN'S

FOURTH FLOOR (no toilets)
1441 SF
1441/100 = 15 OCCUPANTS

FIXTURE COUNT FOR THIRD FLOOR = 2ND + 3RD + 4TH
(1 toilet each for assembly) + 88 + 65 + 15 = 168

168/2 = 84 MALE / 84 FEMALE

REQUIRED WOMEN'S TOILETS = 84 FEMALE = 1 FOR ASSEMBLY + 1 FOR FIRST 25 + 2 FOR NEXT 59 = 4 TOTAL
REQUIRED MEN'S TOILETS = 84 MALE = 1 FOR ASSEMBLY + 1 FOR FIRST 25 + 2 FOR NEXT 59 = 4 TOTAL

EXISTING WOMEN'S TOILETS = 4 IN PUBLIC TOILET
EXISTING MEN'S TOILETS = 4 = 2 + 2 URINALS (50% URINALS IS OK)

EXISTING STAFF ONLY UNISEX TOILET = 1 UNISEX IN OFFICES

FIFTH FLOOR

FIFTH FLOOR
4620 SF
4620/100 = 46.2 = 47 OCCUPANTS

FIXTURE COUNT 5TH (No public interface)
47/2 = 24 MALE/24 FEMALE

24 MALE = 1 TOILET REQUIRED = 1 FOR FIRST 25
24 FEMALE = 1 TOILET REQUIRED = 1 FOR FIRST 25

TOILETS PROVIDED = 2 UNISEX

FLOOR:	EXISTING FIXTURES COUNT:						FIXTURES BEING REMOVED:						FIXTURES BEING ADDED:									
	WATER CLOSET	URINALS	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS	WATER CLOSET	URINALS	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS	WATER CLOSET	URINALS	DISHWASHER	DRINKING FOUNTAINS	SINKS	MOP SINK	FLOOR DRAINS	
BASEMENT																						
FIRST	6	2	1	8	3			2														
SECOND				1	1	1																
THIRD	6	2	1	7	1	2					3									3		
FOURTH				1																		
FIFTH	2	1	1	3																		
TOTALS	13	4	1	4	18	2	7				3								3			

NOTE: SEE A101 FOR FIXTURE LOCATIONS ON THIRD FLOOR

SHEET INDEX

NO.	TITLE
A001	TITLE SHEET
A002	CODE AND EGRESS SHEET
A003	ENERGY CONSERVATION CODE COMPLIANCE
AD101	BOCC THIRD FLOOR DEMOLITION PLAN
AD102	BOCC THIRD FLOOR DEMOLITION REFLECTED CEILING PLAN
A101	BOCC THIRD FLOOR REMODEL PLAN
A102	BOCC THIRD FLOOR REMODEL REFLECTED CEILING PLAN
A103	BOCC THIRD FLOOR REMODEL FINISH PLAN
A104	SYSTEMS FURNITURE PLAN - SECOND FLOOR
A201	INTERIOR ELEVATIONS
A401	ENLARGED PLANS & INTERIOR ELEVATIONS
A402	ENLARGED PLANS & INTERIOR ELEVATIONS
A403	ENLARGED PLANS & INTERIOR ELEVATIONS
A501	WALL SECTIONS
A502	DETAILS
A601	DOOR & FINISH SCHEDULES
M001	MECHANICAL GENERAL INFORMATION
M002	MECHANICAL SPECIFICATIONS
M003	MECHANICAL SPECIFICATION
M004	MECHANICAL SPECIFICATION
M005	MECHANICAL SPECIFICATION
M006	MECHANICAL SPECIFICATION
M007	MECHANICAL SCHEDULES
M008	MECHANICAL SCHEDULES
M009	MECHANICAL ENERGY COMPLIANCE
M010	MECHANICAL ENERGY COMPLIANCE
MD203	BOCC THIRD FLOOR MECHANICAL DEMOLITION PLAN
MD303	BOCC THIRD FLOOR MECHANICAL PIPING DEMOLITION PLAN
M203	BOCC THIRD FLOOR MECHANICAL PLAN
M303	BOCC THIRD FLOOR MECHANICAL PIPING PLAN
M501	MECHANICAL SCHEMATICS
M601	MECHANICAL DETAILS
E001	ELECTRICAL GENERAL INFORMATION
E002	ELECTRICAL SPECIFICATION
E003	ELECTRICAL SCHEDULES
E004	ELECTRICAL COMCHECK
ED203	BOCC THIRD FLOOR POWER DEMOLITION PLAN
ED303	BOCC THIRD FLOOR LIGHTING DEMOLITION PLAN
E203	BOCC THIRD FLOOR POWER PLAN
E303	BOCC THIRD FLOOR LIGHTING PLAN
E501	DEMOLITION ELECTRICAL ONE-LINE DIAGRAM
E502	REVISED ELECTRICAL ONE-LINE DIAGRAM
E503	PANEL SCHEDULES
P001	PLUMBING GENERAL INFORMATION
P002	PLUMBING SPECIFICATION
P003	PLUMBING SPECIFICATION
P004	PLUMBING SPECIFICATION
PD202	BOCC SECOND FLOOR PLUMBING DEMOLITION PLAN
PD203	BOCC SECOND FLOOR PLUMBING DEMOLITION PLAN
P202	BOCC SECOND FLOOR PLUMBING PLAN
P203	BOCC THIRD FLOOR PLUMBING PLAN
P601	PLUMBING DETAILS

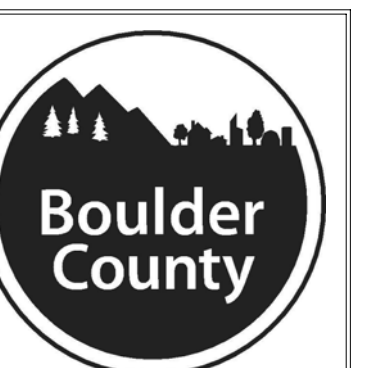
NOTES TO BOULDER COUNTY ELECTRICAL:

CONFERENCE ROOMS
ADD FLOORBOX IN CENTER OF ROOM (UNDER TABLE).
ADD POWER TO CODE AND DATA JACKS ON OPPOSITE WALLS, TYP.
ADD WAP PER BOULDER COUNTY I.T.
TV WITH POWER & DATA ON SHORT WALL AWAY FROM DOOR, OR AS NOTED ON FLOOR PLAN.

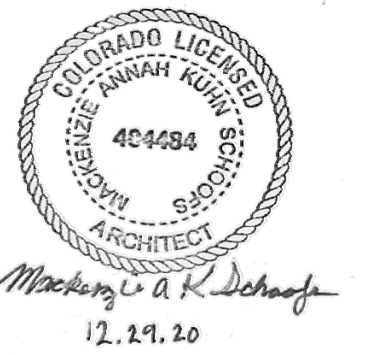
OPEN OFFICE
ADD WHIP PER EACH RUN OF HERMAN MILLER.
ADD ONE OUTLET ON WALL PER STATION.

BREAK ROOMS
2-3 CIRCUITS DEPENDING ON FRIDGE.
GFCI'S ABOVE COUNTER PER CODE.

WAPS & SWITCHES
WORK IT MANAGER TO LOCATE WAPS.
CONFIRM WITH IT MANAGER ACTIVE PORTS.



BUILDING SERVICES
DIVISION
2020 13TH ST.
BOULDER, CO 80302
P.O. BOX 471 BOULDER, CO
80306
PHONE: 303.441.3187
mschoofs@bouldercounty.org



BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

SHEET
TITLE SHEET

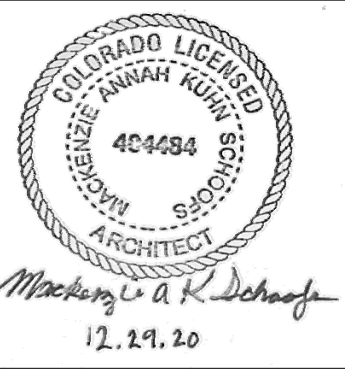
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Courthouse\PROJECTS\101420 - BOCC
HEARING ROOM &
SECURITY SCREENING\DRAWINGS\BVC\TRC
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-20.rvt
ACCT 100103
DATE: 12/29/20
DRAWN BY: MS
CHECKED BY: JB

REVISIONS

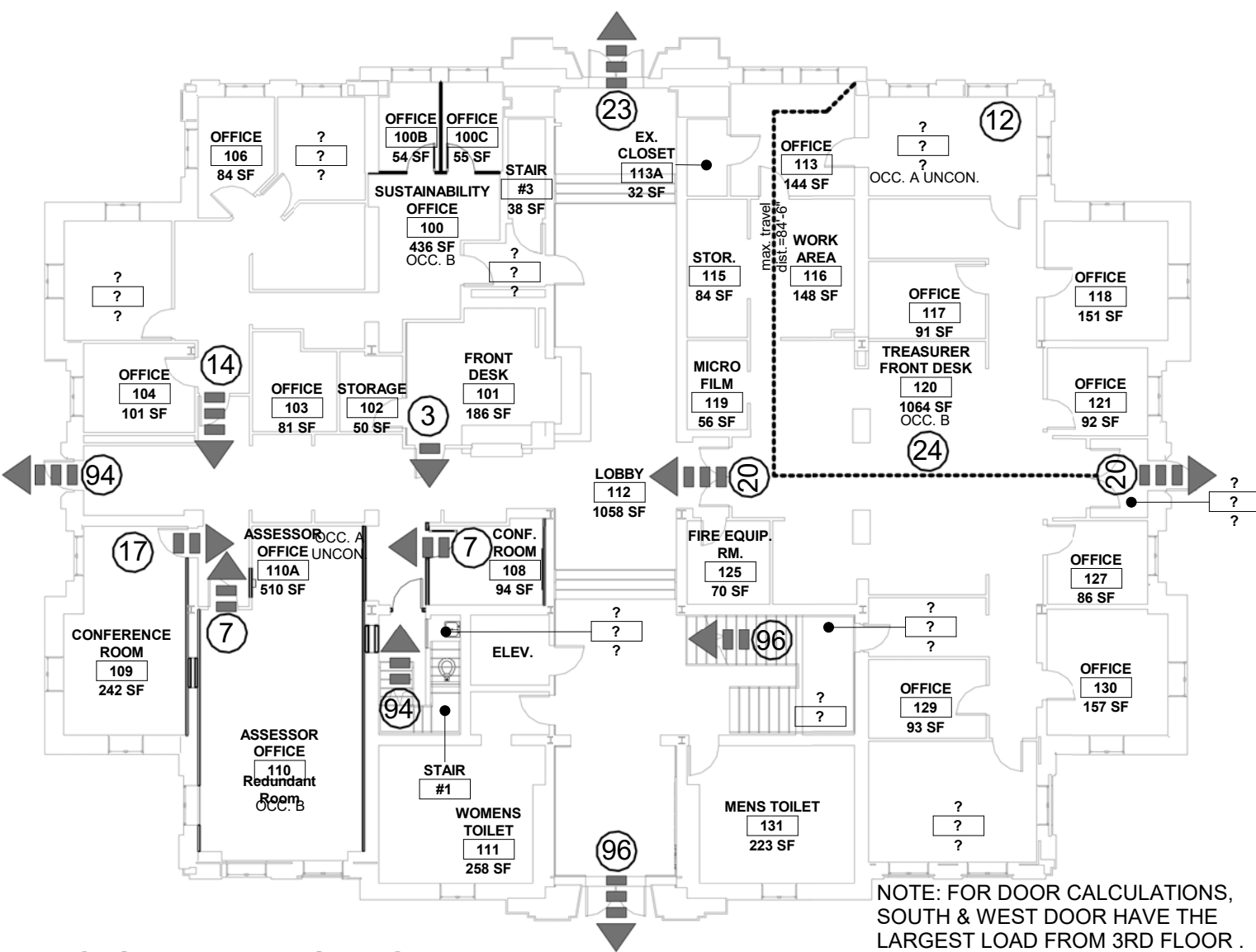
SHEET
A001



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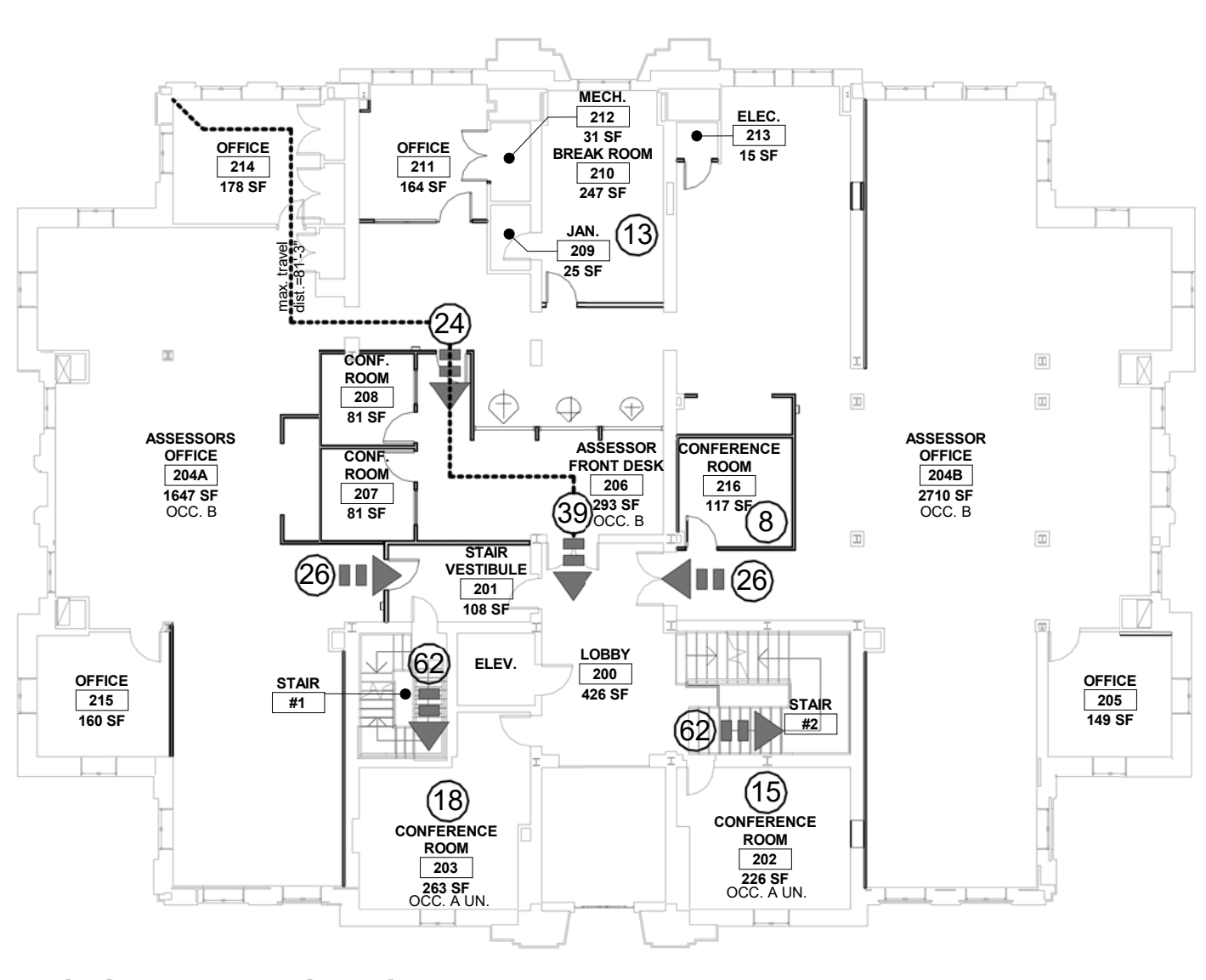


12.29.20



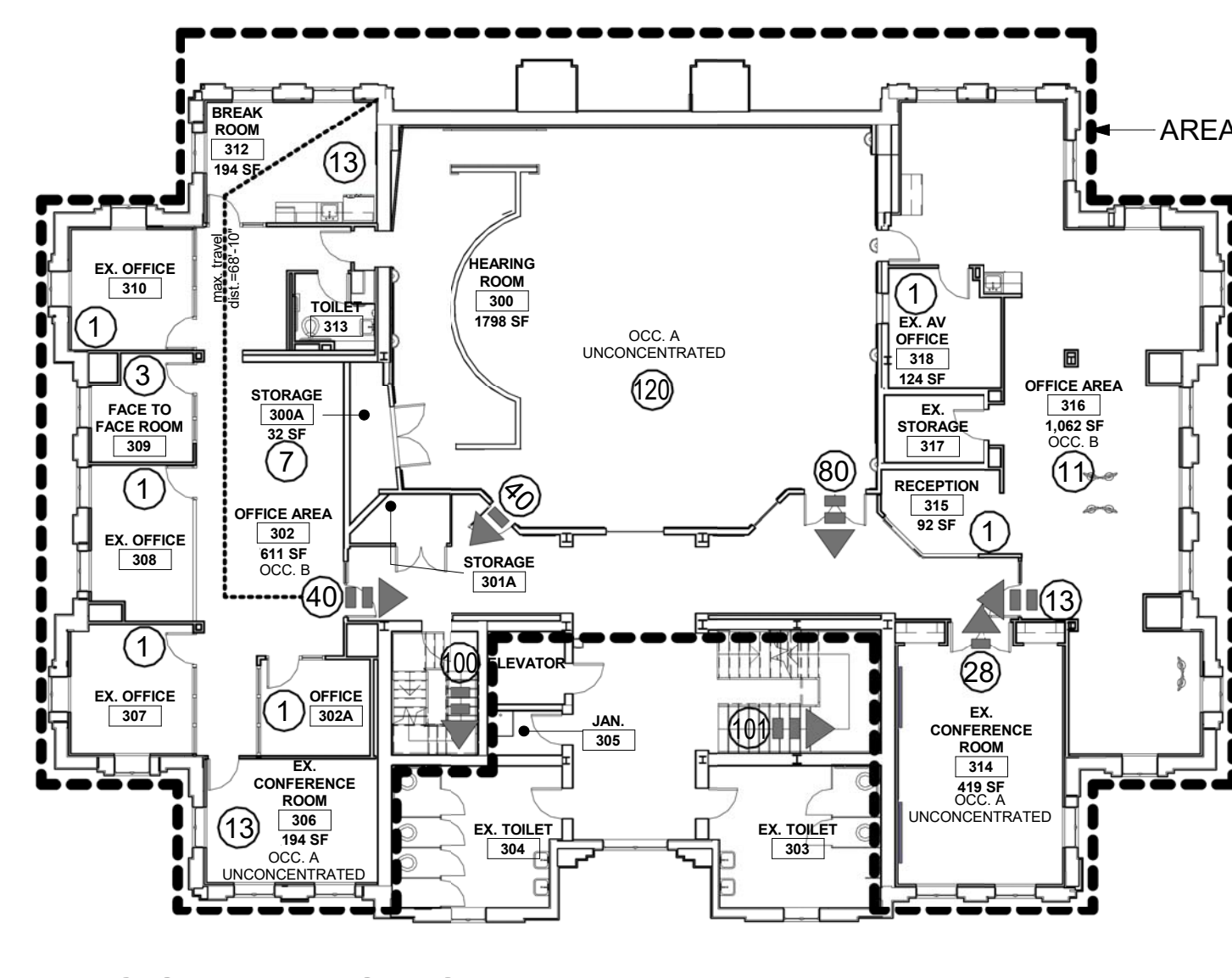
3
A002

COURTHOUSE
EMERGENCY EGRESS
PLAN - FIRST FLOOR
1/16" = 1'-0"



5
A002

COURTHOUSE
EMERGENCY EGRESS
PLAN - SECOND FLOOR
1/16" = 1'-0"



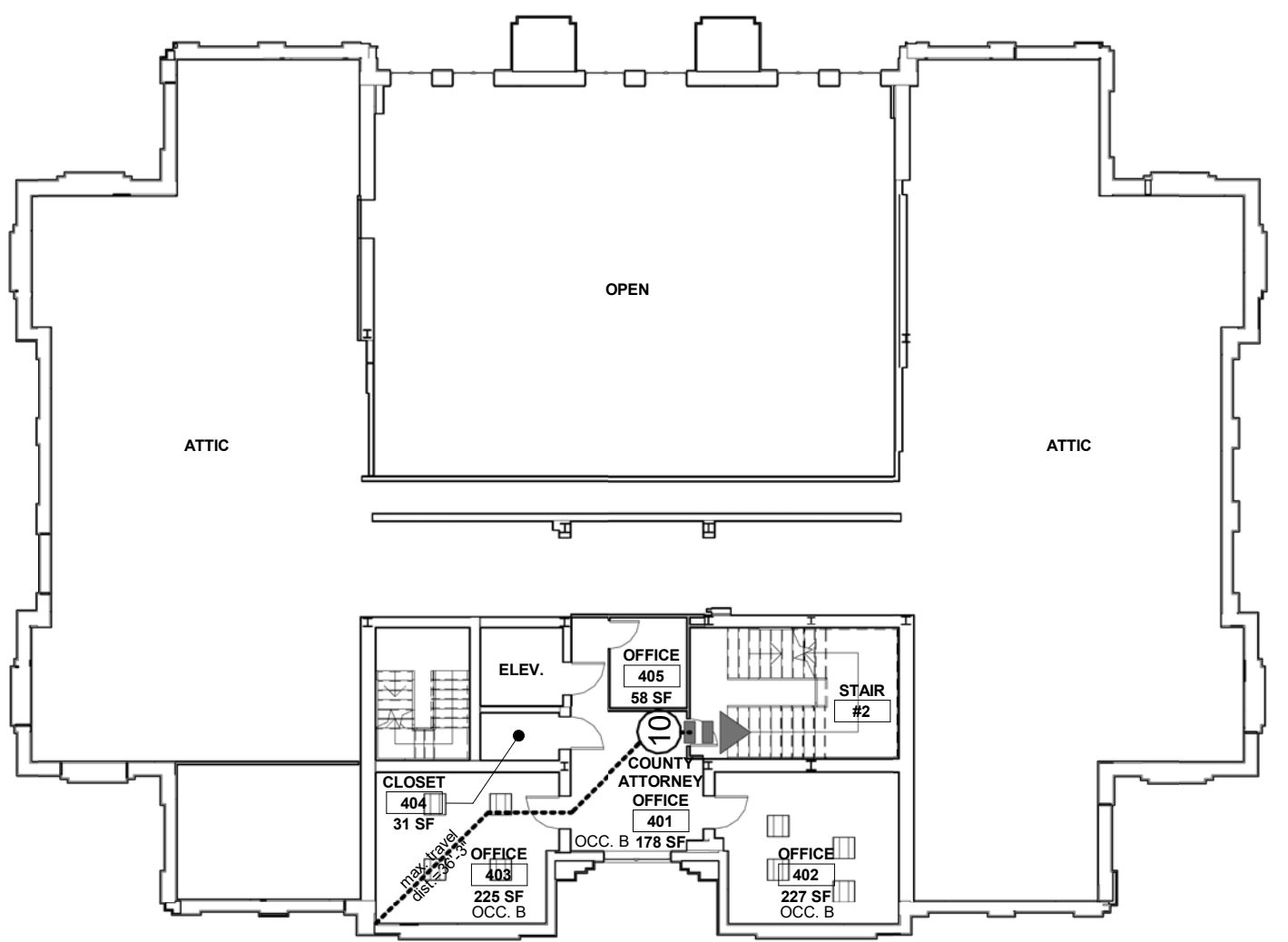
6
A002

COURTHOUSE
EMERGENCY EGRESS
PLAN - THIRD FLOOR
1/16" = 1'-0"

THIRD FLOOR OCCUPANCY
ASSEMBLY=1 OCC. PER 15 SF
BUSINESS=1 OCC. PER 100 SF

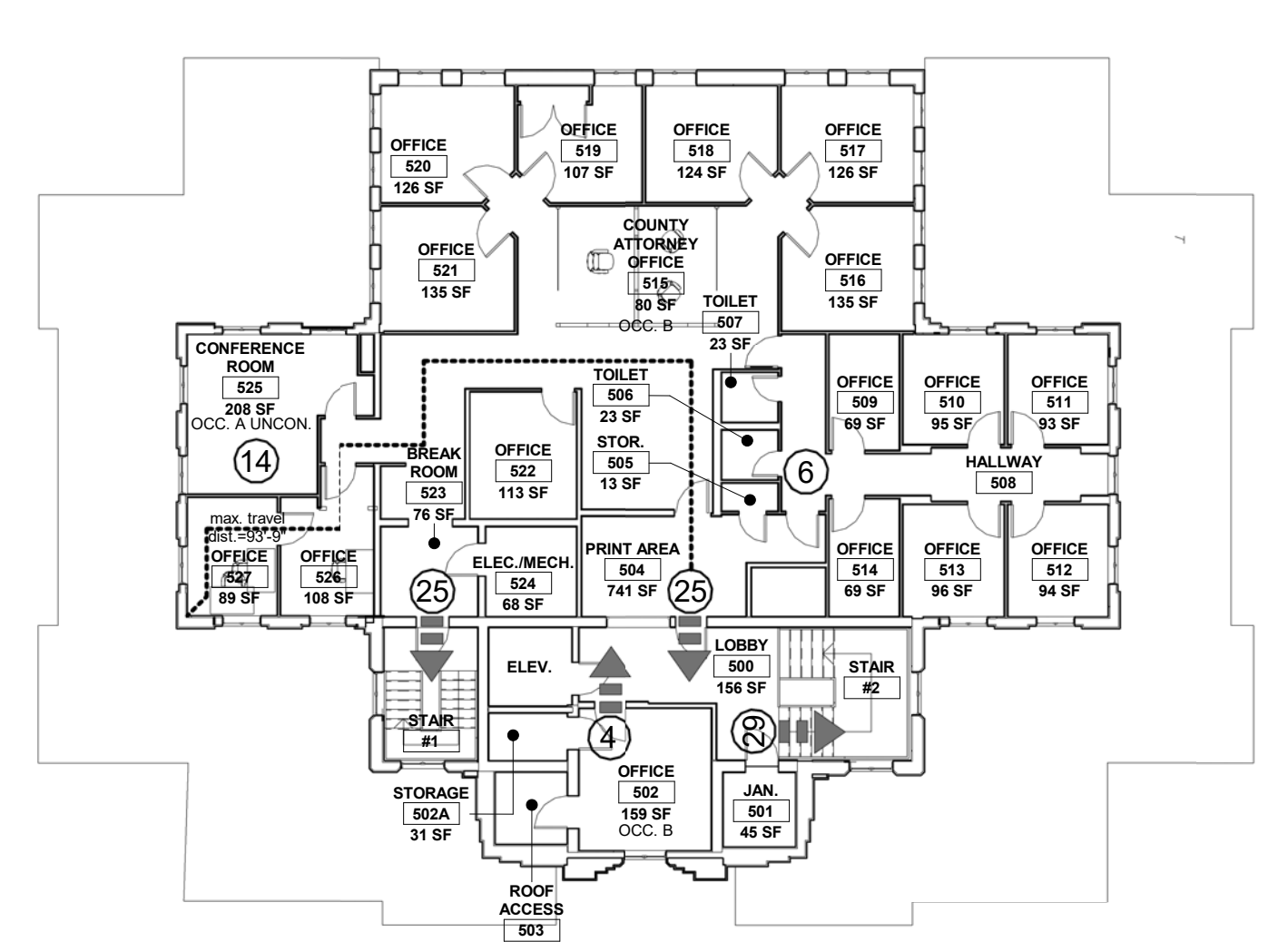
SPACE	LOAD FACTOR	SF	OCC.
300 HEARING ROOM	15	1798	120
308 EX. CONF. ROOM	15	194	13
309 FACE TO FACE RM	15	42	3
312 BREAK ROOM	15	194	13
314 EX. CONF. ROOM	15	419	28
302 OFFICE AREA	100	611	7
307 OFFICE			1
308 OFFICE			1
310 OFFICE			1
315 RECEPTION			1
318 OFFICE AREA			11
318 OFFICE			1
TOTAL			201

TWO STAIRS = 201/2 = 100.5 OCCUPANTS PER STAIR



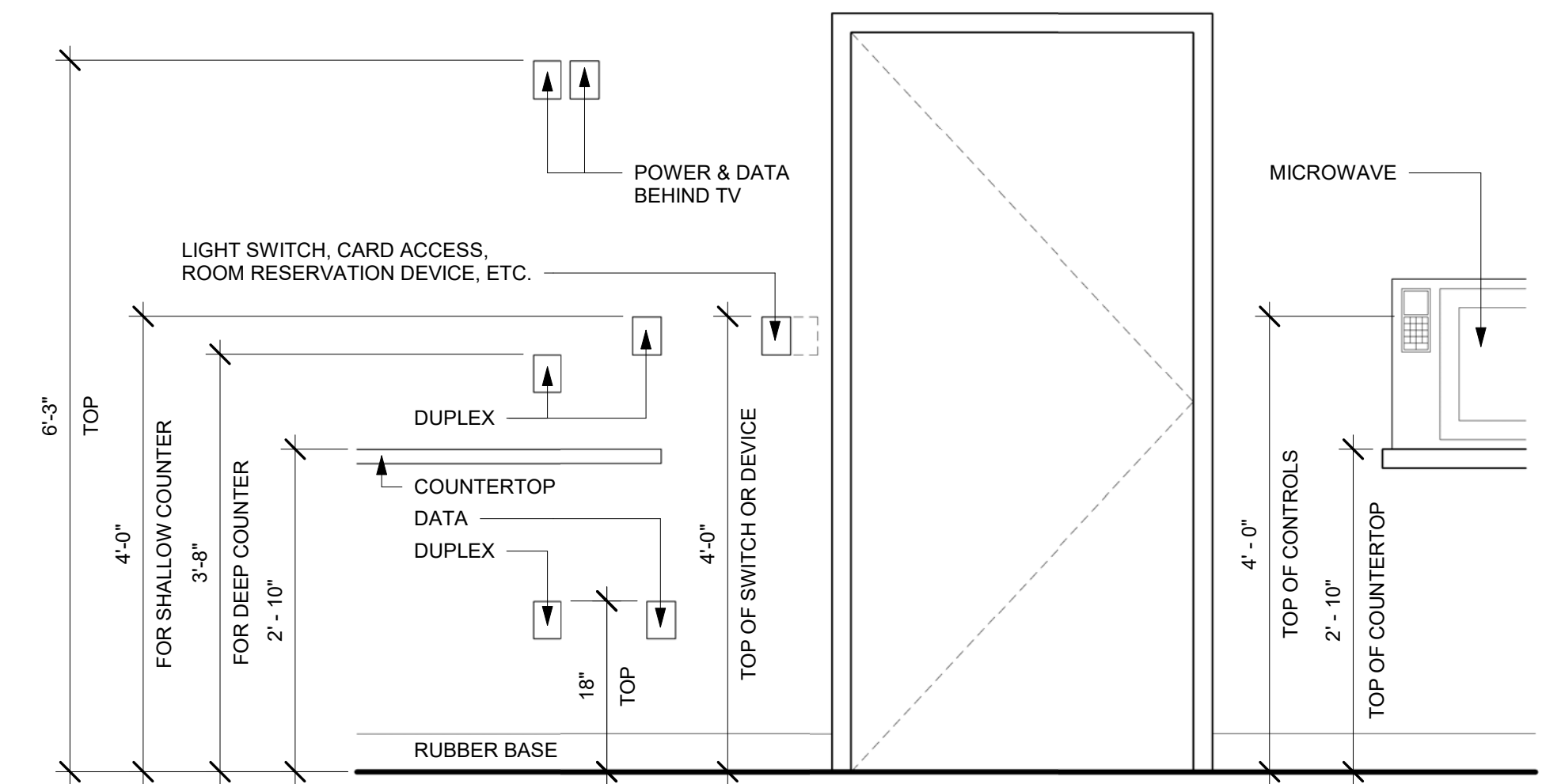
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A002

COURTHOUSE
EMERGENCY EGRESS
PLAN - FOURTH FLOOR
1/16" = 1'-0"

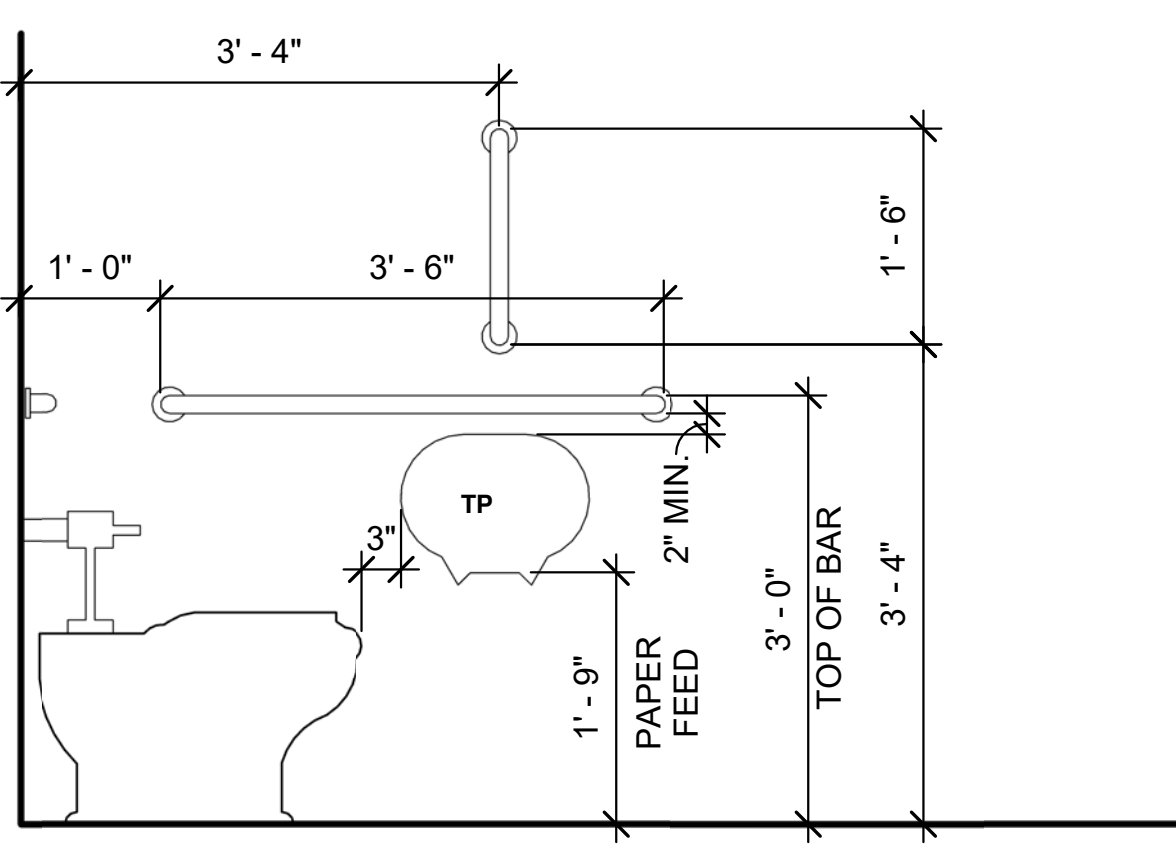


2
A002

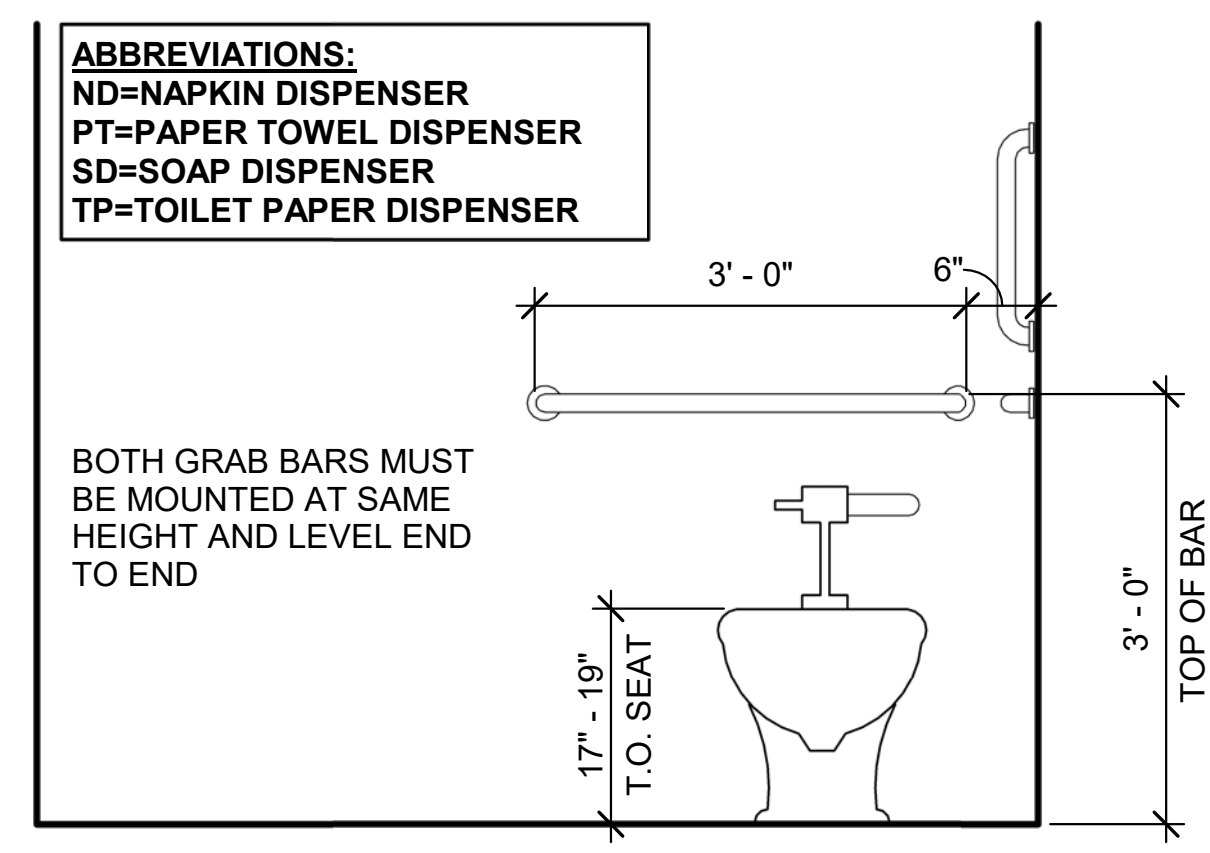
COURTHOUSE
EMERGENCY EGRESS
PLAN - FIFTH FLOOR
1/16" = 1'-0"



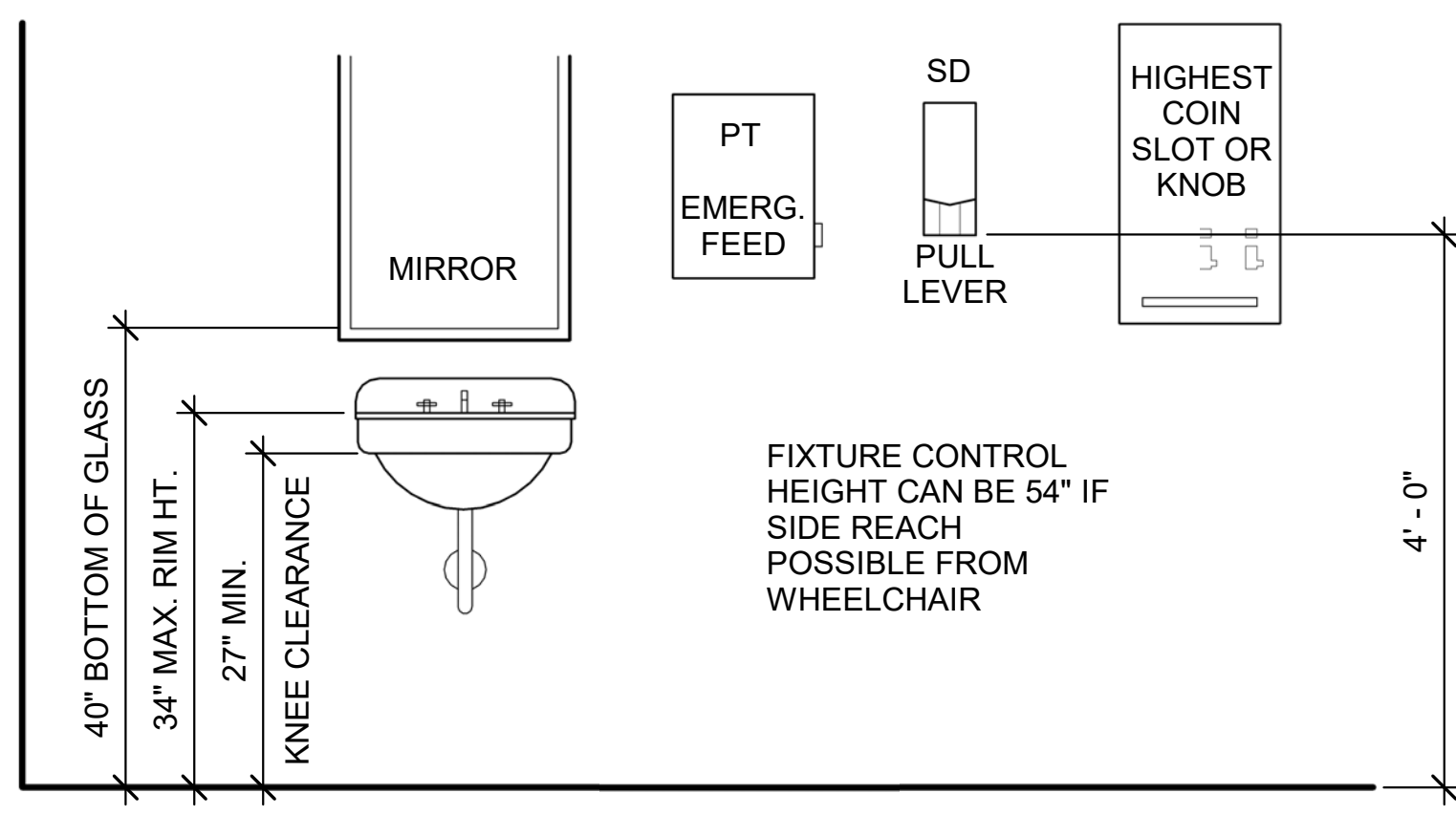
TYP. SWITCH & OUTLET HEIGHTS



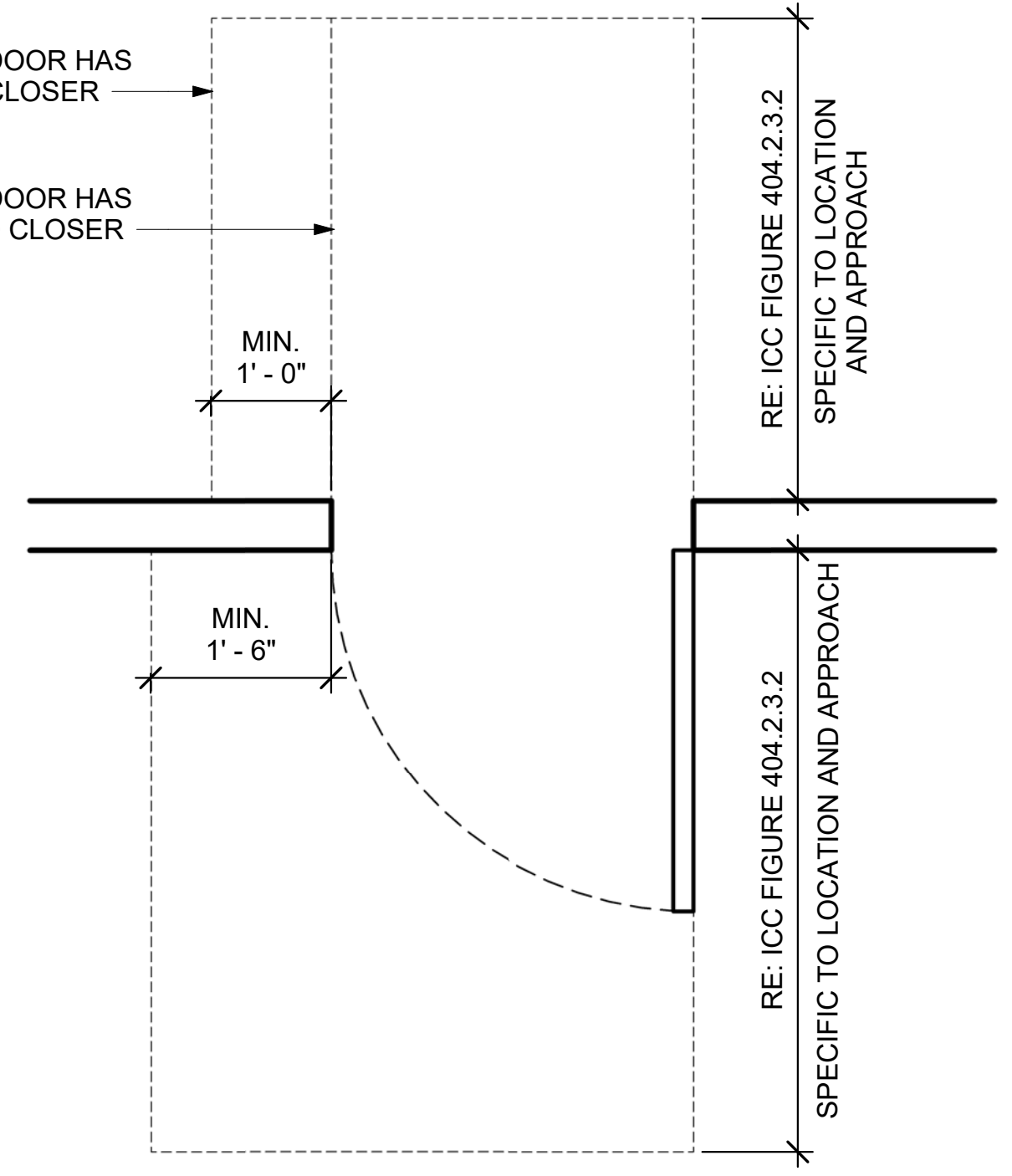
TOILET SIDE ELEVATION



TOILET FRONT ELEVATION



LAV, MIRROR & ACCESSORIES



DOOR CLEARANCES

ABBREVIATIONS:
ND=NAPKIN DISPENSER
PT=PAPER TOWEL DISPENSER
SD=SOAP DISPENSER
TP=TOILET PAPER DISPENSER

BOTH GRAB BARS MUST BE MOUNTED AT SAME HEIGHT AND LEVEL END TO END

FIXTURE CONTROL HEIGHT CAN BE 54" IF SIDE REACH POSSIBLE FROM WHEELCHAIR

1
A002

ADA MOUNTING HEIGHTS AND CLEARANCES
3/4" = 1'-0"

BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

SHEET
CODE AND EGRESS SHEET

FILE NAME
G:\ASSET MANAGEMENT\1009-
Courthouse\PROJECTS\101420-BOCC
HEARING ROOM &
SECURITY SCREENING\SYTCRT
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-20.rvt

ACCT 100103
DATE: 12/29/20
DRAWN BY: MS
CHECKED BY: JB

REVISIONS

SHEET
A002

Commercial Prescriptive Measures Checklist

Applies to: New Buildings and Additions with a construction valuation of < \$500,000 and Level 1 & 2 Alterations

Project Address: 1325 Pearl Street



2020 City of Boulder Energy Conservation Code

Date:

DIRECTIONS: Compliance with these measures is required if the project uses the Prescriptive Compliance Path. Please complete this checklist and include it on an "Energy Conservation Code" sheet within the plans being submitted for permit application. Projects complying prescriptively also must meet Mandatory Measures and should include the Mandatory Measures Checklist as well.

Code Section	Focus Area	Code Description	Plan Drawing or Reference # to demonstrate compliance (N/A if not applicable)	Submitter Notes (e.g. "N/A" Please explain why requirement does not apply or is not demonstrated on plans/spec)	Plans Examiner Notes (in office use)		
BUILDING ENVELOPE							
TABLE C401.1	Roof	Insulation entirely above deck	All Other: Min R-31 continuous Group R (Mixed Use): Min R-31 continuous	N/A	No changes to exterior		
		Metal buildings (w/RS thermal breaks)	Min R-19 - R-11 linear system Min R-19 - R-11 linear system				
		Attic and other	Min R-53	Min R-53			
		Mass	Min R-11.3 continuous	Min R-11.3 continuous	N/A	No changes to exterior	
		Metal building	Min R-11 - R-10.5 continuous	Min R-11 - R-10.5 continuous			
		Metal framing	Min R-11 - R-11 continuous	Min R-11 - R-11 continuous			
	Walls, Above Grade	Wood framed and other	Min R-13 - R-8 continuous or R-19 - R5 continuous	Min R-13 - R-8 continuous or R-19 - R5 continuous			
		Walls, Below Grade	Below grade wall	Min R-25 continuous	Min R-25 continuous	N/A	No changes to exterior
		Floors	Mass	Min R-15 continuous	Min R-17 continuous	N/A	No new floors
			Joist/framing	Min R-30	Min R-30		
		Slab-on-Grade Floors	Unheated slabs	Min R-15 for 24" below	Min R-15 for 24" below	N/A	No new floors
			Heated slabs	Min R-20 for 48" below	Min R-20 for 48" below		
Opaque Doors	Swinging	Max U-0.37	Max U-0.37	N/A	No new exterior doors		
	Roll-up or sliding	Min R-4.75	Min R-4.75				
C402.2.1	radiant heating	Radiant Panels, associated U-benets, and headers	Min R-1.5	N/A	No radiant heating		

Code Section	Focus Area	Code Description	Plan Drawing or Reference # to demonstrate compliance (N/A if not applicable)	Submitter Notes (e.g. "N/A" Please explain why requirement does not apply or is not demonstrated on plans/spec)	Plans Examiner Notes (in office use)	
C402.4.1	Vertical Fenestration	Area	Not to exceed 30% gross above-grade wall area	N/A	No new fenestrations	
C402.4		U-factor	Fixed	Max U-0.36		
			Operable	Max U-0.45		
			Entrance doors >50% glass area	Max U-0.63		
			SHGC	Max V 0.51-0.63 / SHW 0.38-0.61		
C402.4	Skylights	U-factor	Max U-0.50	N/A	No new skylights	
		SHGC	Max 0.40			
		Area	Not to exceed 3% gross floor area			
		Curb insulation	Skylight curbs shall be insulated to the level of roofs with insulation entirely above deck or R-5, whichever is less.			
C402.4.2	Minimum Skylight Fenestration	For enclosed spaces greater than 2,500 square feet, directly under a roof with ceiling heights greater than 15 feet, plan submitter must include supporting documentation showing the total daylight zone under skylights shall be not less than half the floor area and shall provide a minimum daylightness to daylight zone under skylights of either: 1. Not less than 3 percent with a skylight Vt of at least 0.40; or 2. Provide a minimum skylight effective aperture of at least 1 percent or 3. Provide exception documentation.	N/A	No new skylights		
C402.4.2	Maze factor	Skylights in office, storage, automotive service, manufacturing, non- refrigerated warehouse, retail store and distribution/whoring area spaces shall have a glazing material or diffuse with a haze factor greater than 90 percent when tested in accordance with ASTM D1003.	N/A	No new skylights		
C402.5.3	Rooms containing fuel-burning appliances	Where combustion air is supplied through openings in an exterior wall to a room or space containing a space-conditioning fuel-burning appliance, one of the following shall apply: 1. The room or space containing the appliance shall be located outside of the building thermal envelope. 2. The room or space containing the appliance shall be enclosed and isolated from conditioned spaces inside the building thermal envelope.	N/A	No changes to fuel-burning appliances and no new fuel-burning appliances		

Commercial Mandatory Measures Checklist

Applies to: All New Buildings, Additions, Alterations and Repairs which require a permit from the City.



2020 City of Boulder Energy Conservation Code

Project Address: 1325 Pearl Street

Date: 12/29/20

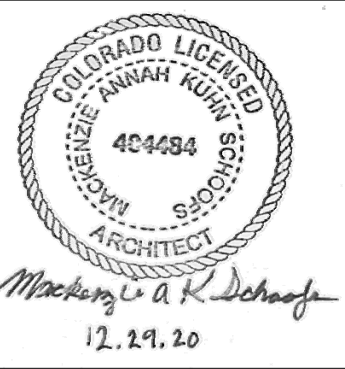
DIRECTIONS: Compliance with these Mandatory Measures is required whether the project is demonstrating compliance through the Performance or Prescriptive Path. Please complete this checklist and include it on an "Energy Conservation Code" sheet within the plans being submitted for permit application.

Code Section	Focus Area	Code Description	Plan Drawing or Reference # to demonstrate compliance (N/A if not applicable)	Submitter Notes (e.g. "N/A" Please explain why requirement does not apply or is not demonstrated on plans/spec)	Plans Examiner Notes (in office use)
C401.2	Check compliance path applicable	New Construction < \$500,000	<input type="checkbox"/>		Mandatory and Prescriptive Compliance
		New Construction >= \$500,000	<input type="checkbox"/>		Mandatory and Performance Modeling
		Addition > 3,000sf	<input type="checkbox"/>		Mandatory and Performance Modeling
		Addition < 3,000sf	<input type="checkbox"/>		Mandatory and Prescriptive Compliance
		Alteration Level 1	<input type="checkbox"/>		Mandatory and Prescriptive Compliance
ADMINISTRATIVE		Alteration Level 2	<input type="checkbox"/>		Mandatory and Prescriptive Compliance
		Alteration Level 3	<input type="checkbox"/>		Mandatory and Performance Modeling
		Alteration Level 4	<input type="checkbox"/>		Mandatory and Performance Modeling
		C103.2	Construction documents shall clearly indicate the location, nature and extent of the work proposed, and show in detail pertinent data and features of the building, systems and equipment.	1. Insulation materials and their R-values.	N/A
2. Fenestration U-factors and solar heat gain coefficients.	N/A			No new exterior fenestrations	
3. Area-weighted U-factor and solar heat gain coefficient (SHGC) calculations.	N/A			No new exterior fenestrations	
4. Mechanical system energy criteria.	M001-4008				
5. Mechanical and service water heating systems and equipment types, sizes and efficiencies.	M001-4008				
6. Equipment description.	N/A			Only reconfiguration of existing mechanical	
7. Equipment and system controls.	M001-4001				
8. Fan motor horsepower (hp) and controls.	N/A			Only reconfiguration of existing mechanical	
9. Duct sealing, duct and pipe insulation and location.	M001-4003				
10. Lighting fixture schedule with wattage and control narratives.	M003				
11. Location of daylight zones on floor plans.	M003-4501				
12. Air sealing details.	N/A			No new exterior fenestrations	
C103.2.1	Building thermal envelope depiction	The building thermal envelope shall be represented on the construction drawings.	N/A	No changes to exterior	

Code Section	Focus Area	Code Description	Plan Drawing or Reference # to demonstrate compliance (N/A if not applicable)	Submitter Notes (e.g. "N/A" Please explain why requirement does not apply or is not demonstrated on plans/spec)	Plans Examiner Notes (in office use)
C303.1.3	Fenestration and Doors	U-factors of fenestration products shall be determined for windows, doors and skylights. U-factor ratings in accordance with NFRC 100. Drawings shall indicate NFRC labels or certificates must be provided to the building official prior to Certificate of Occupancy in compliance with NFRC 100.	N/A	No new exterior fenestrations	Building Condition: NFRC Label Certificate
BUILDING ENVELOPE					
C402.5.1	Air Barrier	The entire building envelope shall be designed and constructed with a continuous air barrier.	N/A	No changes to exterior	
C402.5.1.1	Air Barrier Design/Construction	The air barrier shall be designed and noted in an approved manner per the specified code - joints, seams, penetrations, and recessed light fixtures sealed.	N/A	No changes to exterior	
C402.5.1.2	Building Test	The completed building shall be tested and the air leakage rate of the building envelope shall not exceed 0.40 cfm/ft ² at a pressure differential of 0.3 inches water gauge (2.0 U.S. + m2 at 75 Pa) in accordance with ASTM E 779 or an equivalent method approved by the code official.	N/A	No changes to exterior	Building Condition: Commercial Air Leakage Testing
C402.5.1.3	Dwelling Unit Air Infiltration	A sampling of dwelling units shall be tested and results shall not exceed 0.25cfm/ft ² . See code for more details.	N/A	No dwelling units	Building Condition: Commercial Air Leakage Testing
C402.5.2	Fenestration	Factory-built fenestration and doors are labeled as meeting air leakage requirements.	N/A	No new exterior fenestrations	
C402.4.6	Air Intakes, Exhaust Openings, Stairways and Shafts	Stairway enclosures, elevator shaft vents and other outdoor air intakes and exhaust openings integral to the building envelope shall be provided with dampers in accordance with Section C402.7.7.	N/A	Only reconfiguration of existing interior mechanical	
C402.5.6	Loading Dock Weather seals	Cargo doors and loading dock doors are equipped with weather seals to restrict infiltration when vehicles are parked in the doorway.	N/A	No loading dock	
C402.5.7	Vestibules	Building entrances shall be protected with an enclosed vestibule, with all doors opening into and out of the vestibule equipped with self-closing devices.	N/A	No changes to exterior	
C402.5.8	Recessed lighting	Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate of not more 2.0 cfm.	N/A	No changes to exterior	



BUILDING SERVICES DIVISION
2020 13TH ST.
BOULDER, CO 80302
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12.29.20

BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302
SHEET
ENERGY CONSERVATION
CODE COMPLIANCE

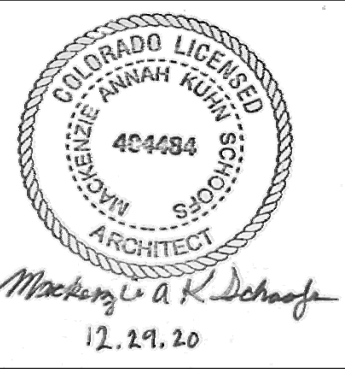
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HEARING ROOM &
SECURITY SCREENING\SYTCRT
3RD FLOOR REMODEL 2020 PERMIT SET
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 2020 13TH ST.
 BOULDER, CO 80302
 P.O. BOX 471 BOULDER, CO 80306
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BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL

LOCATION
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 BOULDER, COLORADO
 80302

SHEET
 BOCC THIRD FLOOR
 DEMOLITION PLAN

FILE NAME
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 HEARING ROOM &
 SECURITY/SERVICES/PLANNING/SVTCRT
 3RD FLOOR REMODEL 2020 PERMIT SET
 12-29-2020.rvt

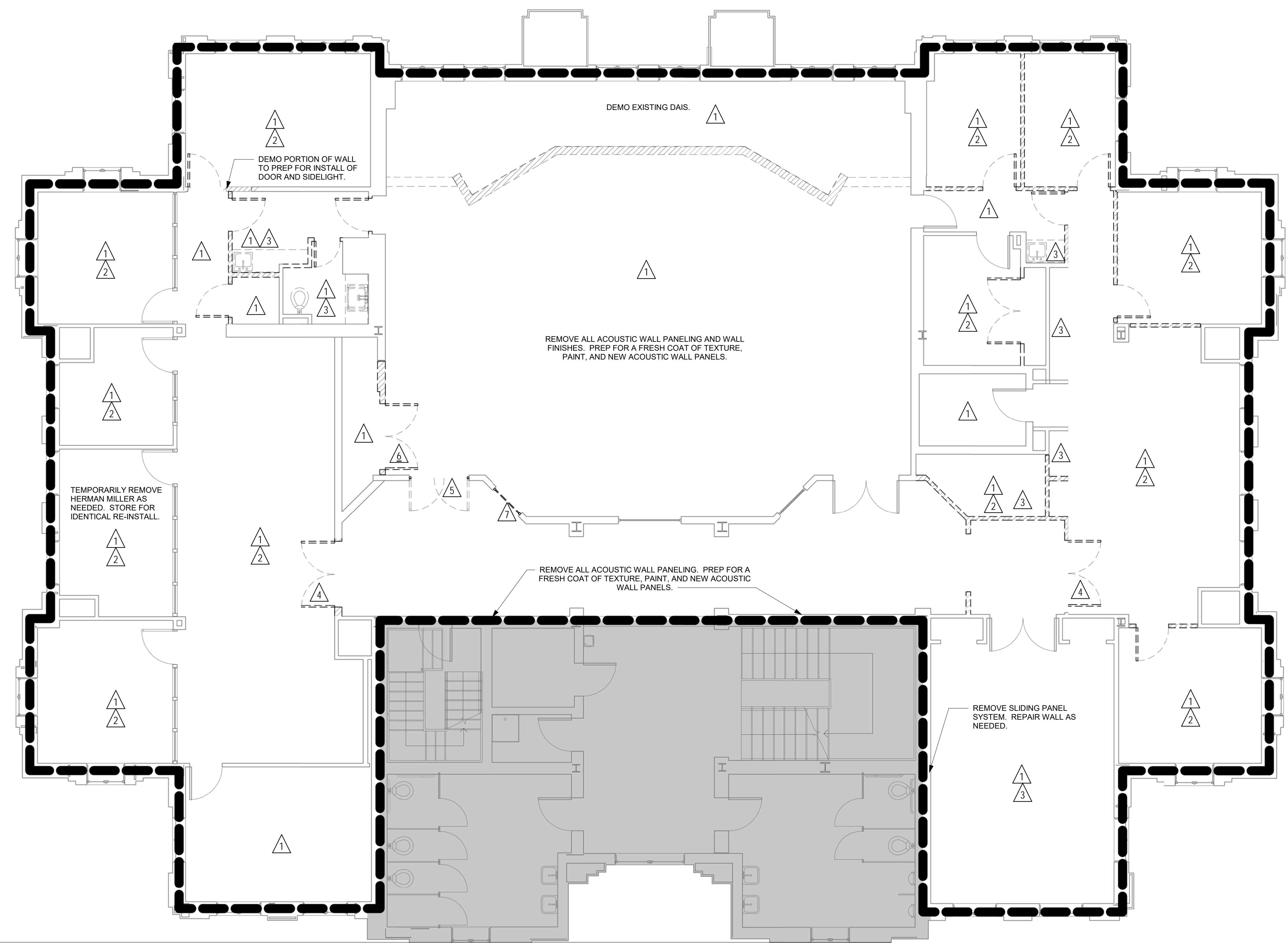
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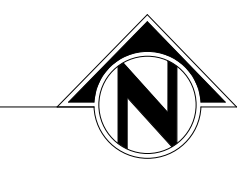
SHEET
 AD101

DEMOLITION LEGEND

- PROJECT BOUNDARY
- EXISTING DOOR AND FRAME TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING DOOR AND FRAME TO BE REMOVED.
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO BE REMOVED.
- AREA NOT IN SCOPE. TO REMAIN AS IS.
- FLOORING & BASE TO BE REMOVED. PREP FOR NEW FLOORING.
- REMOVE EXISTING HERMAN MILLER FURNITURE.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING DOUBLE DOORS. PREP FOR SINGLE DOOR AND SIDELIGHT.
- REMOVE DOUBLE DOOR. PREP FOR INFILLING OPENING.
- REMOVE DOUBLE DOOR.
- REMOVE GLAZING AND METAL DETAILING. PREP OPENING FOR NEW DOOR. SAVE METAL DETAILING FOR INSTALL ON NEW DOOR.

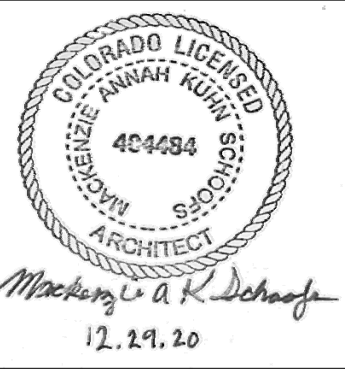


**BOCC THIRD FLOOR
 DEMOLITION PLAN**
 1
 AD101 3/16" = 1'-0"





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BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL

LOCATION
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 BOULDER, COLORADO
 80302

SHEET
 BOCC THIRD FLOOR
 DEMOLITION REFLECTED
 CEILING PLAN

FILE NAME
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 Courthouse\PROJECTS\101420 - BOCC
 HEARING ROOM &
 SECURITY/ISSUE DRAWINGS\RYTCRT
 3RD FLOOR REMODEL 2020 PERMIT SET
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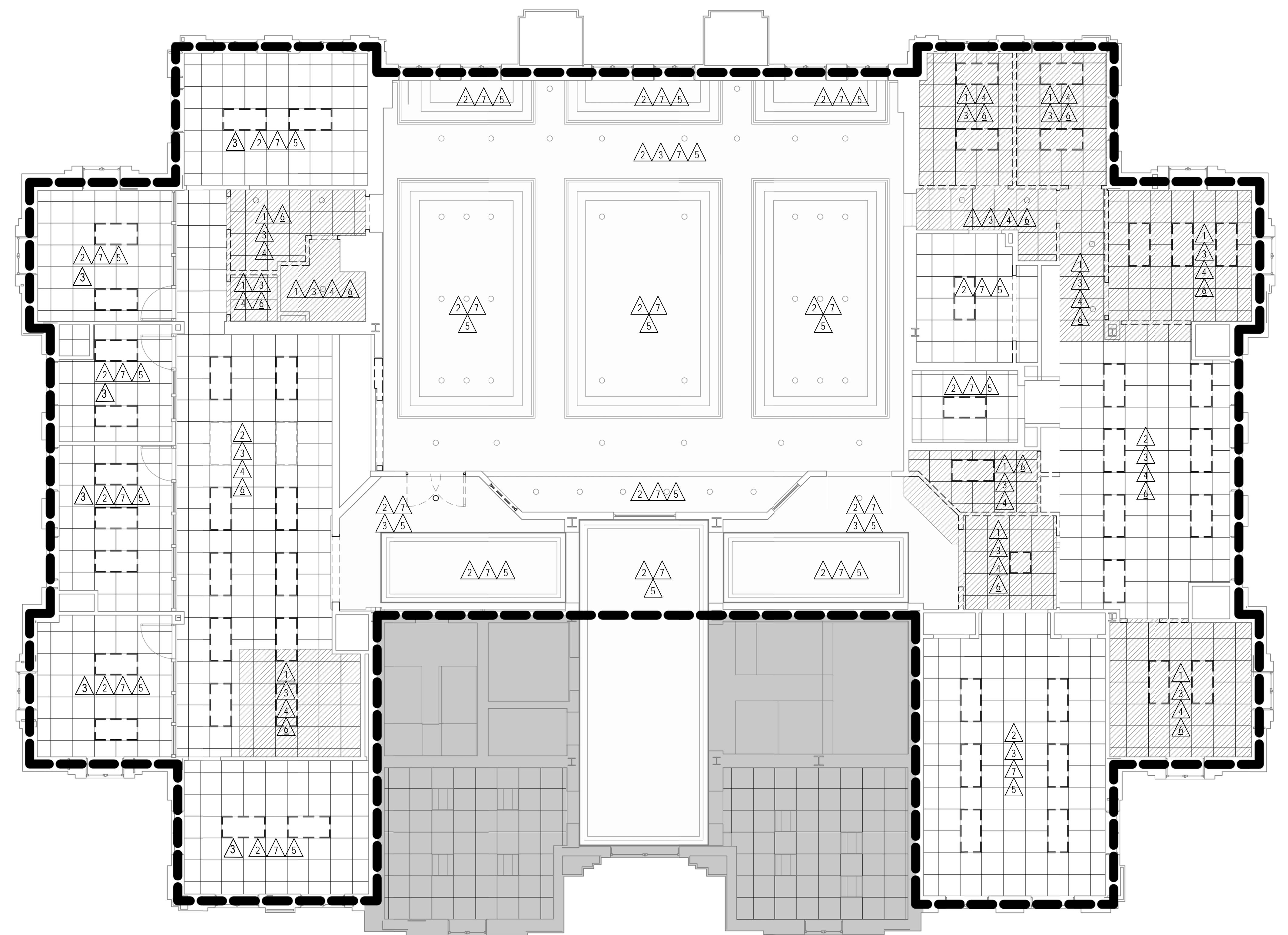
REVISIONS

SHEET
 AD102

DEMOLITION LEGEND

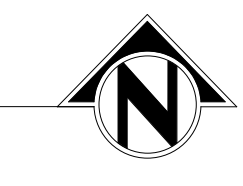
- PROJECT BOUNDARY
- EXISTING CEILING TO BE REMOVED.
- EXISTING CEILING TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO BE REMOVED.
- EXISTING LIGHT TO BE REMOVED.
- EXISTING LIGHT TO REMAIN.
- EXISTING CAN LIGHT TO REMAIN.
- AREA NOT IN SCOPE. TO REMAIN AS IS.
- EXISTING CEILING TO BE REMOVED.
- EXISTING CEILING TO REMAIN. PROTECT DURING CONSTRUCTION. CLEAN GRID. REPLACE DAMAGED/STAINED TILES.
- RECONFIGURE EXISTING MECHANICAL. RE:MECHANICAL
- EXISTING LIGHTING TO BE REMOVED, RECONFIGURED, AND UPDATED TO NEW STANDARD 2X2. RE:ELECTRICAL
- EXISTING SPRINKLER LAYOUT TO REMAIN AS IS.
- EXISTING SPRINKLER LAYOUT TO BE RECONFIGURED. RE:FIRE PROTECTION
- EXISTING LIGHTING TO BE REPLACED WITH NEW LED STANDARD FIXTURE. RE: ELECTRICAL

NOTE: SEE MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING FOR ALL LIGHTING, MECHANICAL, AND PLUMBING.



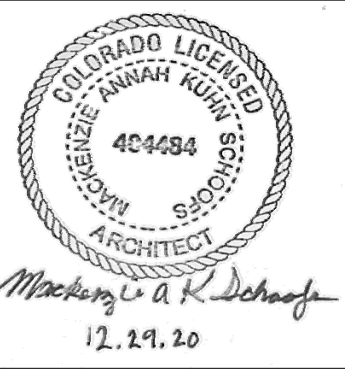
1
 AD102 3/16" = 1'-0"

**BOCC THIRD FLOOR
 DEMOLITION REFLECTED CEILING PLAN**





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PROJECT
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LOCATION
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 SHEET
 BOCC THIRD FLOOR
 REMODEL PLAN

FILE NAME
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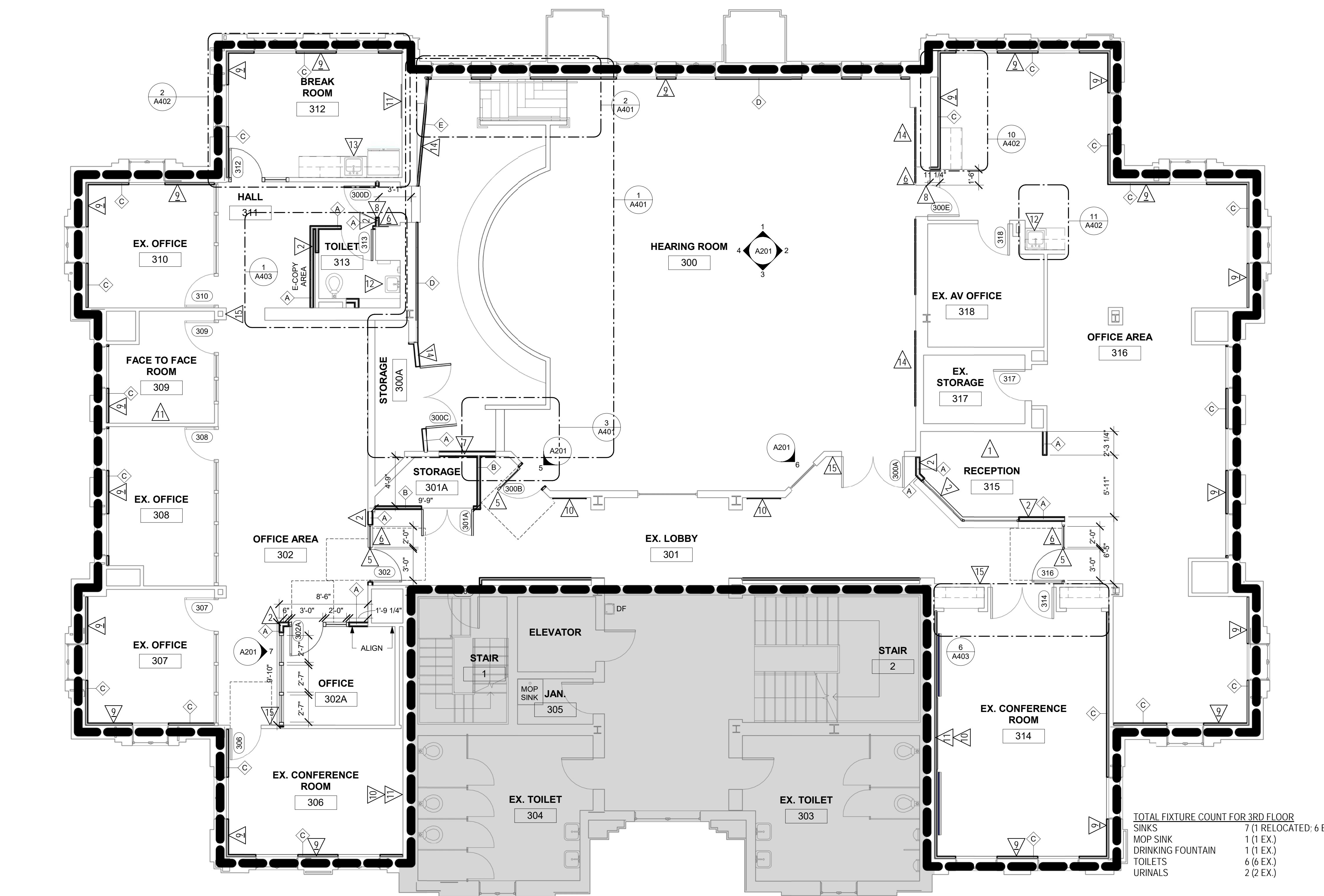
REVISIONS

SHEET
A101

REMODEL LEGEND

- PROJECT BOUNDARY
- NEW DOOR
- NEW WALL
- EXISTING WALL TO REMAIN.
- AREA NOT IN SCOPE. TO REMAIN AS IS.
- NEW RECEPTION DESK. SEE PERMIT BLD-NRE2020-00029
- INSULATE WALL FOR SOUND SEPARATION.
- FIRE RATED ASSEMBLY. RE:3/A501
- FIRE RATED ASSEMBLY. RE:3/A501
- NEW EXIT DOOR WITH PANIC HARDWARE.
- NEW CARD ACCESS.
- FILL IN AND INSULATE DOOR OPENING FOR SOUND SEPARATION.
- INSTALL SOUND SEAL ON DOOR.
- FURR OUT AND INSULATE EXTERIOR WALL.
- FLAT SCREEN TV'S FOR OVERFLOW SEATING, LINKED TO HEARING ROOM 300
- FLAT SCREEN TV WITH AV FOR VIRTUAL MEETINGS, LINKED TO HEARING ROOM 300
- REPLACED SINK.
- NEW SINK.
- TV'S FOR HEARING ROOM PRESENTATIONS
- ROOM SCHEDULER

NOTE: SEE A501 FOR WALL TYPES.



TOTAL FIXTURE COUNT FOR 3RD FLOOR

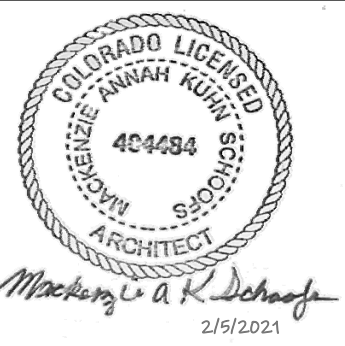
SINKS	7 (1 RELOCATED; 6 EX.)
MOP SINK	1 (1 EX.)
DRINKING FOUNTAIN	1 (1 EX.)
TOILETS	6 (6 EX.)
URINALS	2 (2 EX.)

1
 BOCC THIRD FLOOR
 REMODEL PLAN
 3/16" = 1'-0"

A101



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 BOULDER, CO 80302
 P.O. BOX 471 BOULDER, CO 80306
 PHONE: 303.441.3187
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BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL

LOCATION
 1325 PEARL STREET
 BOULDER, COLORADO
 80302

SHEET
 BOCC THIRD FLOOR
 REMODEL REFLECTED
 CEILING PLAN

FILE NAME
 C:\Users\mschoofs\Documents\BOCC 3RD
 FLOOR REMODEL 2020 PERMIT SET
 2021.rvt

ACCT 100103
 DATE: 12/29/20
 DRAWN BY: MS
 CHECKED BY: JB

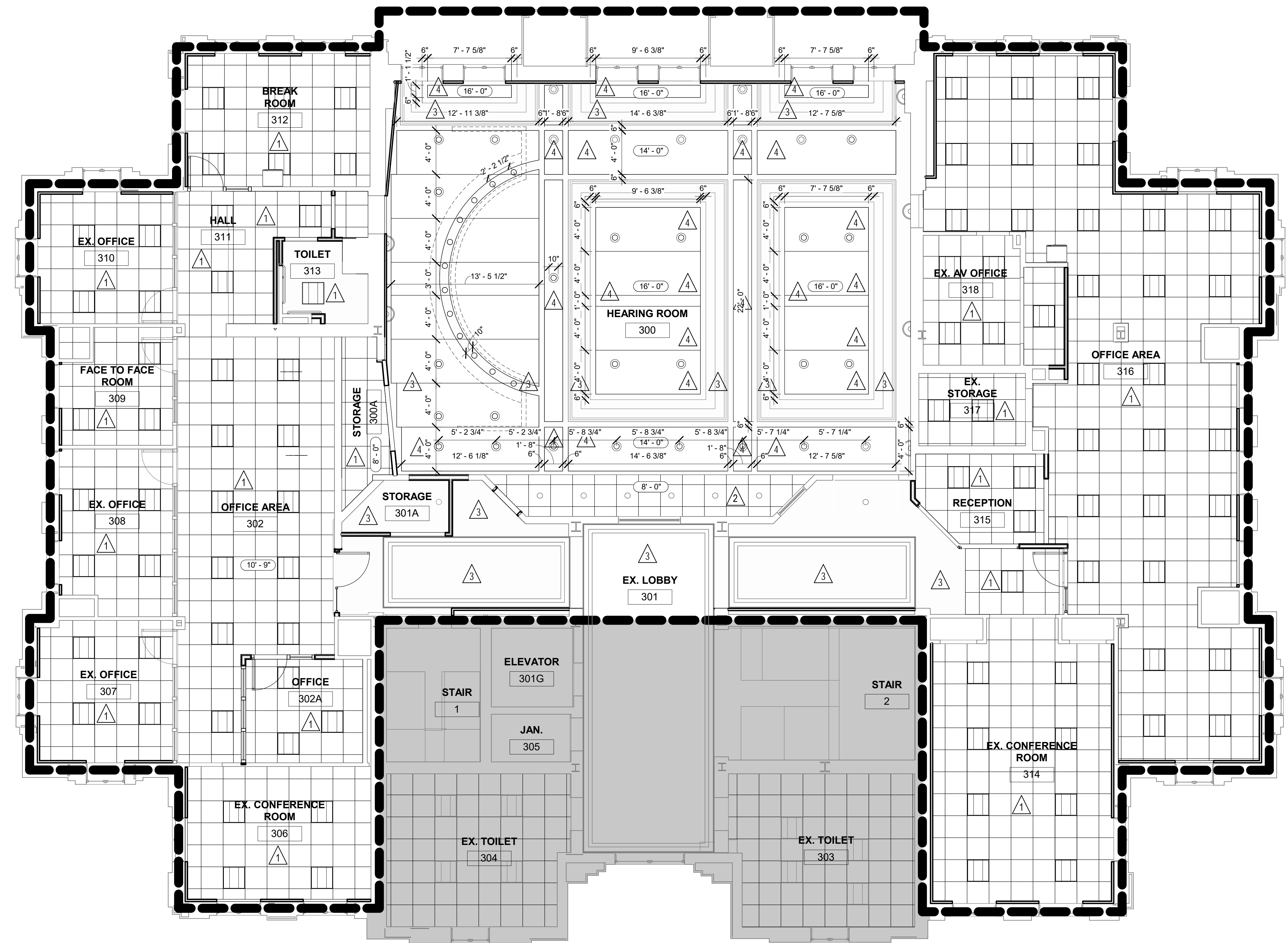
REVISIONS

SHEET
A102

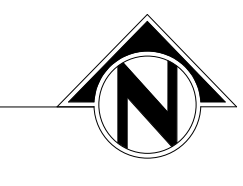
REMODEL RCP LEGEND

- PROJECT BOUNDARY
- NEW 2X2 LIGHT
- NEW CAN LIGHT
- EXISTING 2X2 LIGHT
- EXISTING CAN LIGHT
- NEW SCONCE LIGHT
- AREA NOT IN SCOPE. TO REMAIN AS IS.
- NEW SUSPENDED ACOUSTIC CEILING TILES
- EXISTING SUSPENDED ACOUSTIC CEILING TILES TO REMAIN. CLEAN GRID AND REPLACE ANY TILES THAT ARE STAINED OR DAMAGED.
- EXISTING PLASTER CEILING. TOUCH UP AS NEEDED.
- NEW DESIGNTEX "GAMUT" 3468-801 ACOUSTIC PANELS, ATTACHED TO EXISTING, TOUCHED-UP PLASTER CEILING.

NOTE: SEE MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING FOR ALL LIGHTING, MECHANICAL, AND PLUMBING.

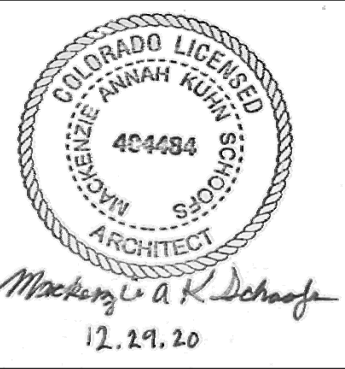


1 BOCC THIRD FLOOR REFLECTED CEILING PLAN
 A102 3/16" = 1'-0"





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 DIVISION
 2020 13TH ST.
 BOULDER, CO 80302
 P.O. BOX 471 BOULDER, CO
 80306
 PHONE: 303.441.3187
 mschoofs@bouldercounty.org



BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL
 LOCATION
 1325 PEARL STREET
 BOULDER, COLORADO
 80302
 SHEET
 BOCC THIRD FLOOR
 REMODEL FINISH PLAN

FILE NAME
 G:\ASSET MANAGEMENT\1009-
 Courthouse\PROJECTS\101420 - BOCC
 HEARING ROOM &
 SECURITY/SECURITY DRAWINGS\RYTCRT
 3RD FLOOR REMODEL 2020 PERMIT SET
 12-29-2024
 ACCT 100103
 DATE: 12/29/20
 DRAWN BY: MS
 CHECKED BY: JB

REVISIONS

SHEET
A103

REMODEL RCP LEGEND

- PROJECT BOUNDARY
- NEW PLANK STYLE CARPET
- NEW VINYL ENHANCED TILE
- AREA NOT IN SCOPE. TO REMAIN AS IS.
- NEW CARPET. TYPE A.
- NEW CARPET. TYPE B.
- NEW VINYL ENHANCED TILE.
- EXISTING FLOORING TO REMAIN. PROTECT DURING CONSTRUCTION.

SELECTED FINISHES

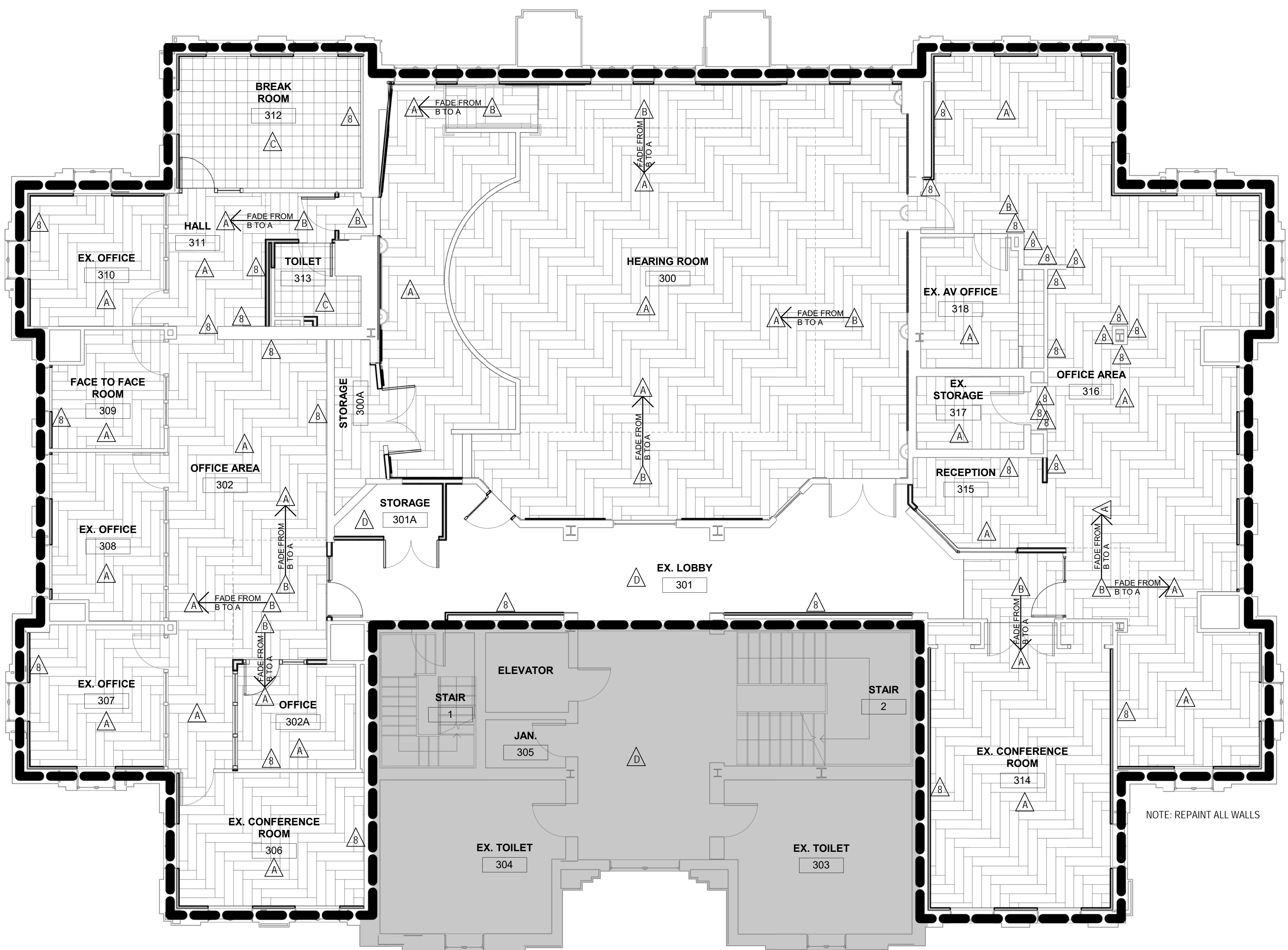
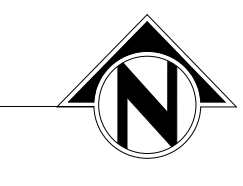
- CARPET TYPE A:**
 MOHAWK
 EXPEDITION COLLECTION
 SEISMIC WAVE 12INX36IN
 739 GLACIER
 HERRINGBONE INSTALLATION
 FADE AT DOORWAYS TO:
 DIGITAL TERRAIN 12INX36IN
 739 GLACIER
 HERRINGBONE INSTALLATION
- CARPET TYPE B:**
 MOHAWK
 EXPEDITION COLLECTION
 DIGITAL TERRAIN 12INX36IN
 739 GLACIER
 HERRINGBONE INSTALLATION
- VINYL ENHANCED TILE**
 JOHNSONITE TARKETT
 AZTERRA COLLECTION
 BLACK EARTH 12INX12IN
 AT114
 QUARTER TURN INSTALLATION
- RUBBER BASE**
 JOHNSONITE TARKETT
 40 BLACK B 4IN

PAIN T COLORS

- PAINT "LIGHT MOVES" SW 1053
- PAINT "KEY WEST ZENITH" DV 0646
- PAINT "DANCING IN THE RAIN" DV 0644
- PAINT "CAULIFLOWER CREAM" DV 0880
- PAINT "DOWAGER" DV 0442
- PAINT "FAIR MAIDEN" DV 0456
- PAINT "FUNCTIONAL GREY" SW 7024
- PAINT "SMOKE"
- PAINT "3A LATTE" DV 0175
- PAINT "DUSTY PATH" DV 0191
- PAINT "EMPERORS ROBE" DV 0074

NOTE: ANY WALL NOT TAGGED WITH A SPECIFIC ACCENT COLOR WILL BE PAINTED "LIGHT MOVES" SW 1053

NOTE: REPAINT ALL WALLS



1
 A103

**BOCC THIRD FLOOR
 FINISH PLAN**
 3/16" = 1'-0"



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 BOULDER, CO 80302
 P.O. BOX 471 BOULDER, CO 80306
 PHONE: 303.441.3187
 mschoofs@bouldercounty.org



BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL

LOCATION
 1325 PEARL STREET
 BOULDER, COLORADO
 80302

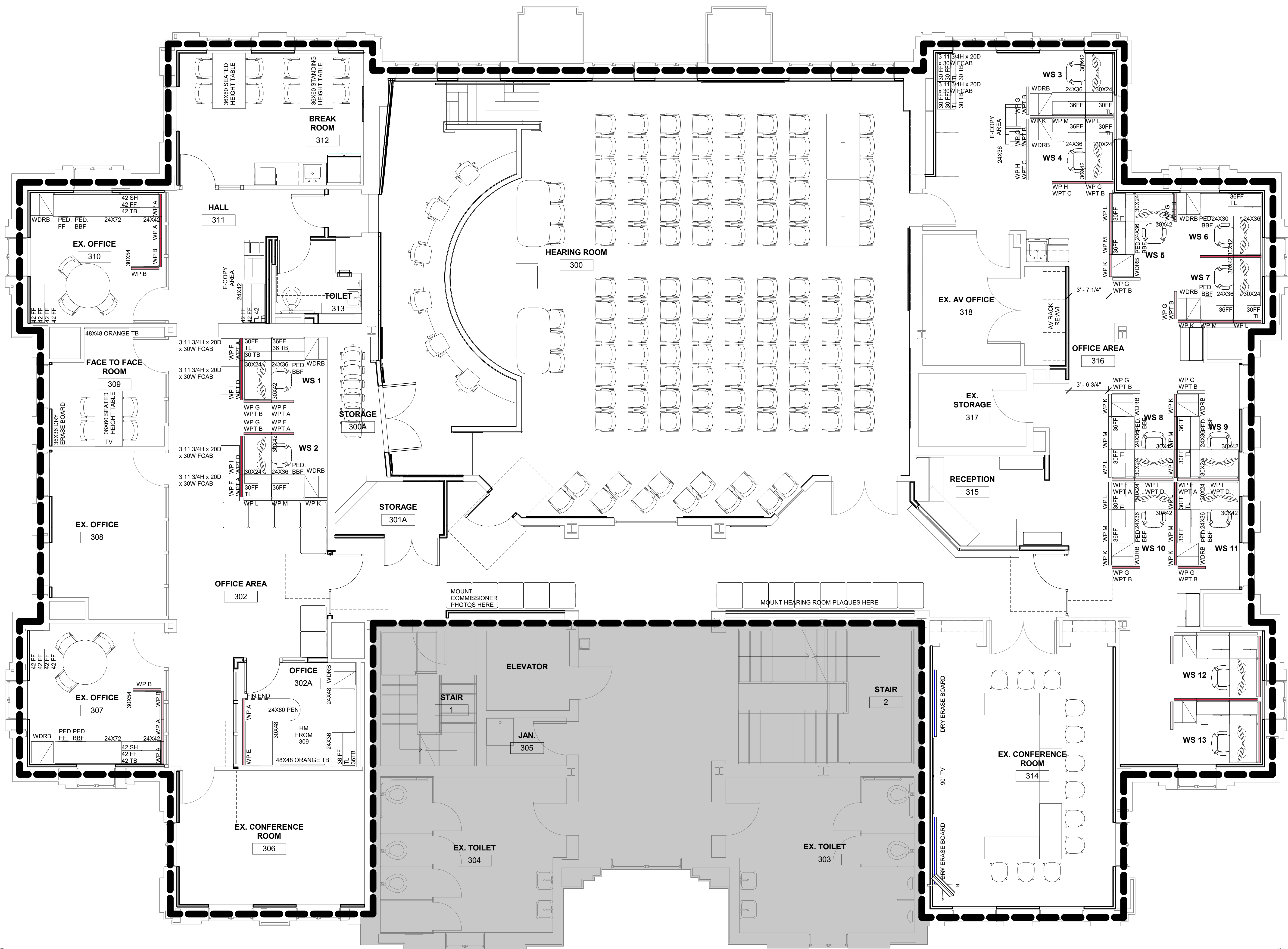
SHEET
 SYSTEMS FURNITURE PLAN -
 SECOND FLOOR

FILE NAME
 C:\Users\mschoofs\Documents\3RD FLOOR REMODEL 2020 PERMIT SET 2021.rvt

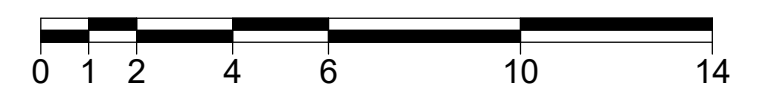
ACCT 100103
 DATE: 12/29/20
 DRAWN BY: MS
 CHECKED BY: JB

REVISIONS

SHEET
A104



1 BOCC THIRD FLOOR REMODEL FURNITURE PLAN
 A104 1/4" = 1'-0"





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BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC REMODEL

LOCATION
 1325 PEARL STREET
 BOULDER, COLORADO
 80302

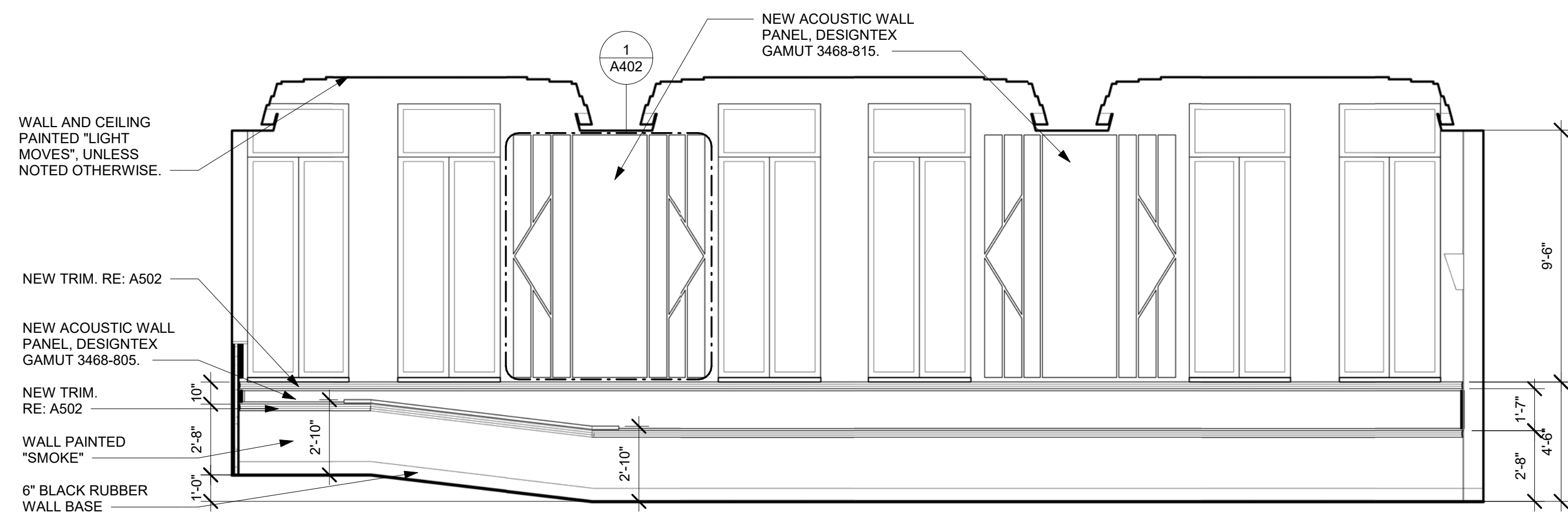
SHEET
 INTERIOR ELEVATIONS

FILE NAME
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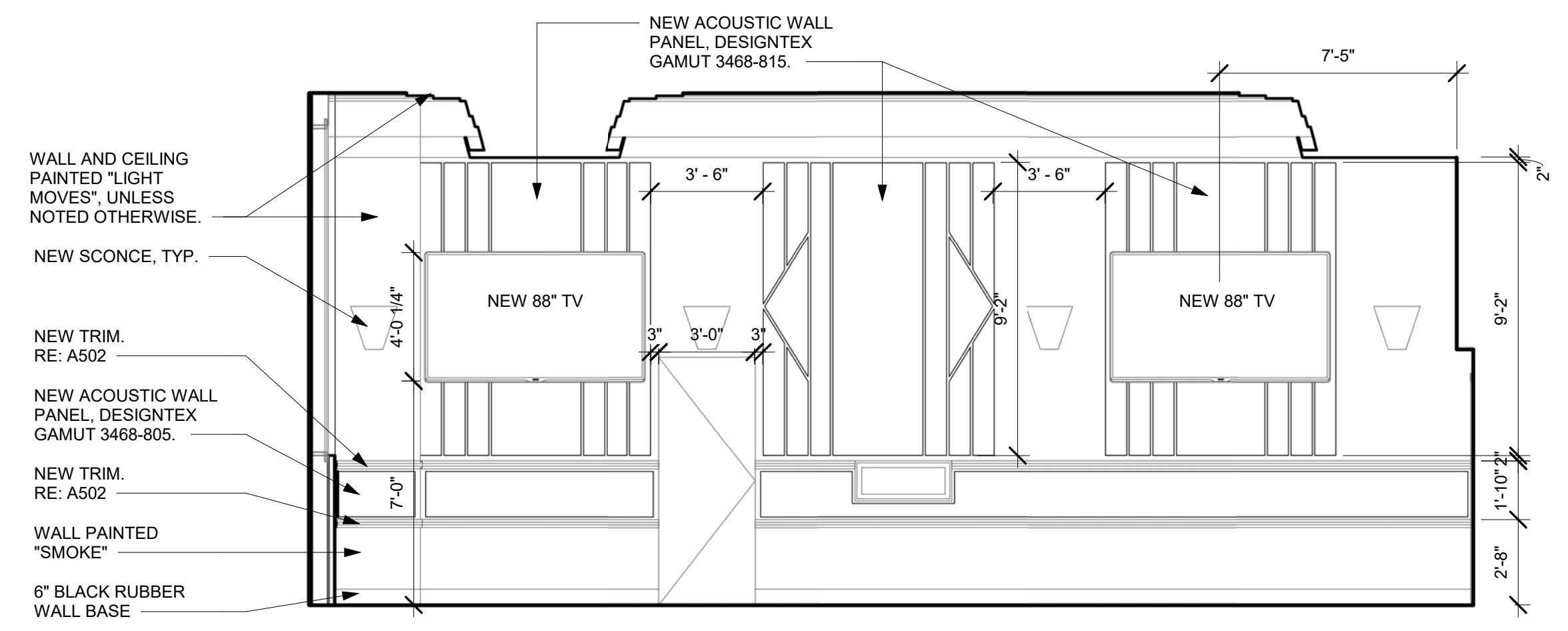
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 DATE: 12/29/20
 DRAWN BY: Author
 CHECKED BY: Checker

REVISIONS

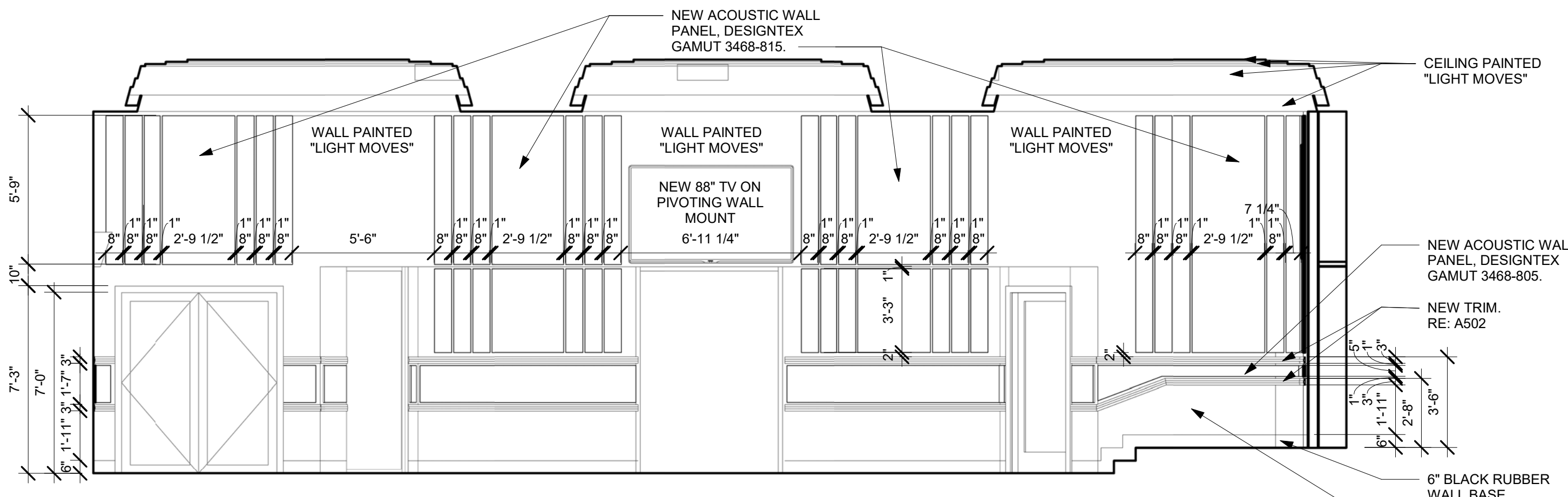
SHEET
A201



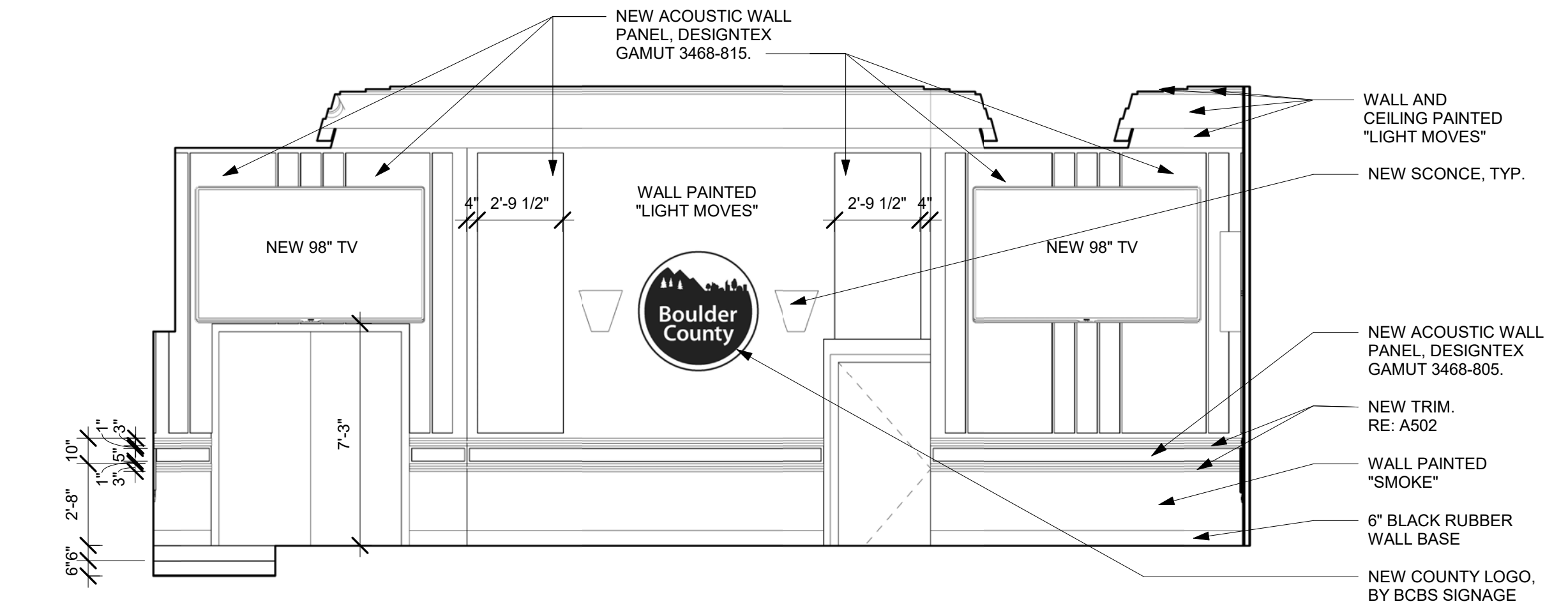
1
A201
BOCC THIRD FLOOR REMODEL HEARING ROOM
NORTH ELEVATION
 1/4" = 1'-0"



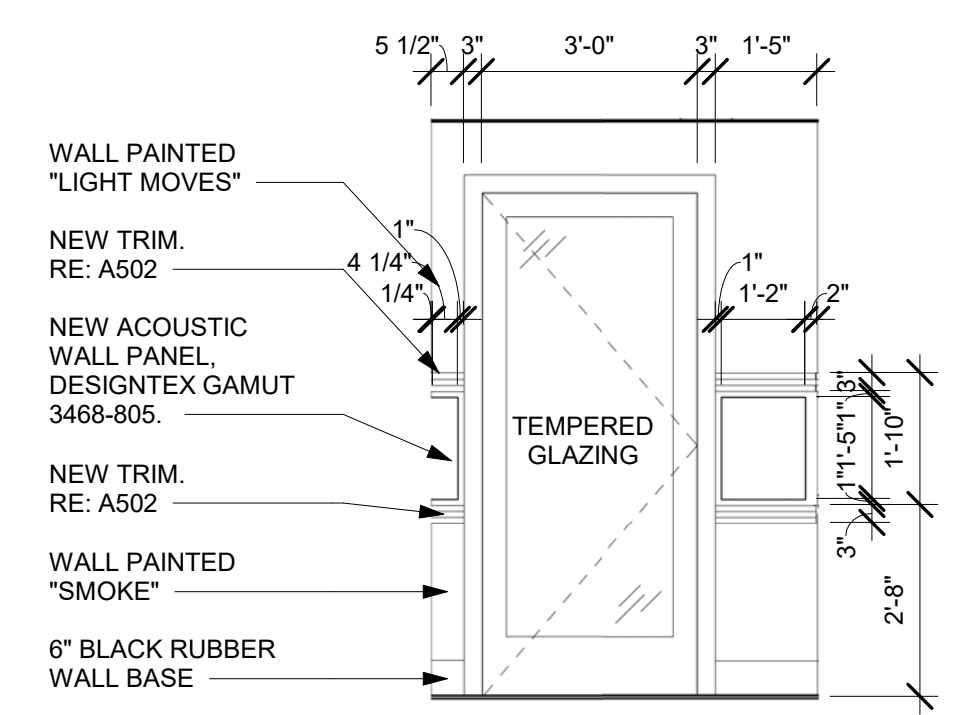
2
A201
BOCC THIRD FLOOR REMODEL HEARING ROOM
EAST ELEVATION
 1/4" = 1'-0"



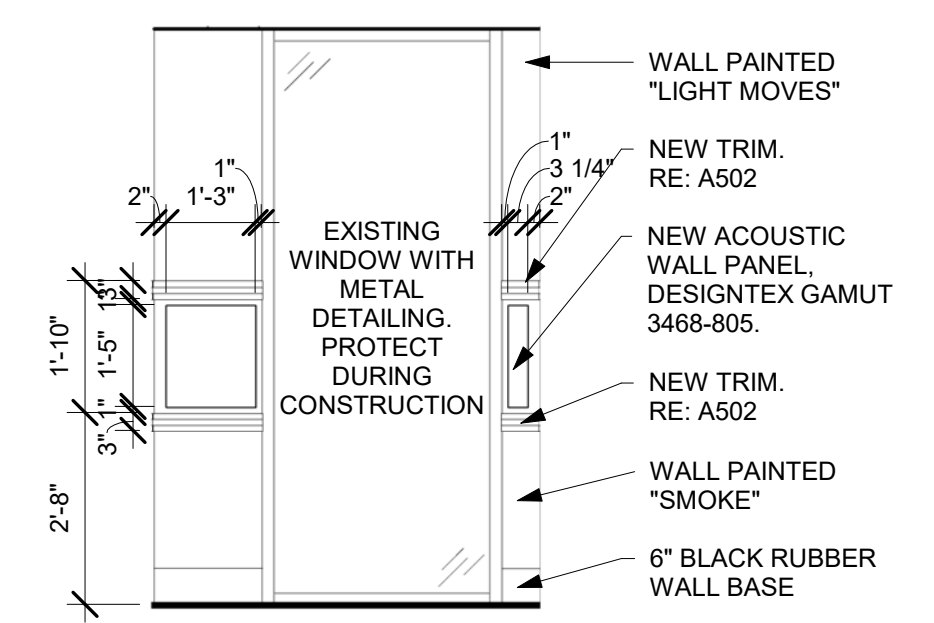
3
A201
BOCC THIRD FLOOR REMODEL HEARING ROOM
SOUTH ELEVATION
 1/4" = 1'-0"



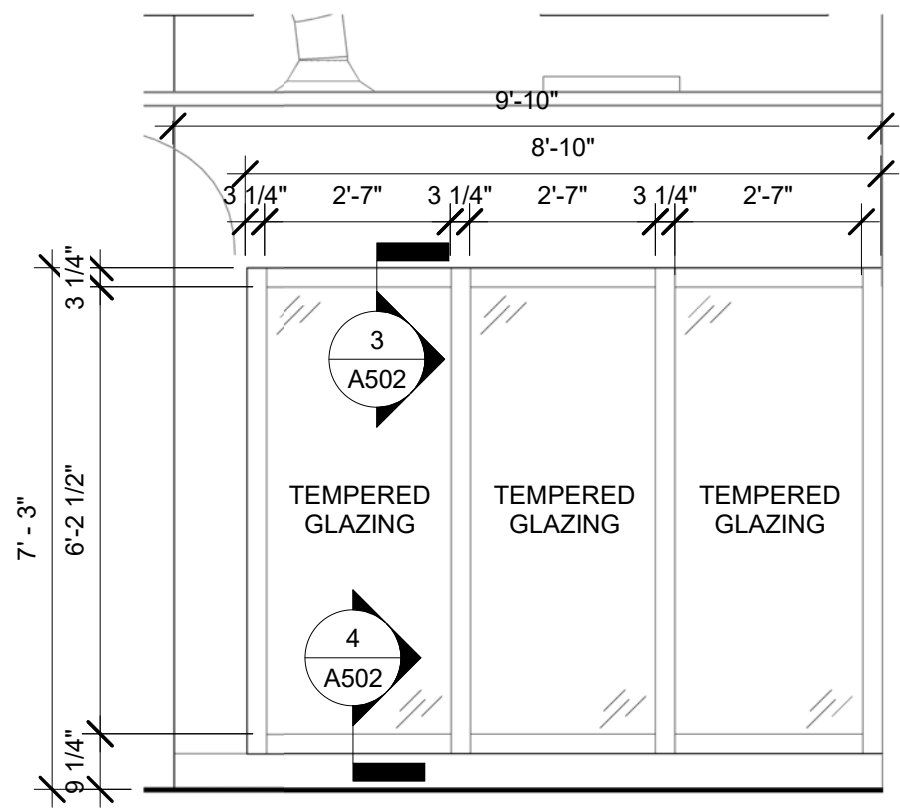
4
A201
BOCC THIRD FLOOR REMODEL HEARING ROOM
WEST ELEVATION
 1/4" = 1'-0"



5
A201
BOCC THIRD FLOOR REMODEL
NEW DOOR TO HEARING ROOM
 3/8" = 1'-0"



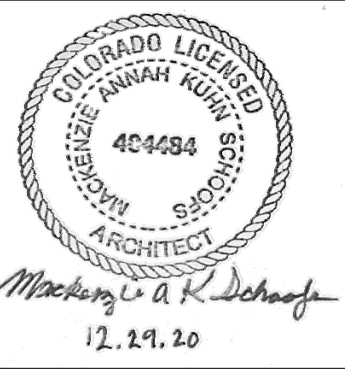
6
A201
BOCC THIRD FLOOR REMODEL
EXISTING GLASS WALL ELEVATION
 3/8" = 1'-0"



7
A201
BOCC THIRD FLOOR REMODEL
NEW OFFICE HALLWAY ELEVATION
 3/8" = 1'-0"



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BOULDER COUNTY
 1325 PEARL STREET
 COURTHOUSE 3RD FLOOR REMODEL

PROJECT
 3RD FLOOR BOCC
 REMODEL

LOCATION
 1325 PEARL STREET
 BOULDER, COLORADO
 80302

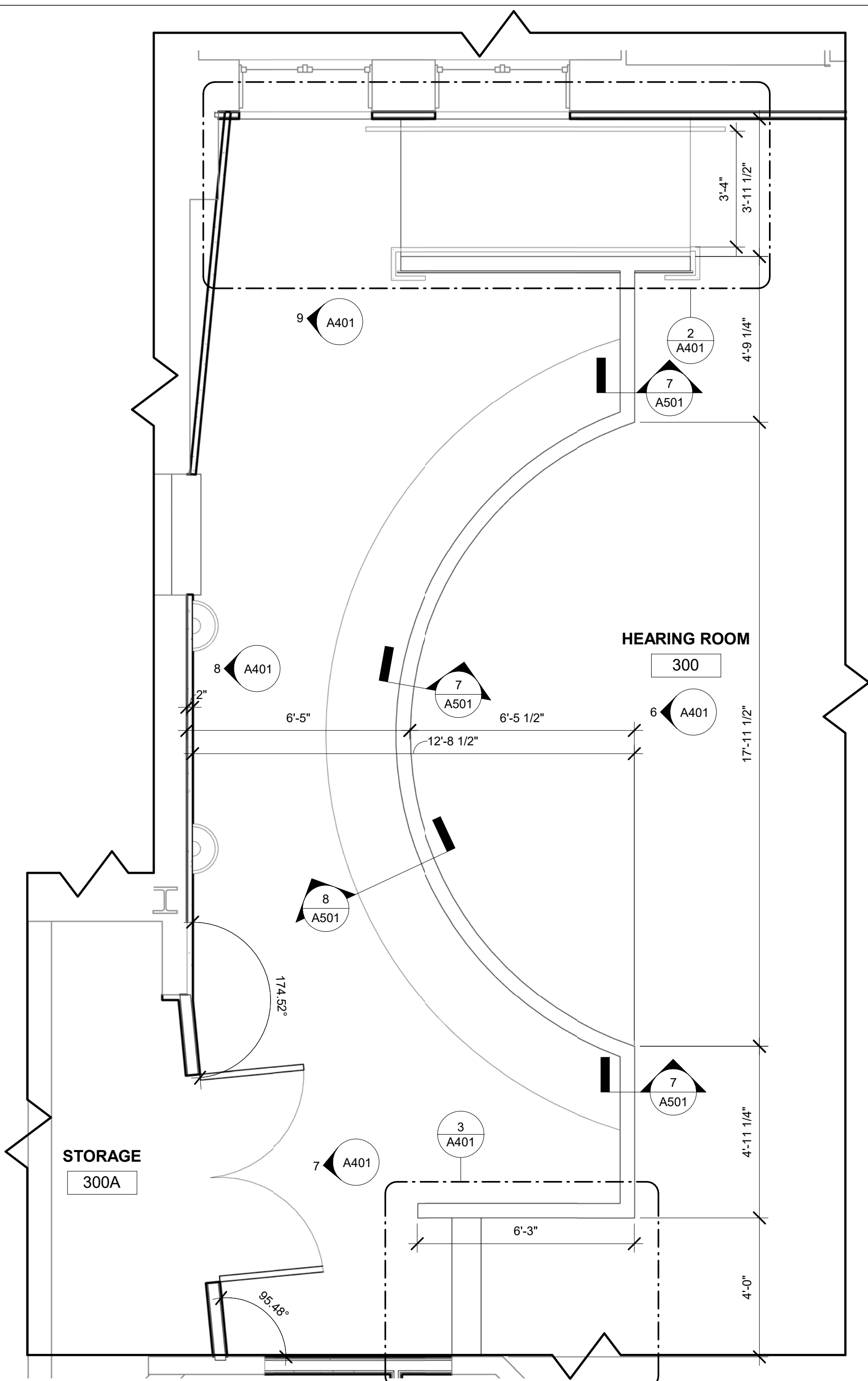
SHEET
 ENLARGED PLANS &
 INTERIOR ELEVATIONS

FILE NAME
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 Courthouse\PROJECTS\101420- BOCC
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 SECURITY VESTIBULE\DRAWINGS\SYTCRT
 3RD FLOOR REMODEL 2020 PERMIT SET
 12-29-20.rvt

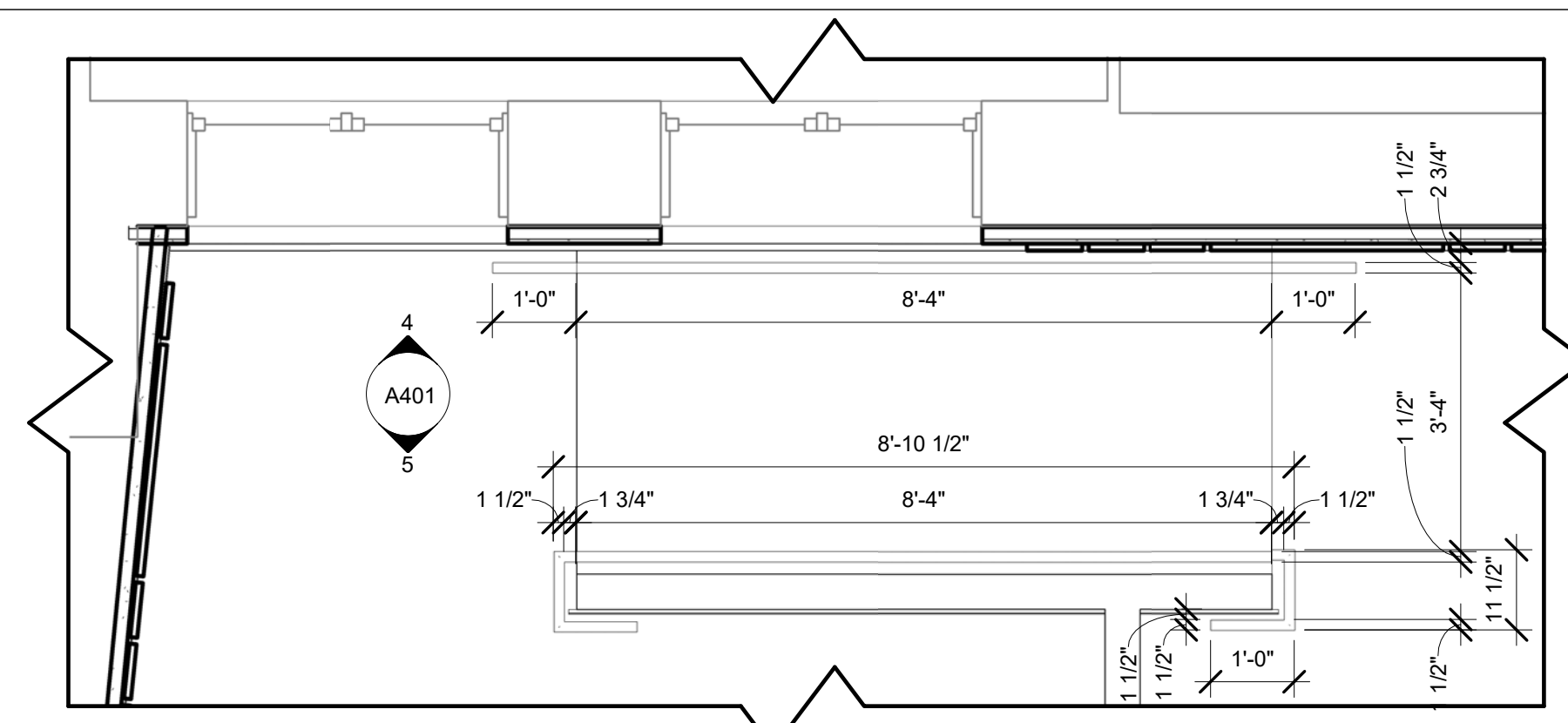
ACCT 100103
 DATE: 12/29/20
 DRAWN BY: MS
 CHECKED BY: JB

REVISIONS

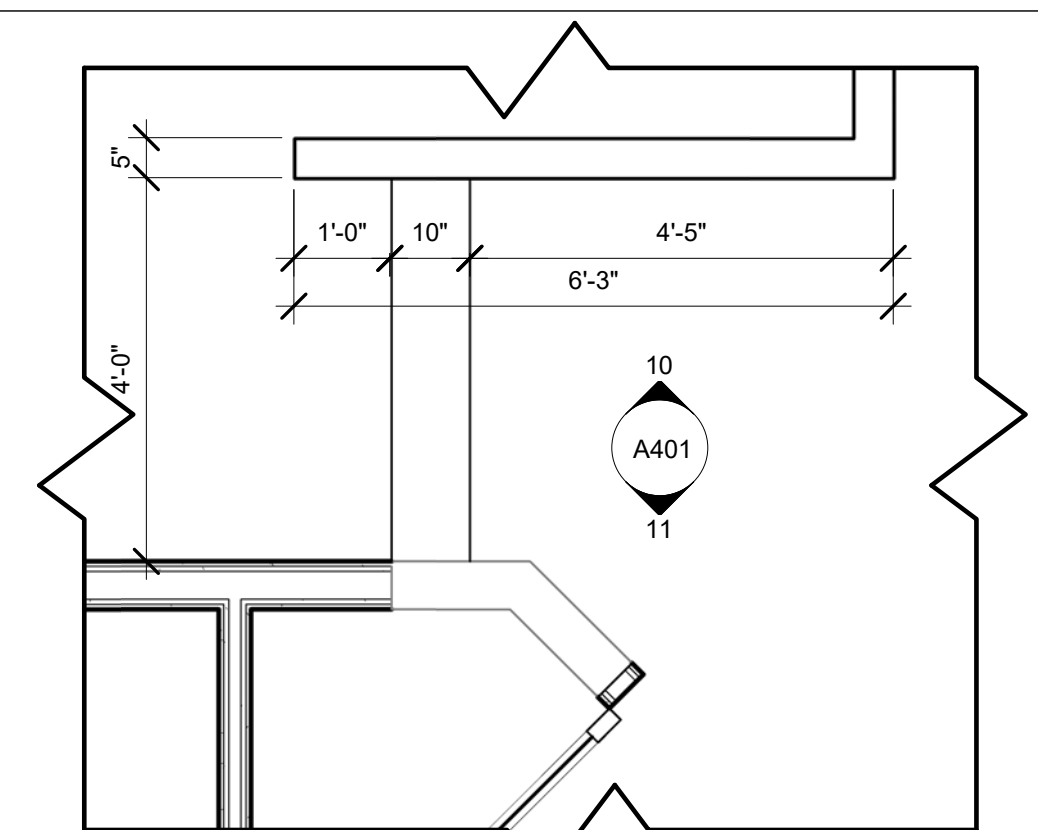
SHEET
A401



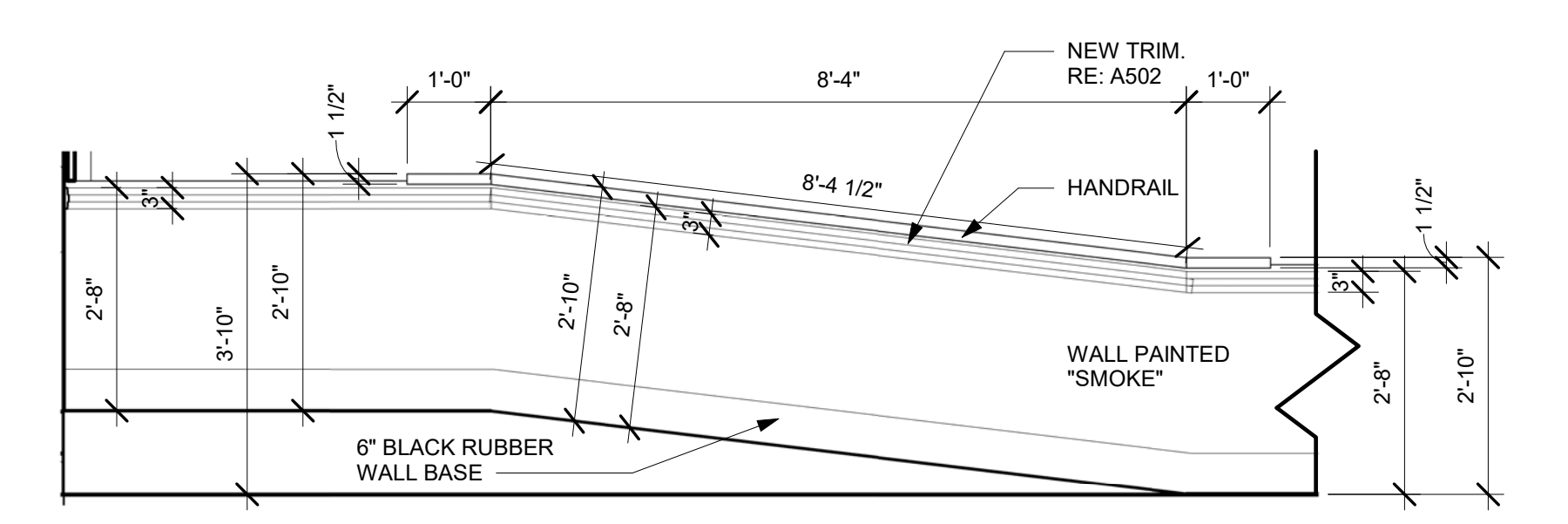
1
 A401 BOCC THIRD FLOOR REMODEL PLAN ENLARGED DIAS
 3/8" = 1'-0"



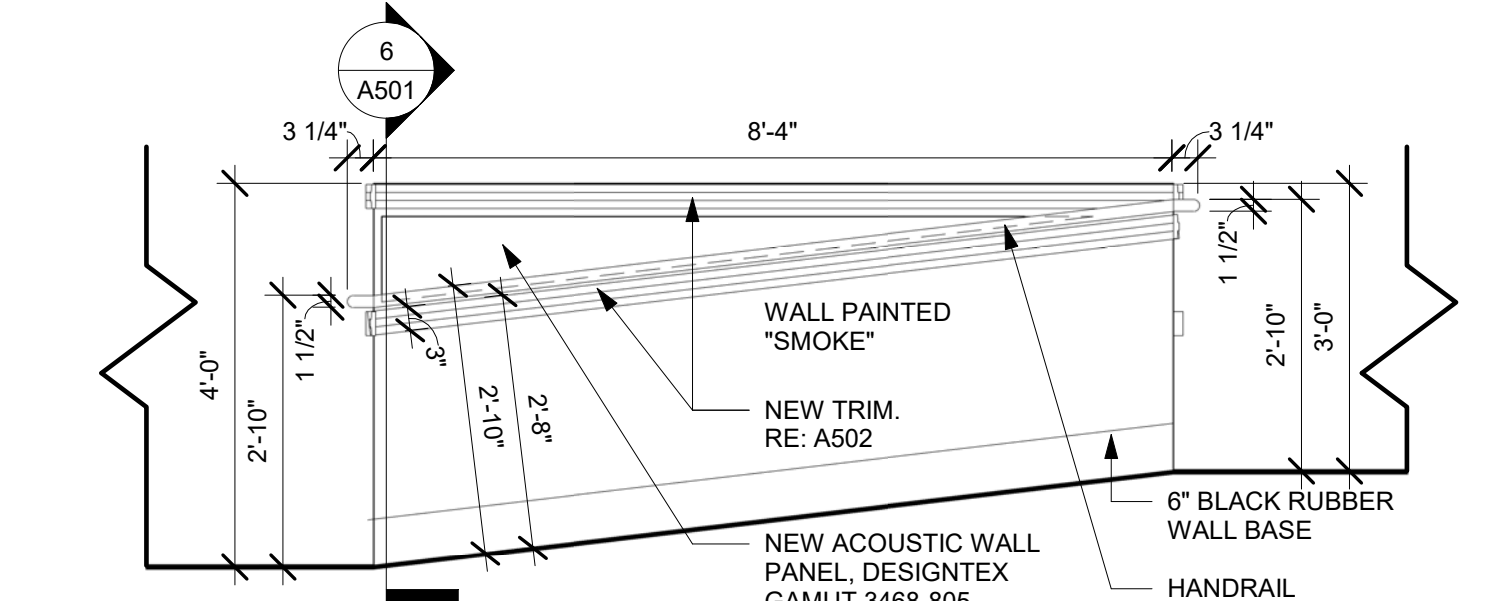
2
 A401 BOCC THIRD FLOOR REMODEL
 ENLARGED DAIS RAMP
 1/2" = 1'-0"



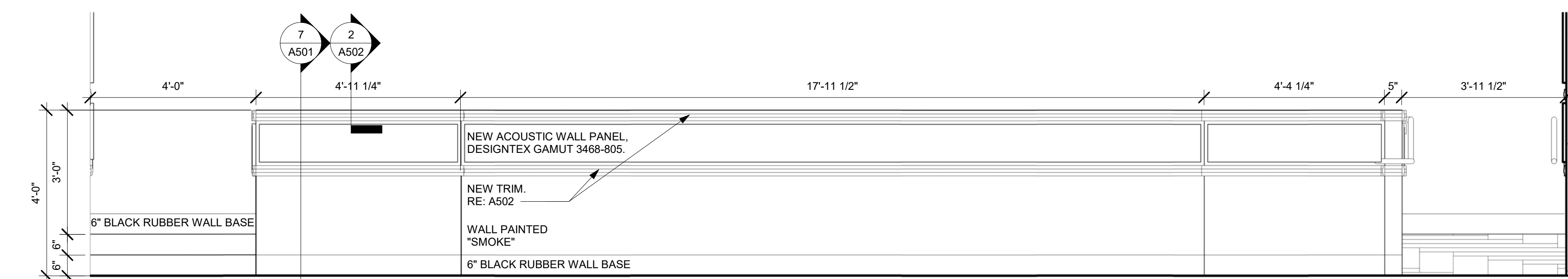
3
 A401 BOCC THIRD FLOOR REMODEL
 ENLARGED DAIS STAIRS PLAN
 1/2" = 1'-0"



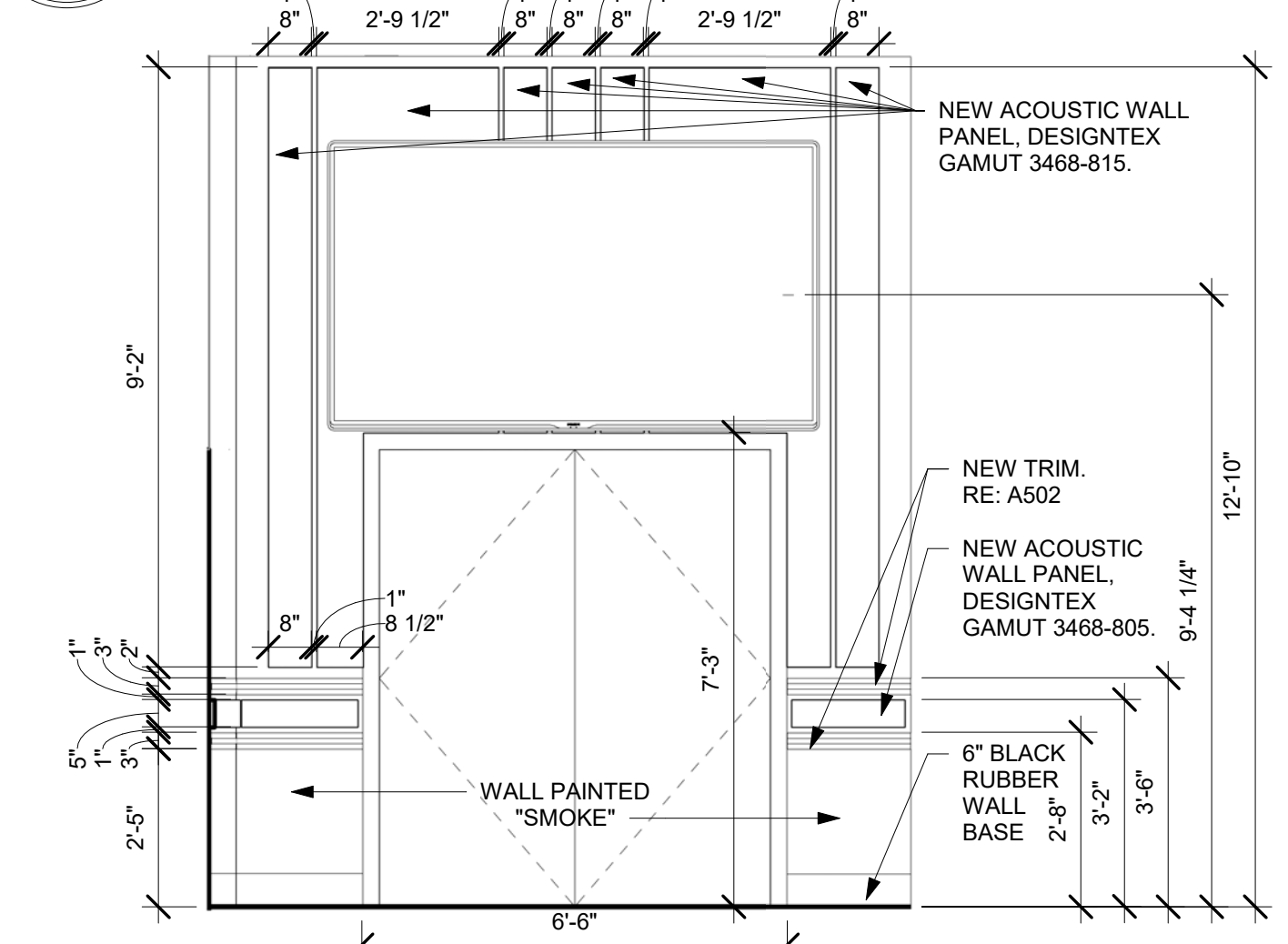
4
 A401 DAIS ADA RAMP NORTH
 WALL ELEVATION
 1/2" = 1'-0"



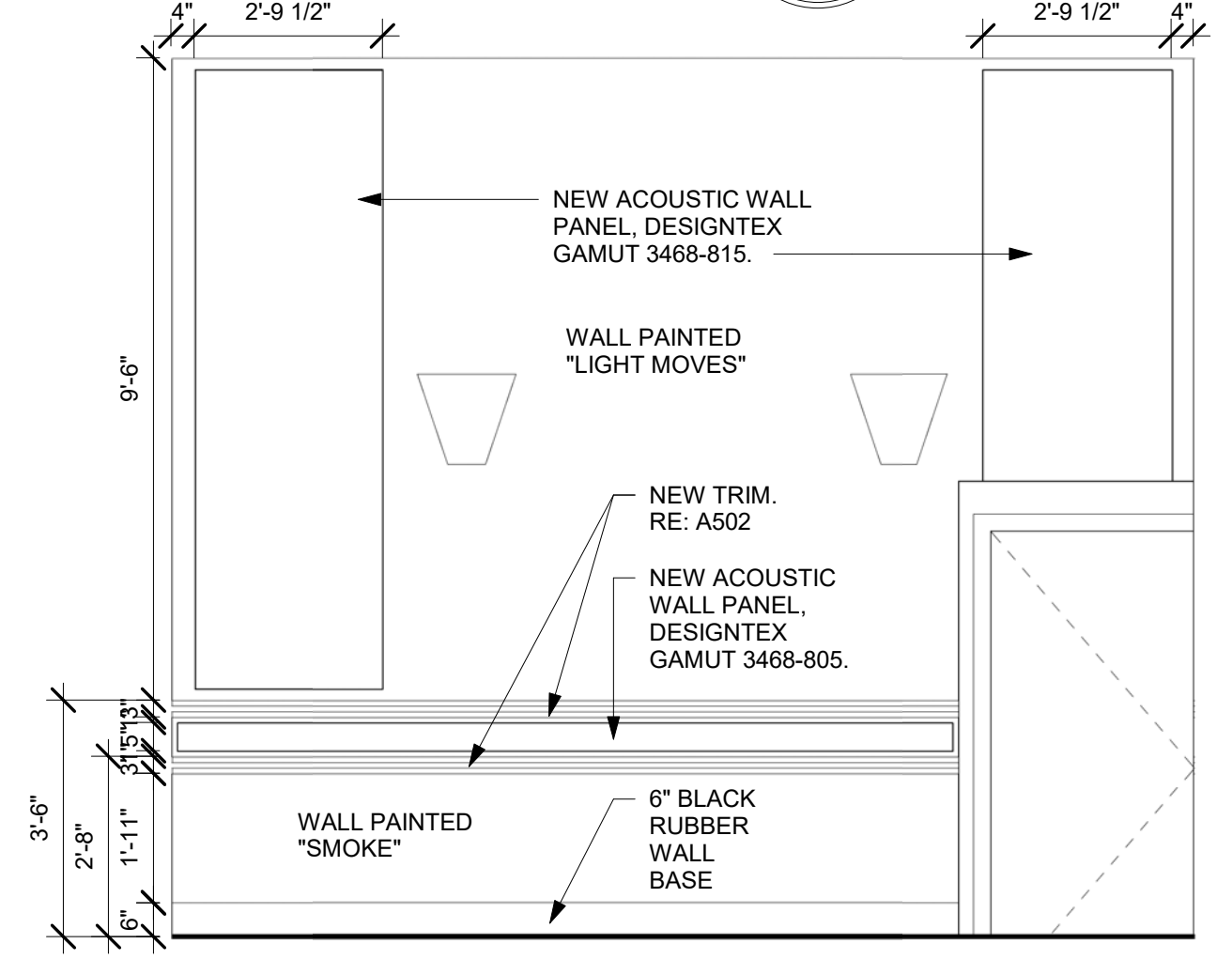
5
 A401 DAIS ADA RAMP SOUTH
 WALL ELEVATION
 1/2" = 1'-0"



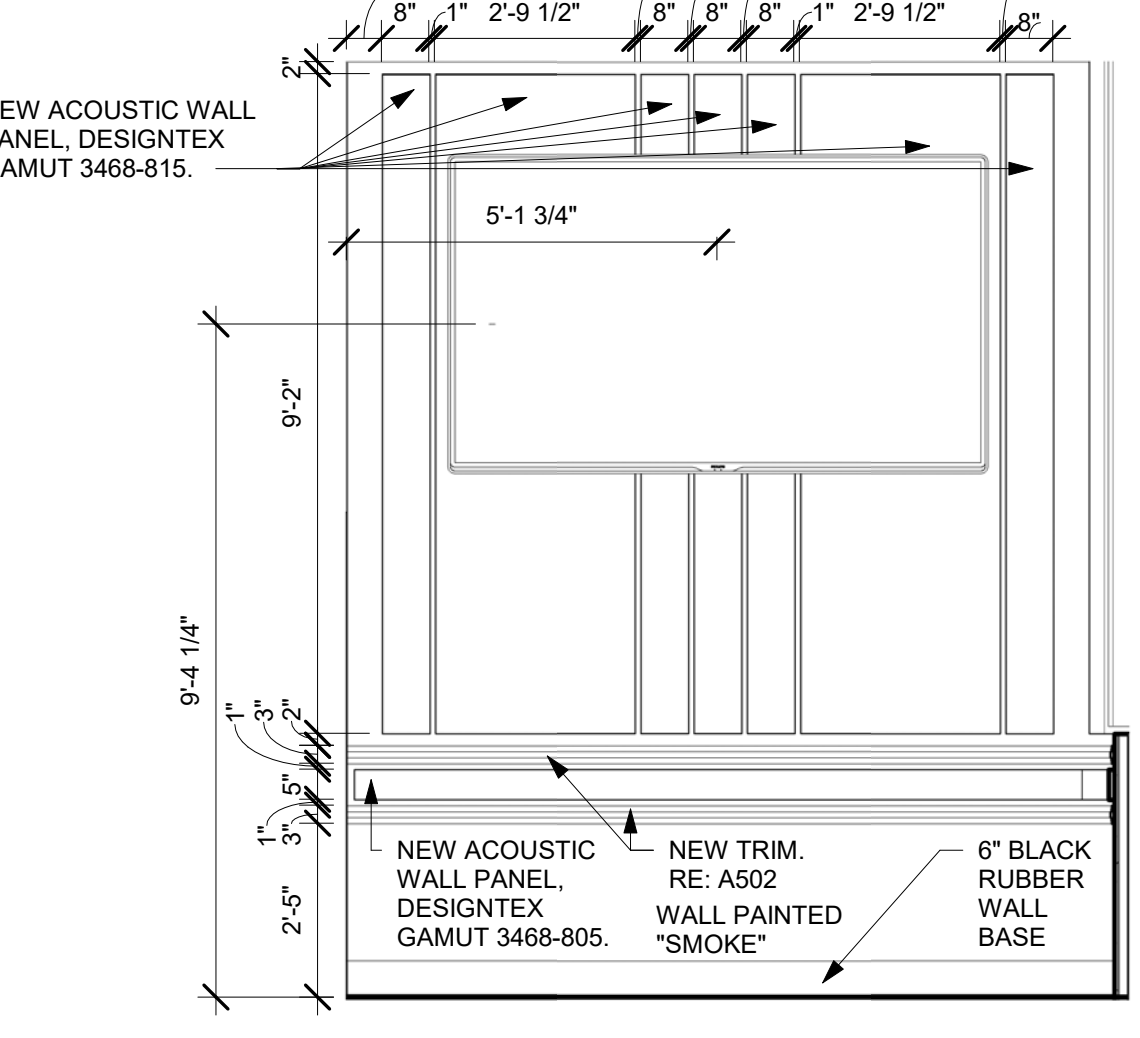
6
 A401 BOCC 3RD FLOOR
 REMODEL DAIS WALL
 1/2" = 1'-0"



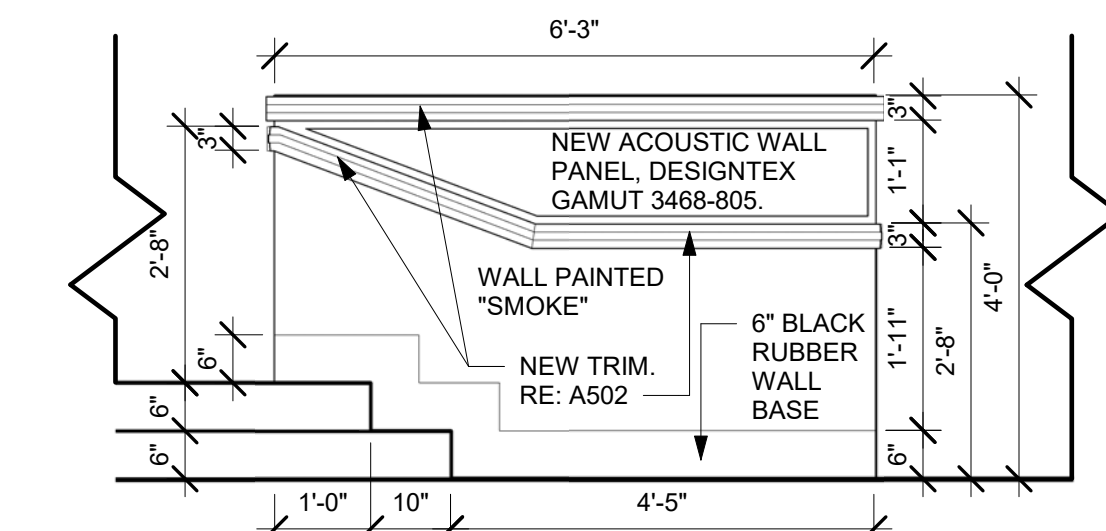
7
 A401 BOCC THIRD FLOOR REMODEL
 DAIS ELEVATION 1
 3/8" = 1'-0"



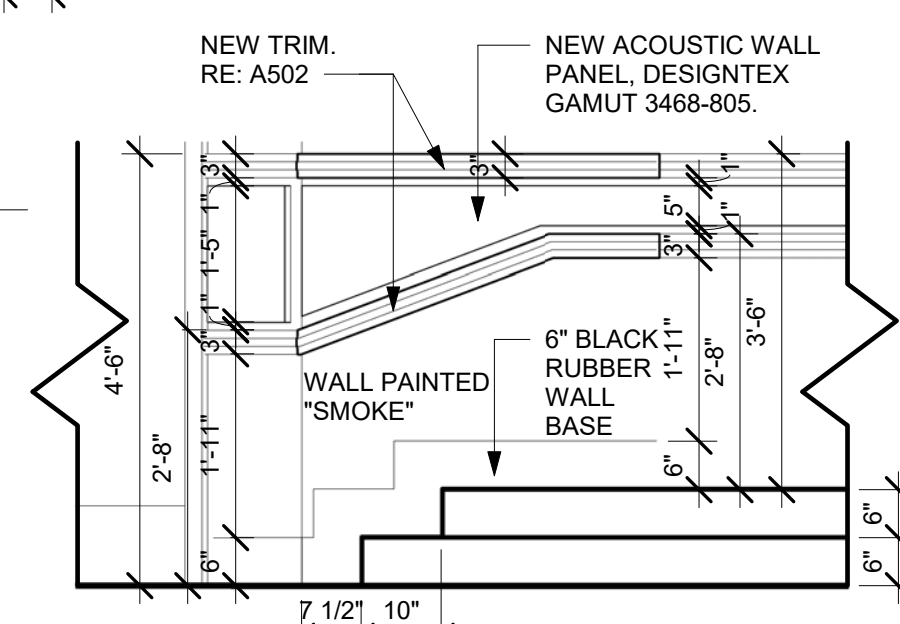
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 DAIS ELEVATION 2
 3/8" = 1'-0"



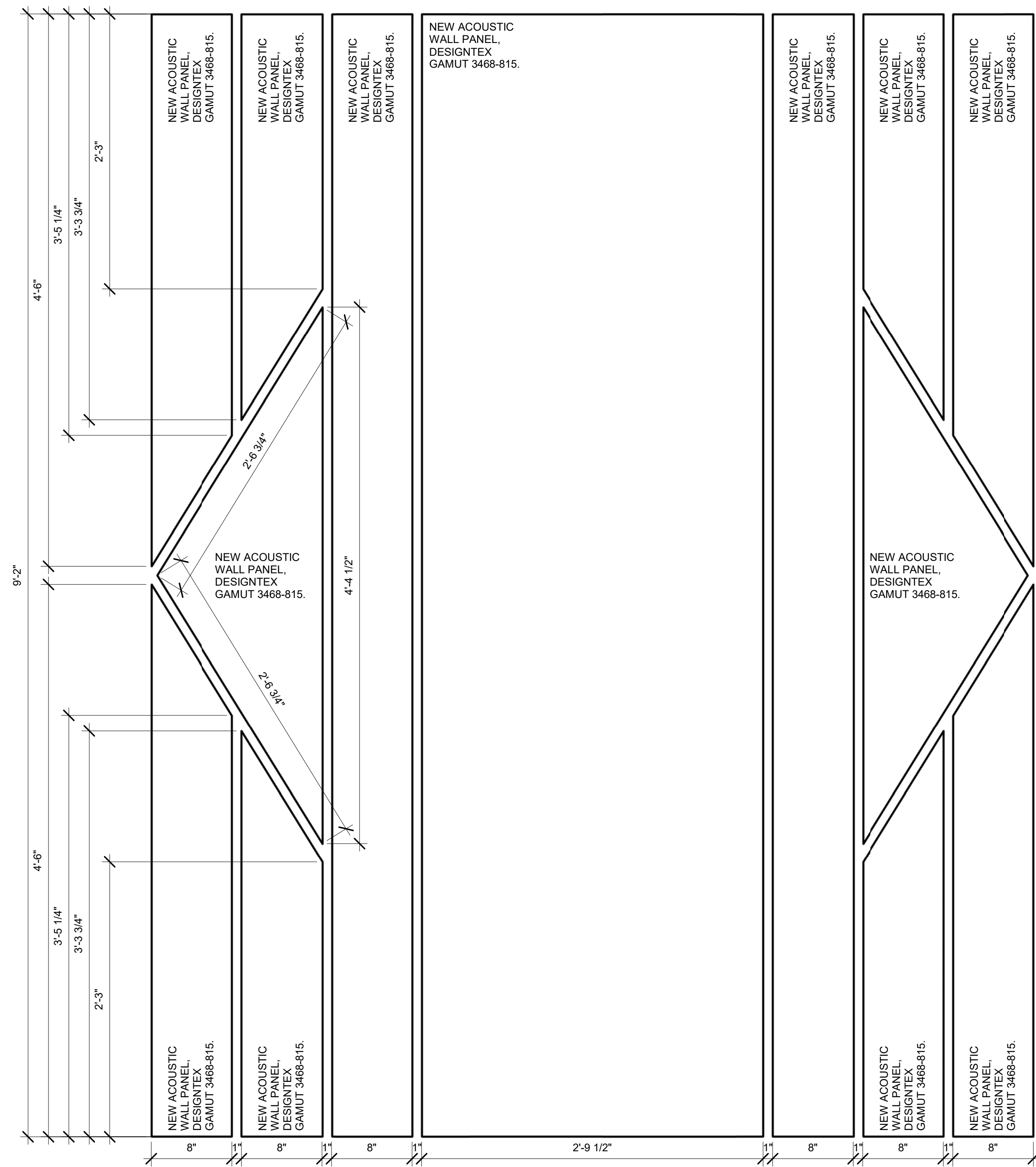
9
 A401 BOCC THIRD FLOOR REMODEL
 DAIS ELEVATION 3
 3/8" = 1'-0"



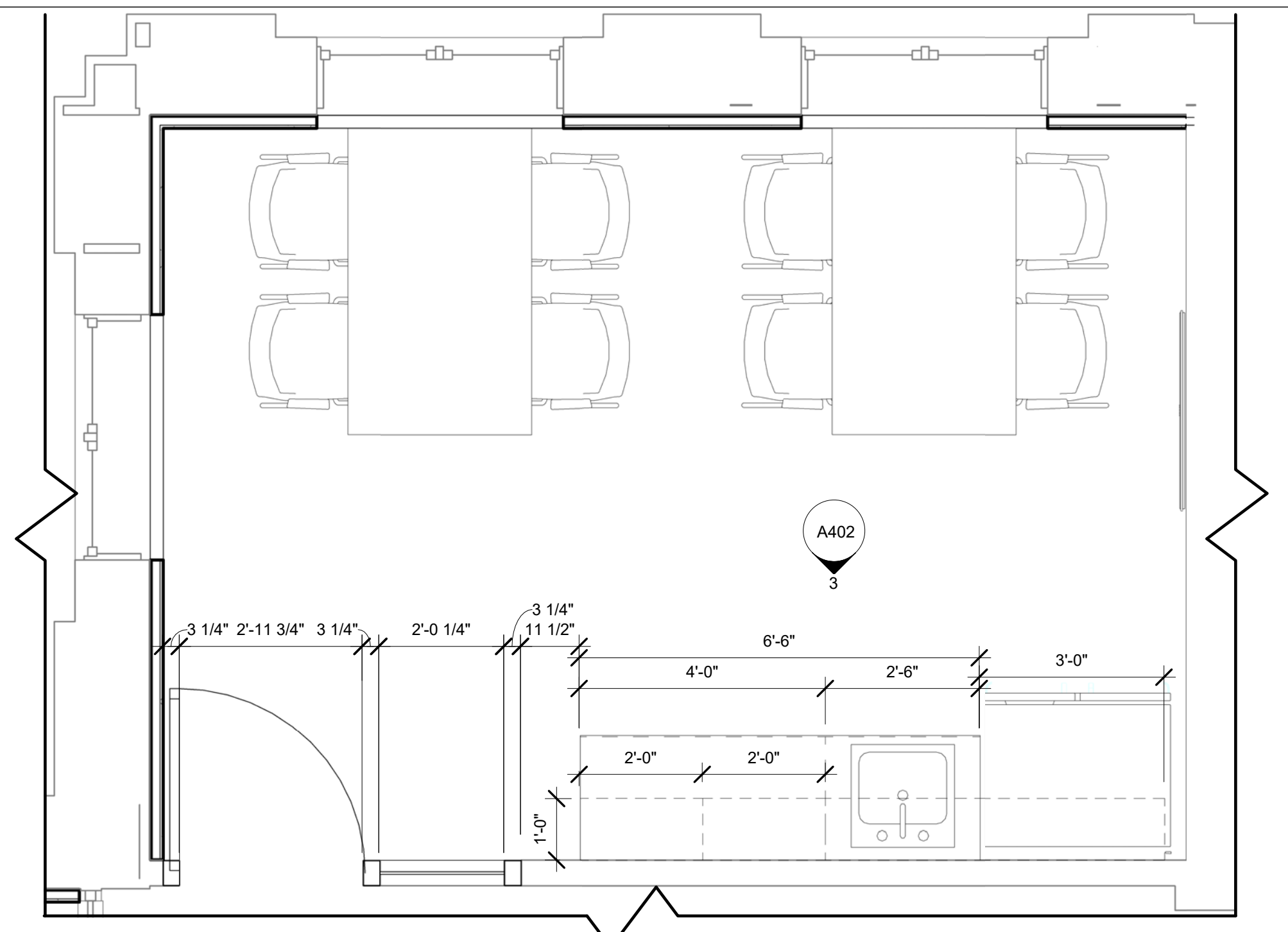
10
 A401 DAIS STAIR NORTH
 WALL ELEVATION
 1/2" = 1'-0"



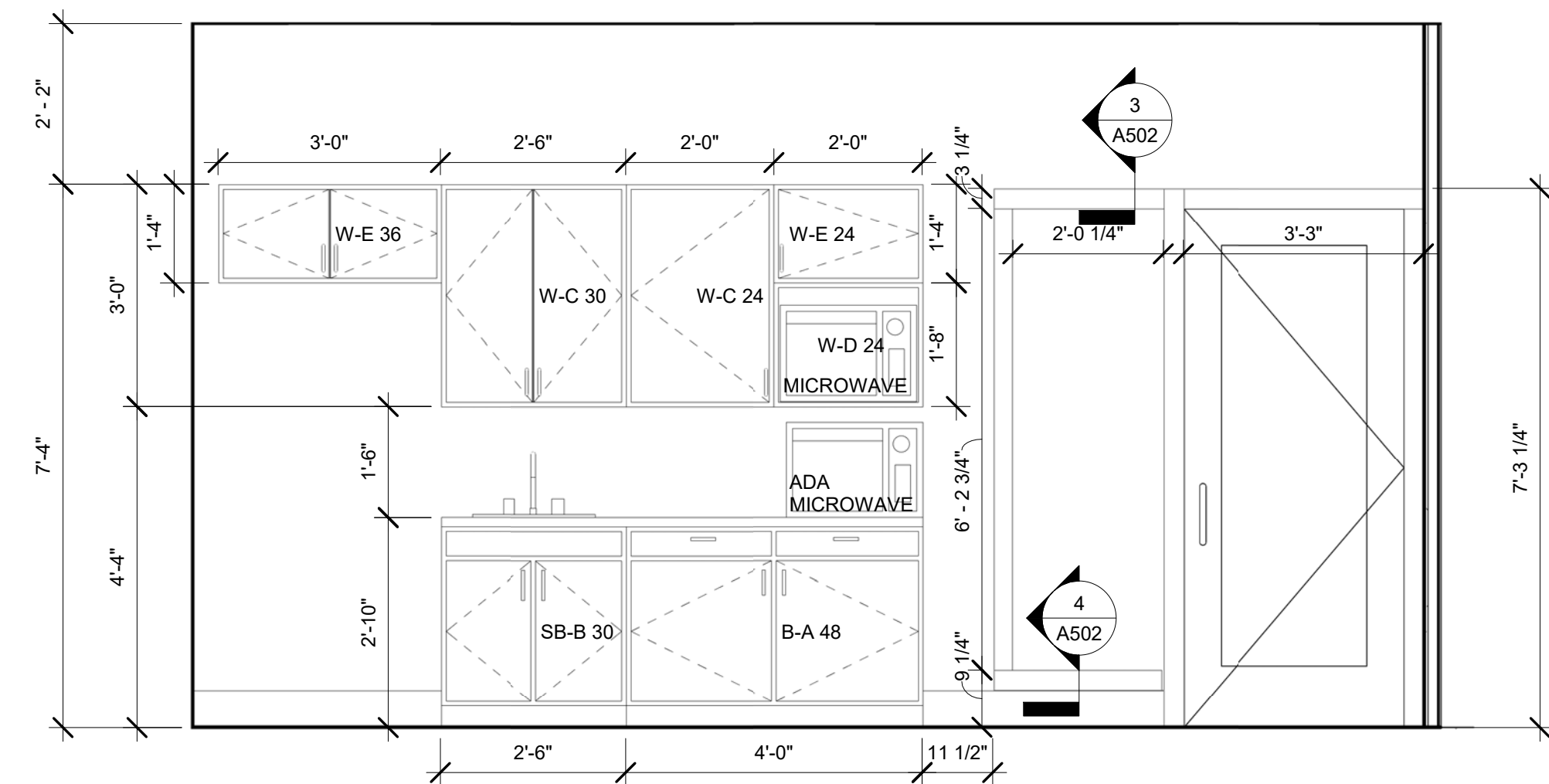
11
 A401 DAIS STAIR SOUTH
 WALL ELEVATION
 1/2" = 1'-0"



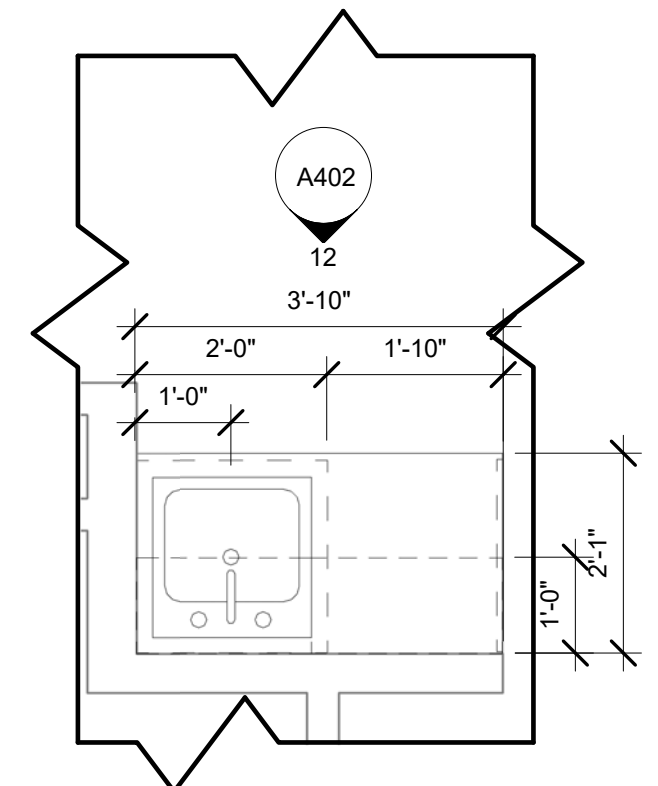
1
A402
BOCC THIRD FLOOR REMODEL HEARING ROOM
ACOUSTIC WALL PANEL 1 ELEVATION
1 1/2" = 1'-0"



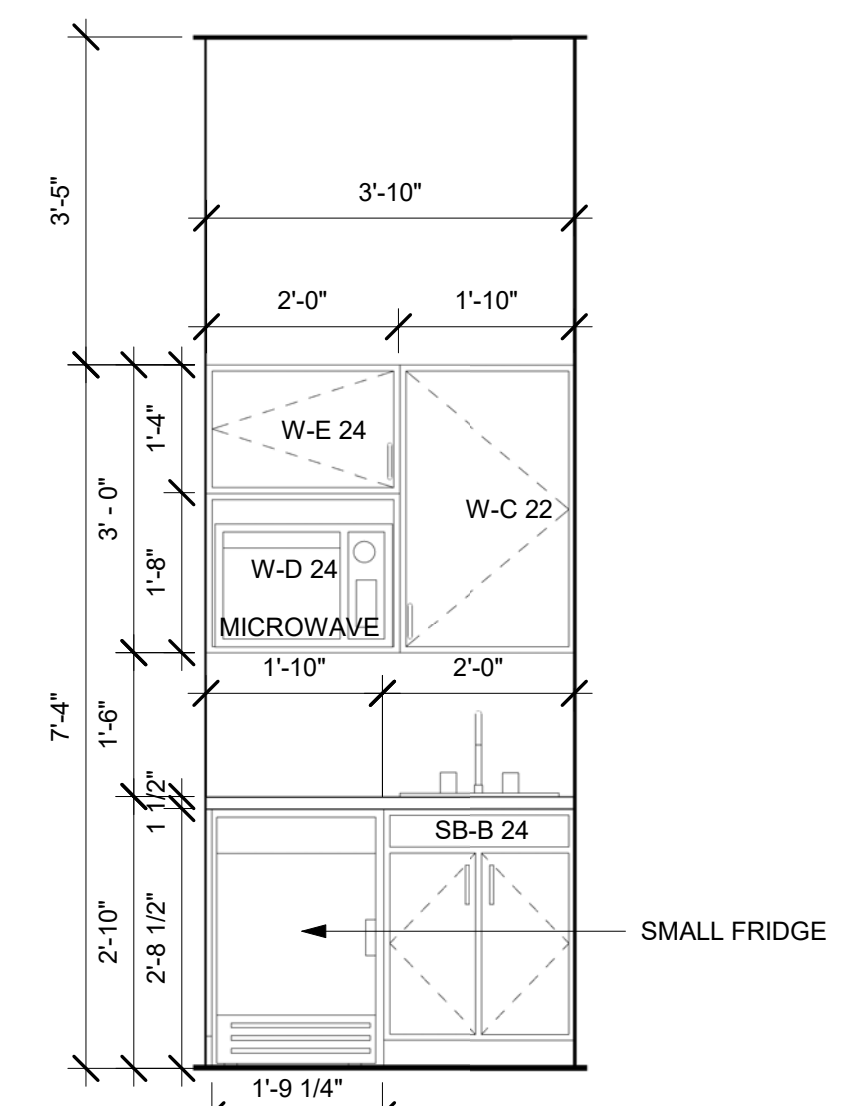
2
A402
BOCC THIRD FLOOR REMODEL
ENLARGED BREAK ROOM PLAN
1/2" = 1'-0"



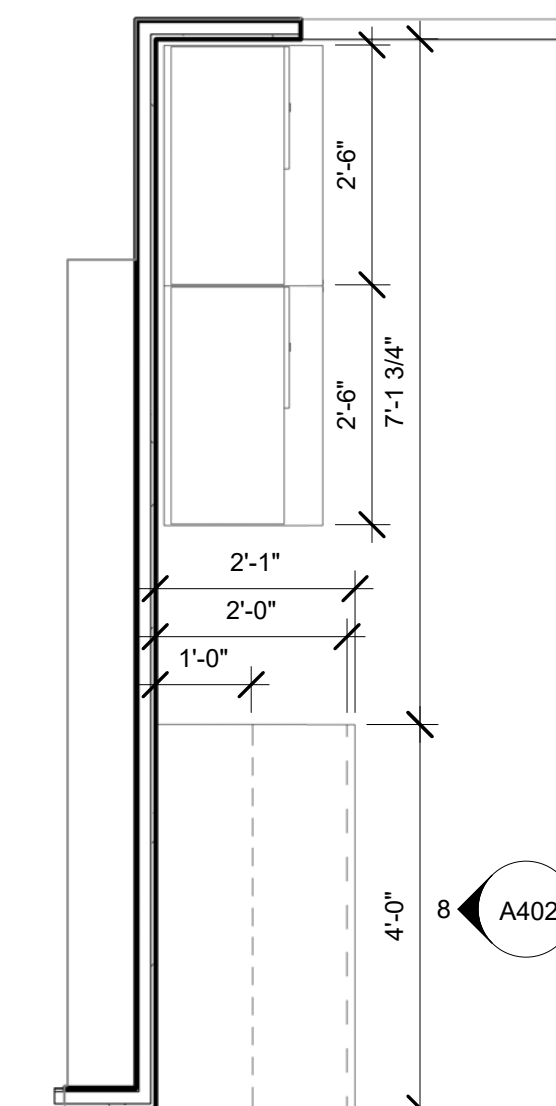
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A402
BOCC THIRD FLOOR REMODEL
BREAK ROOM ELEVATION
1/2" = 1'-0"



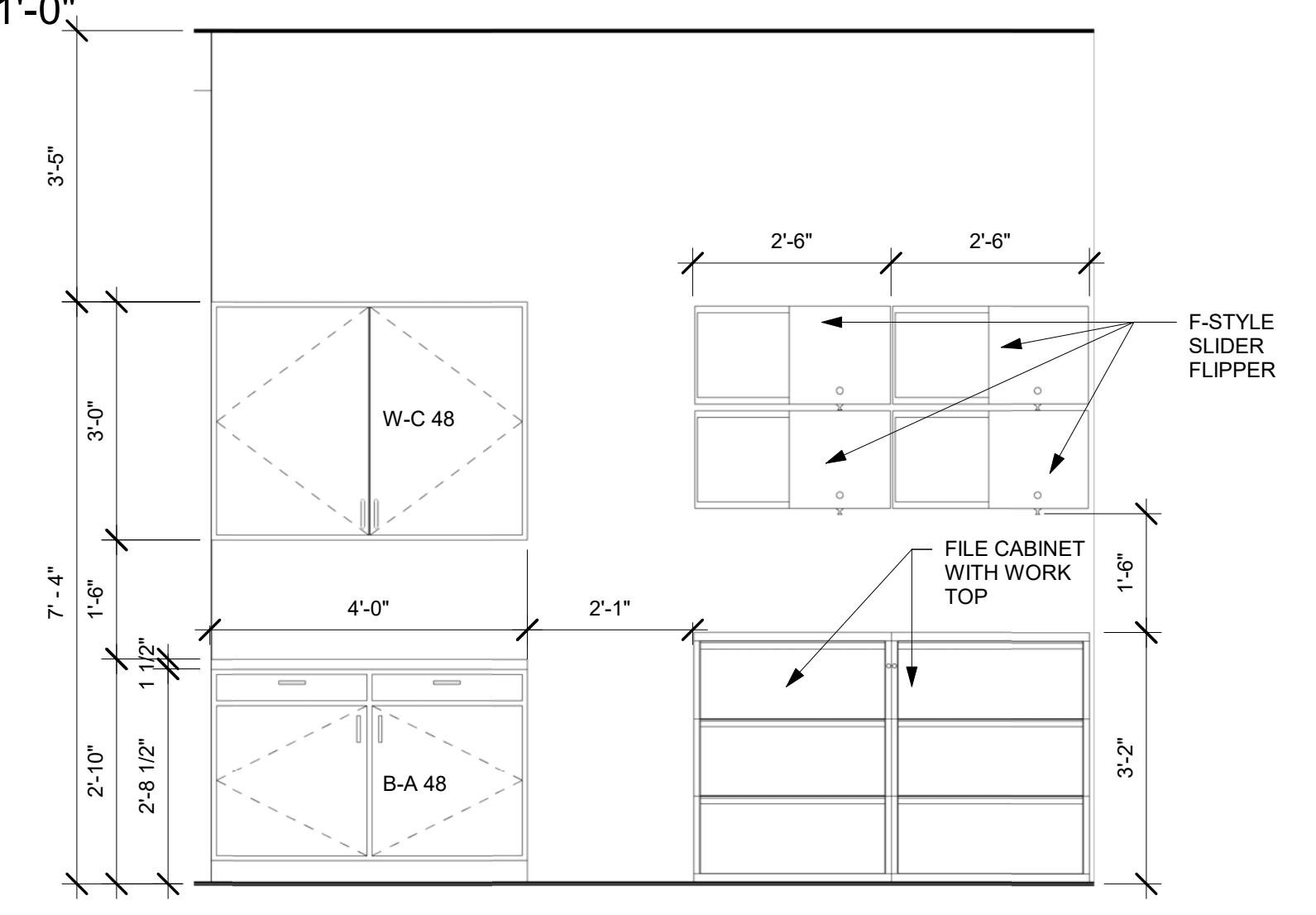
11
A402
EAST SIDE
KITCHENETTE
1/2" = 1'-0"



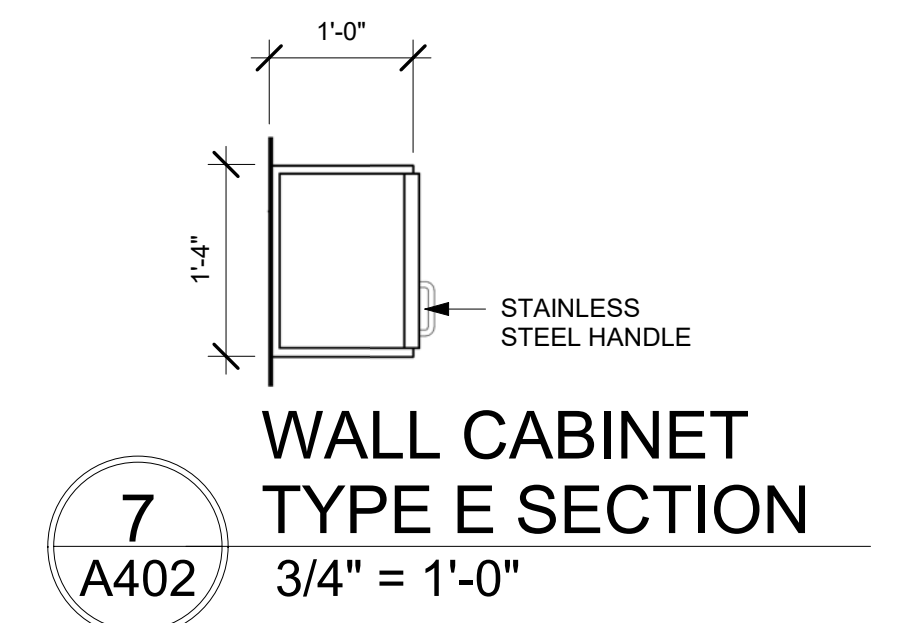
12
A402
EAST SIDE
KITCHENETTE
1/2" = 1'-0"



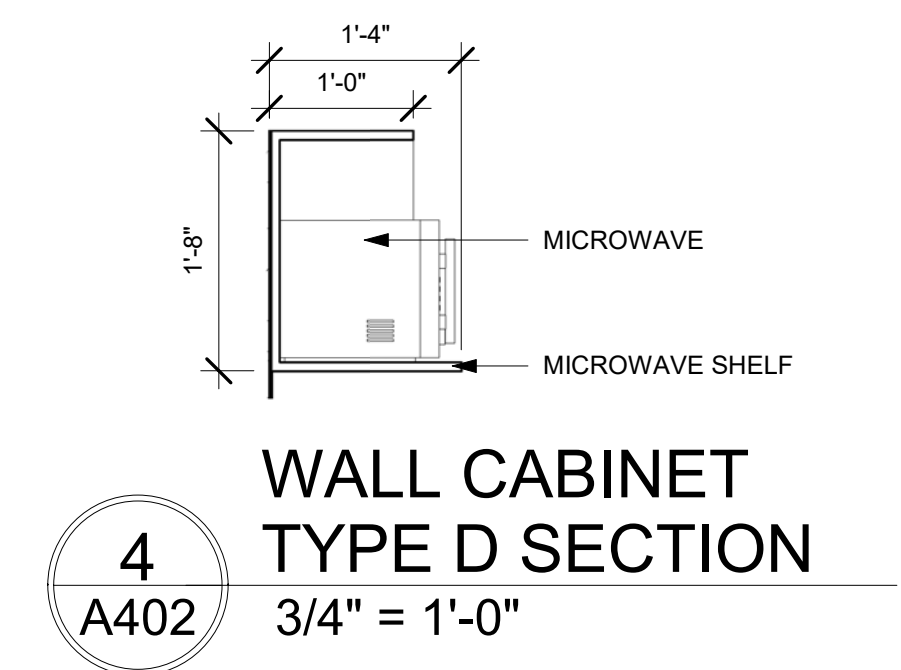
10
A402
EAST SIDE ECOPY
ENLARGED PLAN
1/2" = 1'-0"



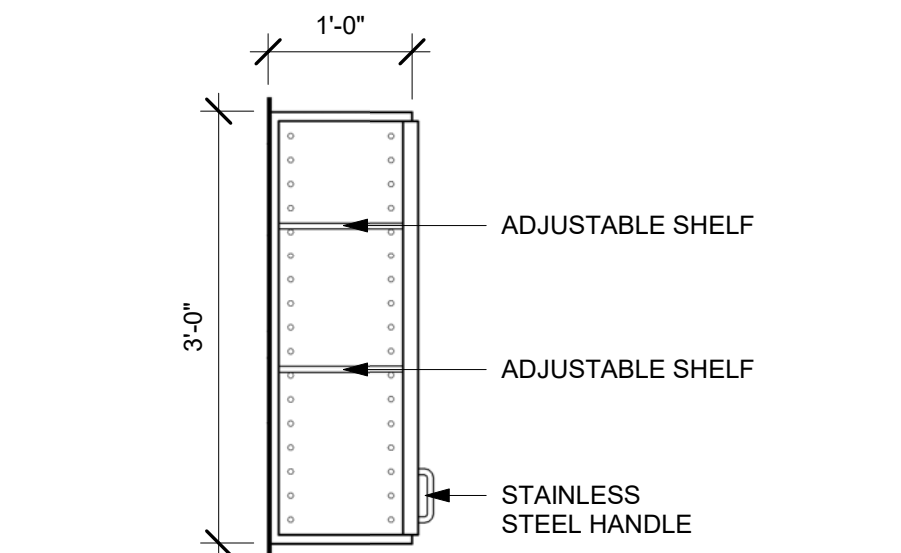
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A402
ECOPY AREA ELEVATION
1/2" = 1'-0"



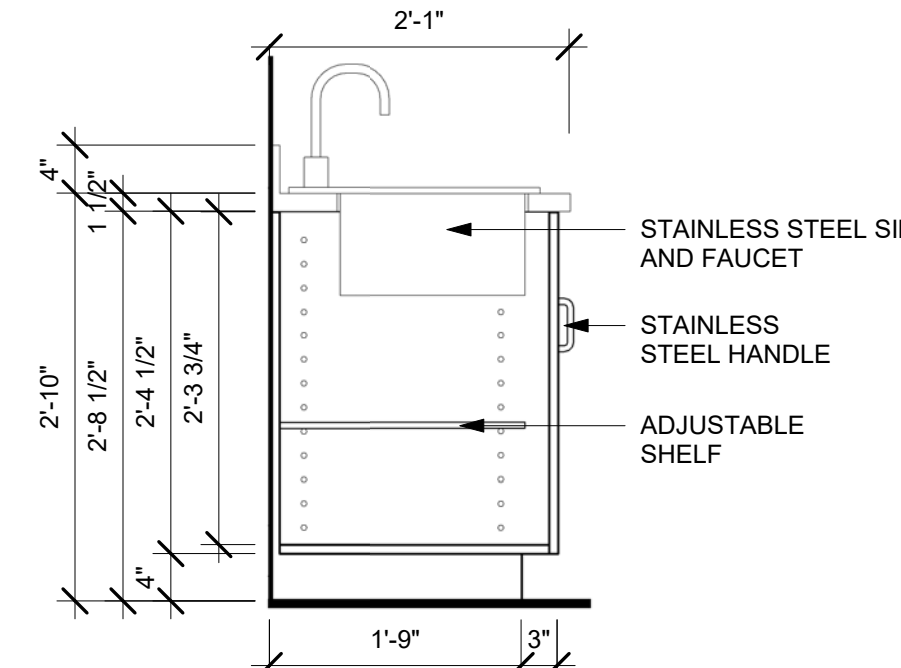
7
A402
WALL CABINET
TYPE E SECTION
3/4" = 1'-0"



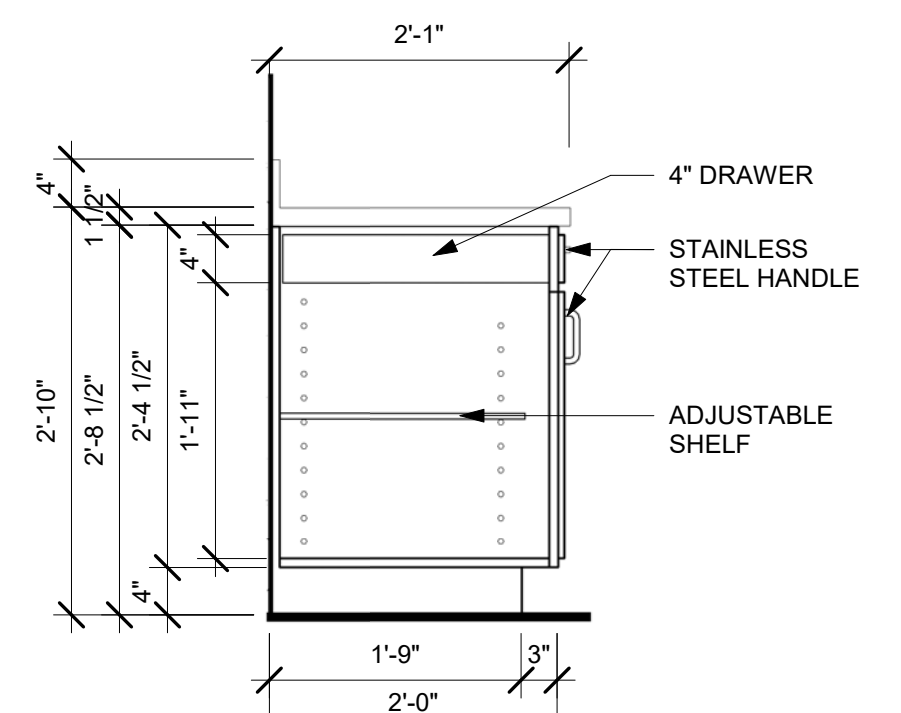
4
A402
WALL CABINET
TYPE D SECTION
3/4" = 1'-0"



5
A402
WALL CABINET
TYPE C SECTION
3/4" = 1'-0"



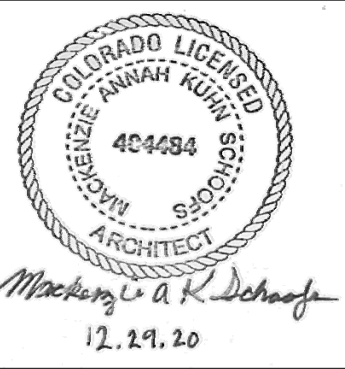
6
A402
SINK BASE CABINET
TYPE B SECTION
3/4" = 1'-0"



9
A402
BASE CABINET
TYPE A SECTION
3/4" = 1'-0"



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DIVISION
2020 13TH ST.
BOULDER, CO 80302
P.O. BOX 471 BOULDER, CO
80306
PHONE: 303.441.3187
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Marking & R. Schopf
12.29.20

BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

SHEET
ENLARGED PLANS &
INTERIOR ELEVATIONS

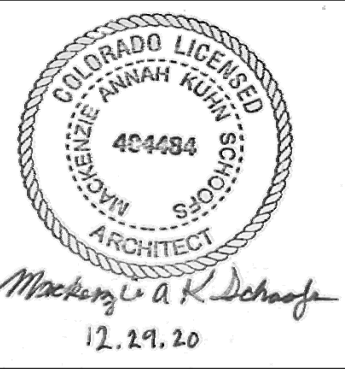
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Courthouse\PROJECTS\101420- BOCC
HEARING ROOM &
SECURITY SCREENING\RYTCRT
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-2020.rvt
ACCT 100103
DATE: 12/29/20
DRAWN BY: MS
CHECKED BY: JB

REVISIONS

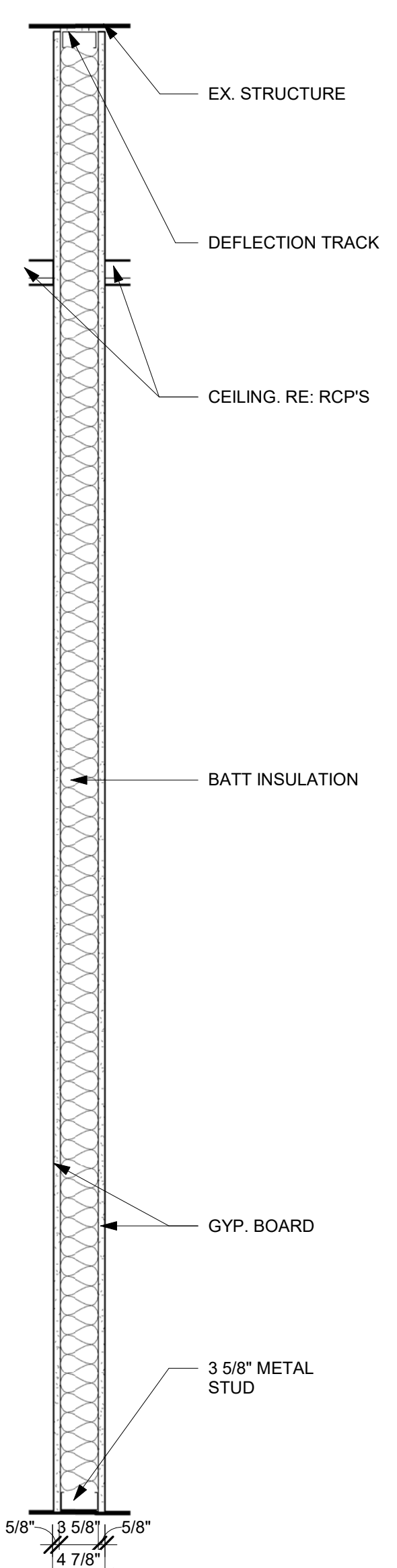
SHEET
A402



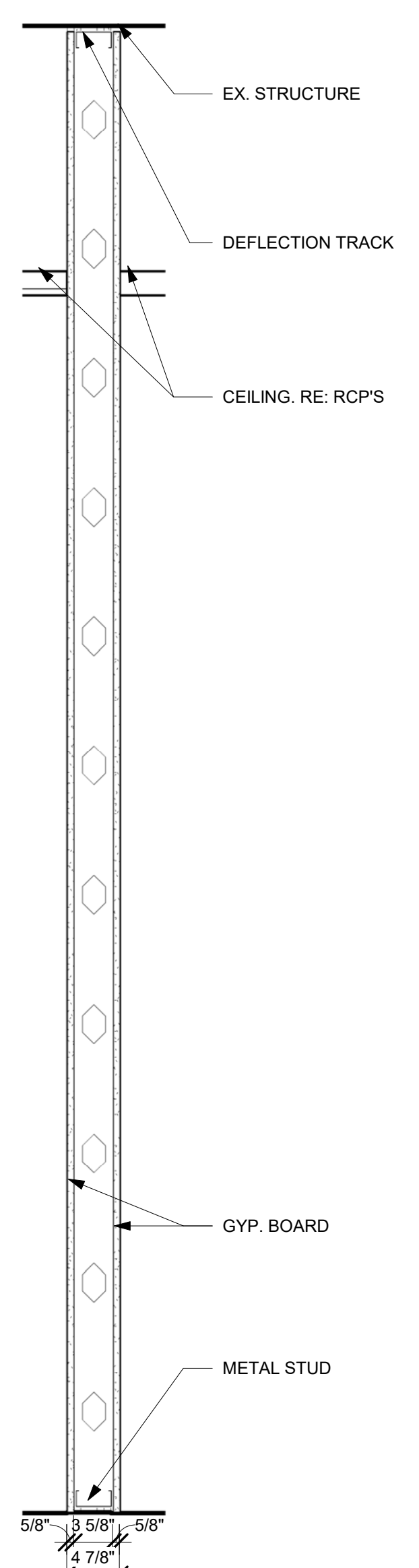
BUILDING SERVICES
DIVISION
2020 13TH ST.
BOULDER, CO 80302
P.O. BOX 471 BOULDER, CO
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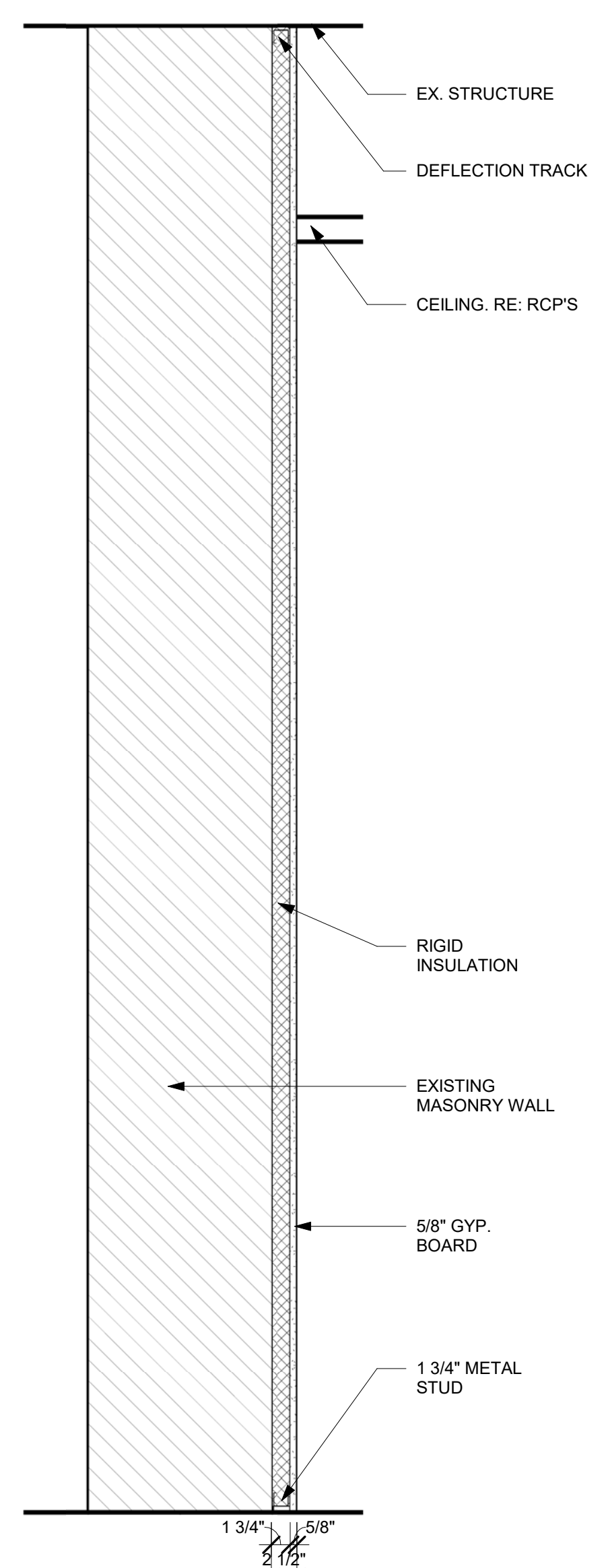
BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL



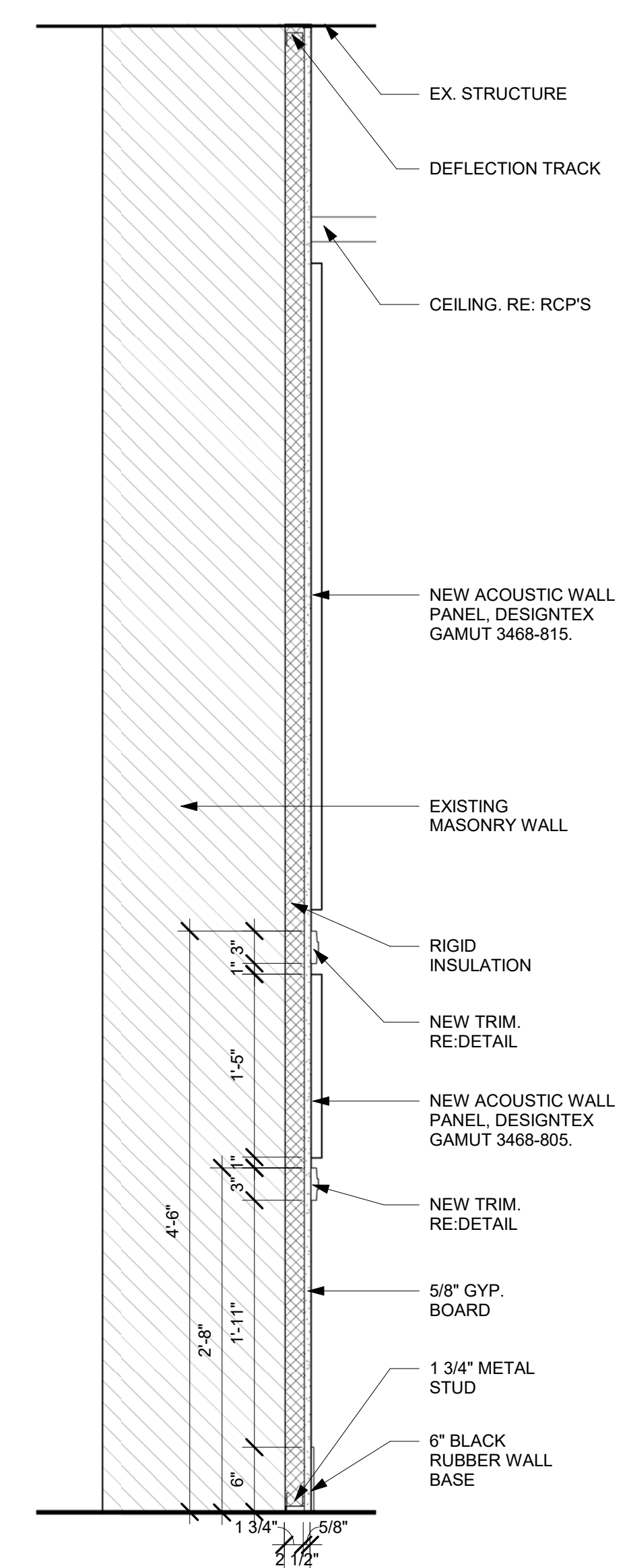
1 WALL TYPE A
A501 1" = 1'-0"



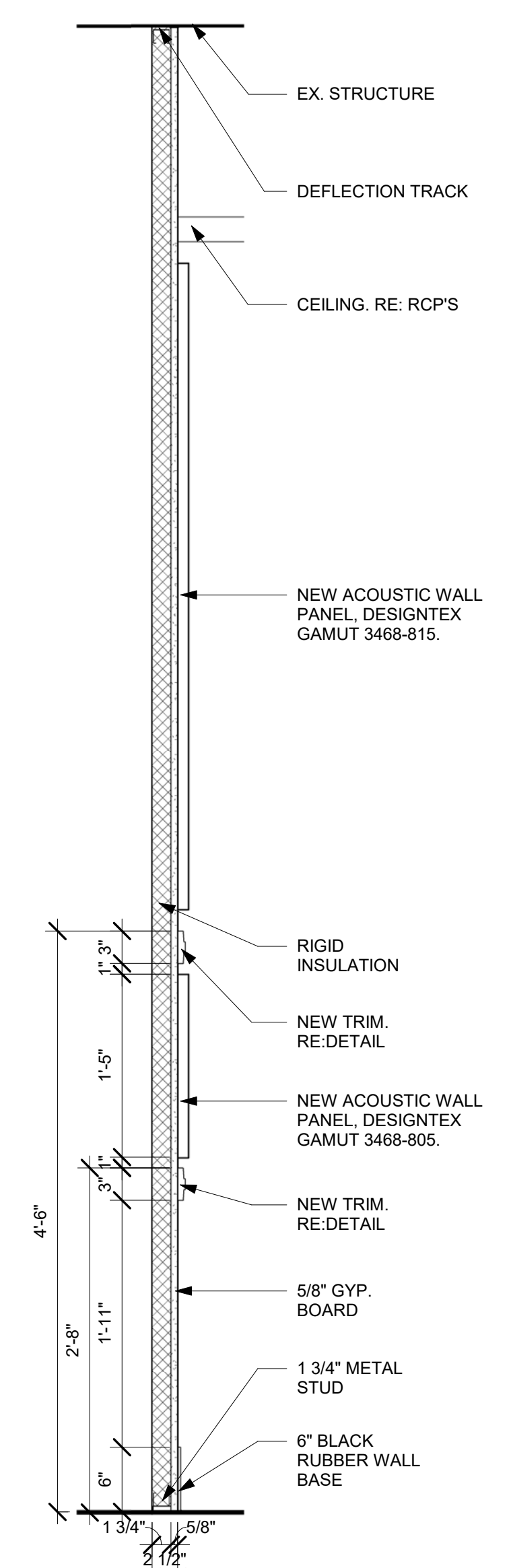
2 WALL TYPE B
A501 1" = 1'-0"



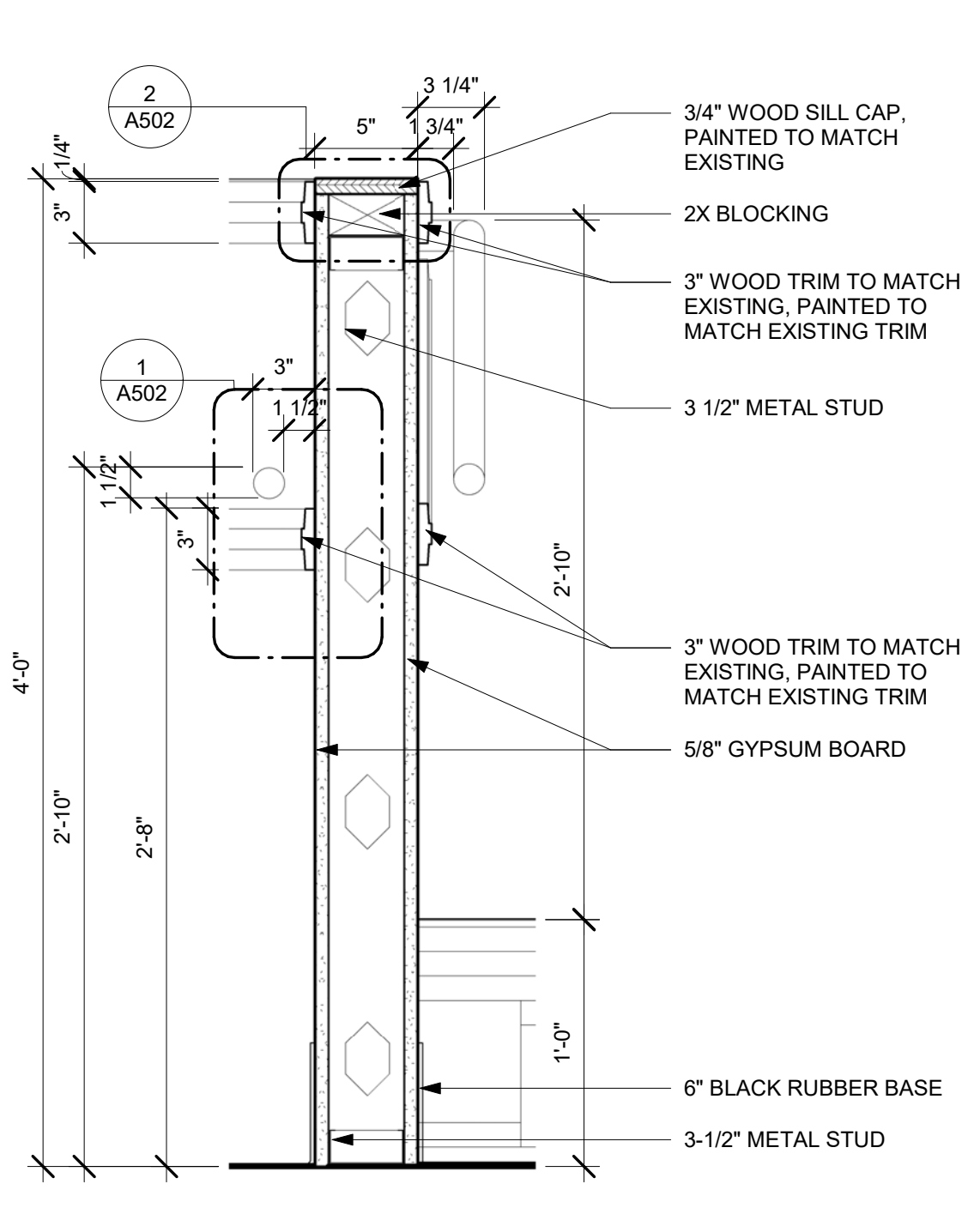
3 WALL TYPE C
A501 1" = 1'-0"



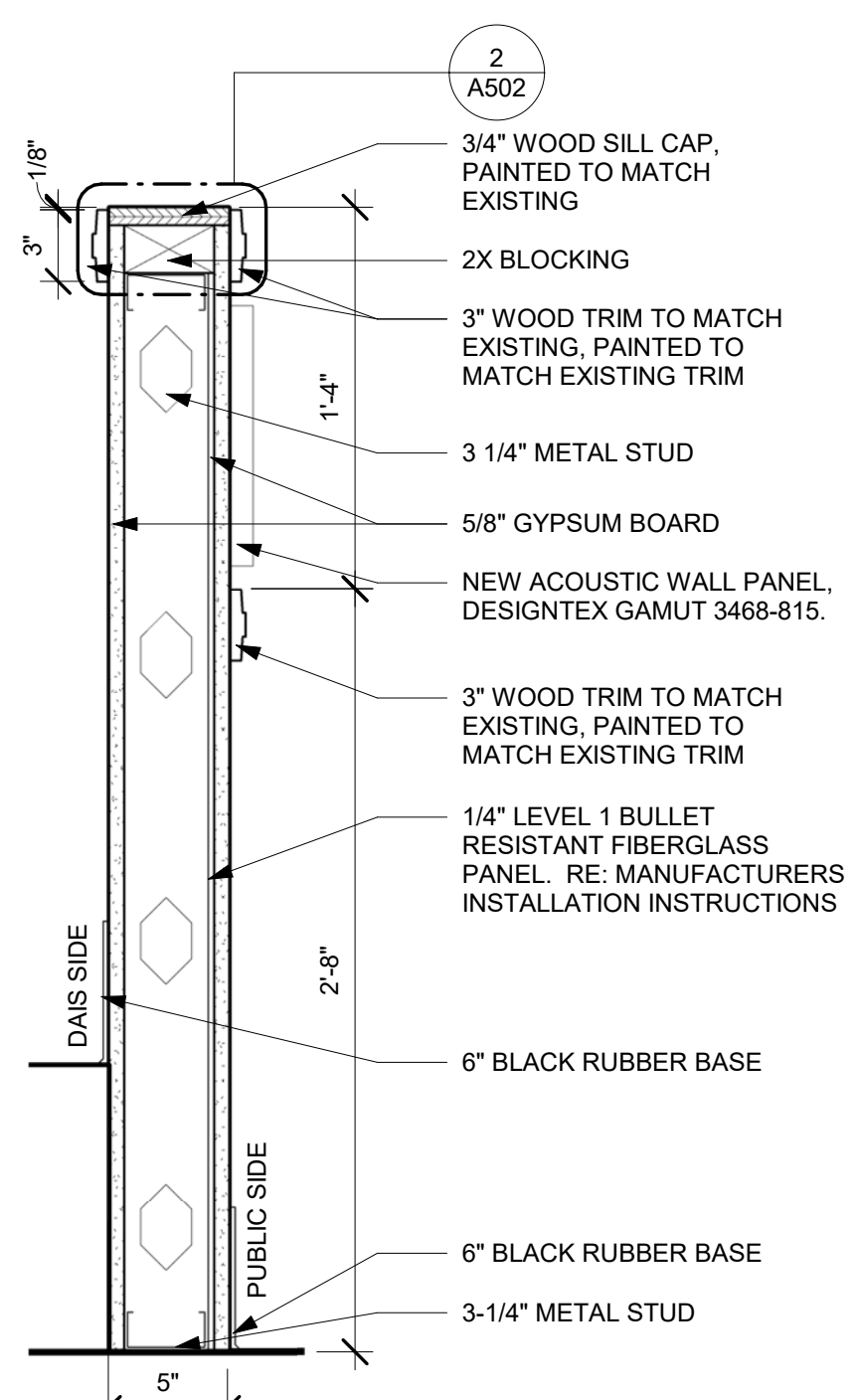
4 WALL TYPE D
A501 1" = 1'-0"



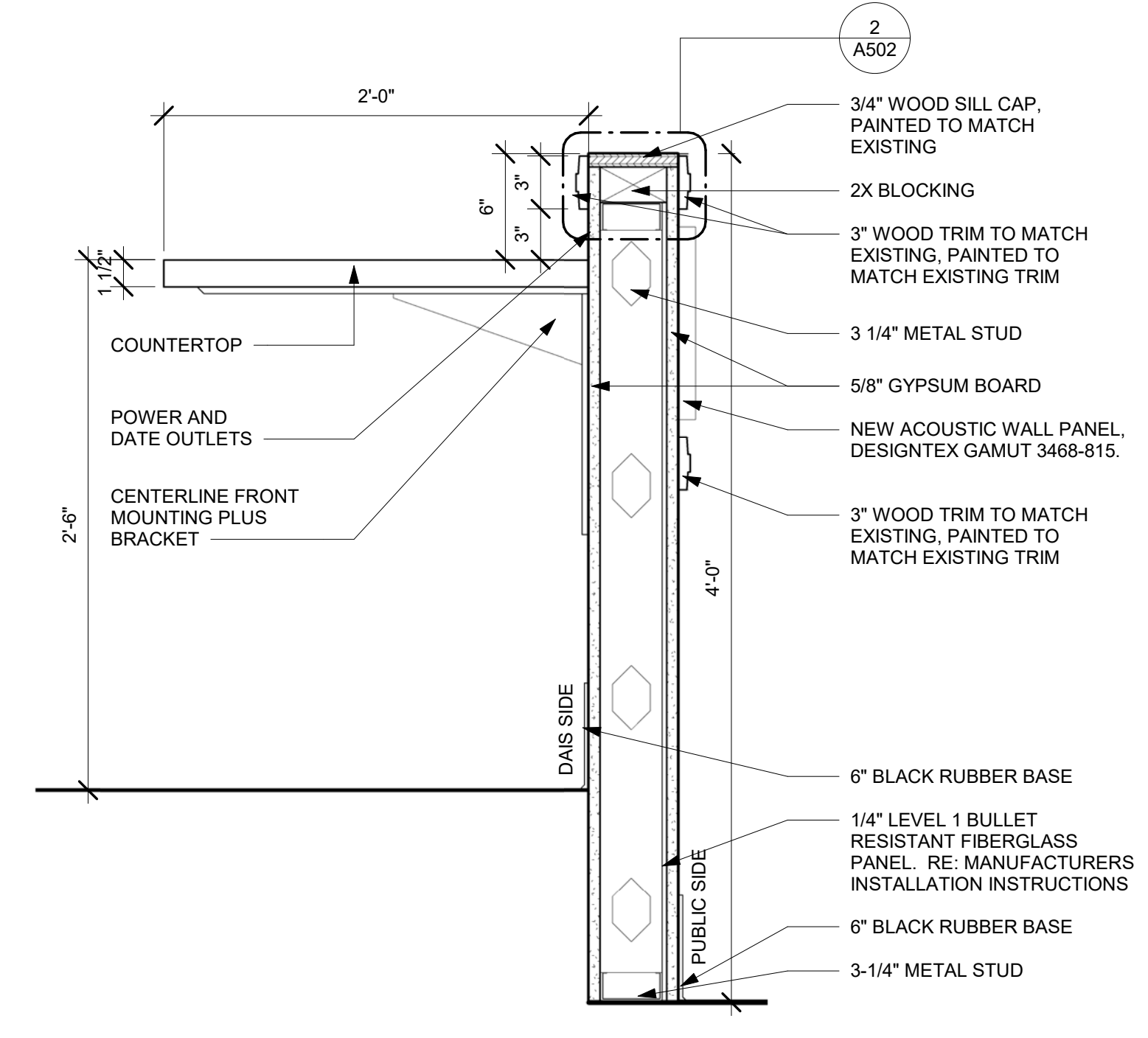
5 WALL TYPE E
A501 1" = 1'-0"



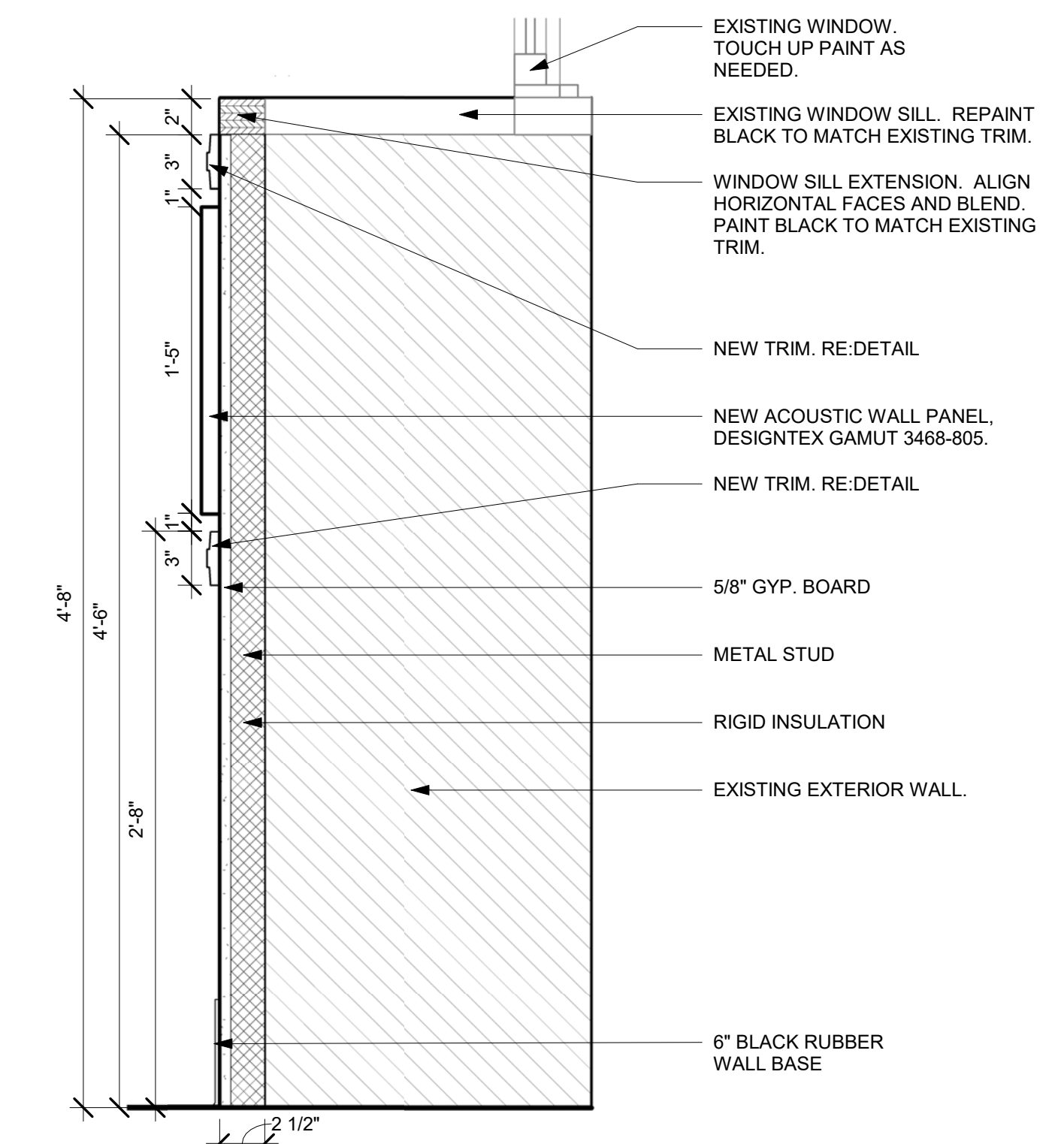
6 HEARING ROOM DAIS RAMP WALL SECTION
A501 1 1/2" = 1'-0"



7 HEARING ROOM DAIS HALF WALL SECTION
A501 1 1/2" = 1'-0"



8 HEARING ROOM DAIS COUNTERTOP SECTION
A501 1 1/2" = 1'-0"



9 EXTERIOR HEARING ROOM WALL SECTION @ EXISTING WINDOW
A501 1 1/2" = 1'-0"

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

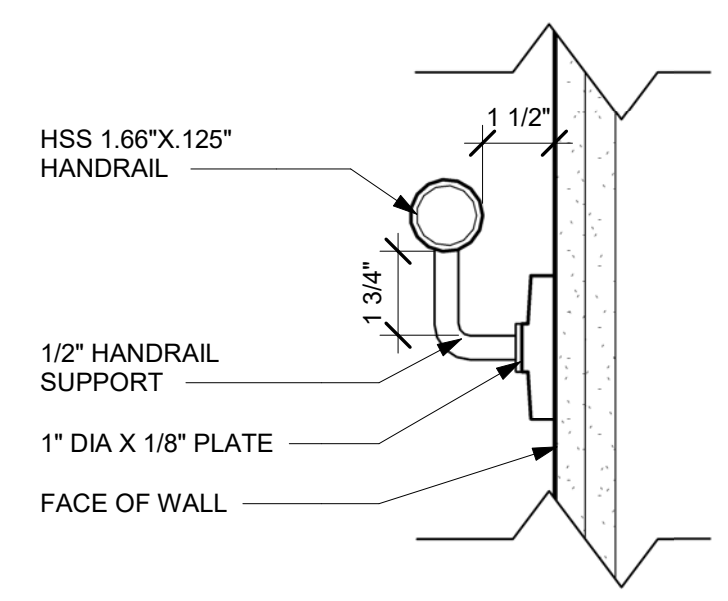
SHEET
WALL SECTIONS

FILE NAME
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Courthouse\PROJECTS\101420 - BOCC
HEARING ROOM &
SECURITY RESOURCES DRAWINGS\SYTCRT
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-2024

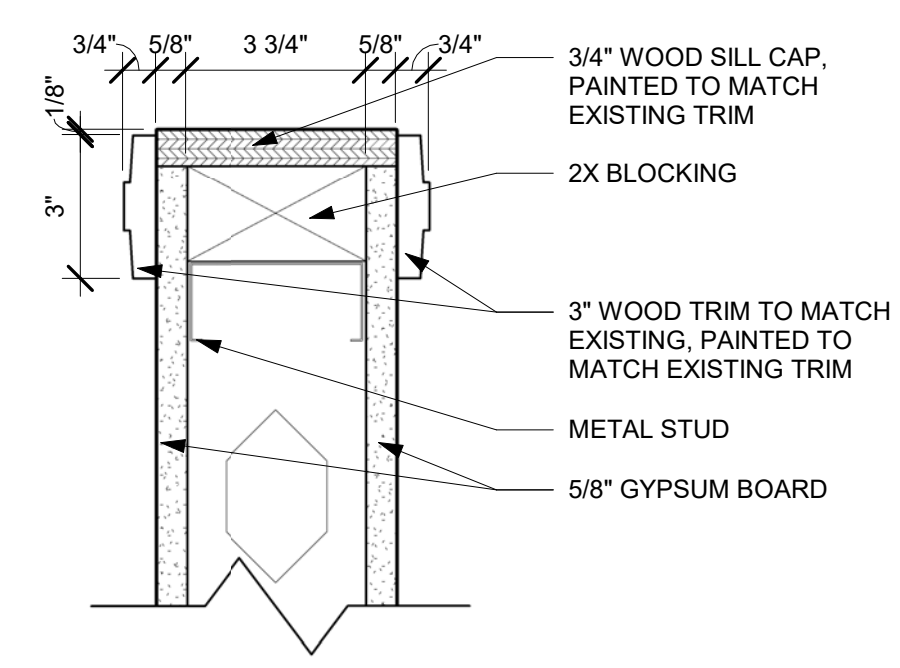
ACCT 100103
DATE: 12/29/20
DRAWN BY: MS
CHECKED BY: JB

REVISIONS

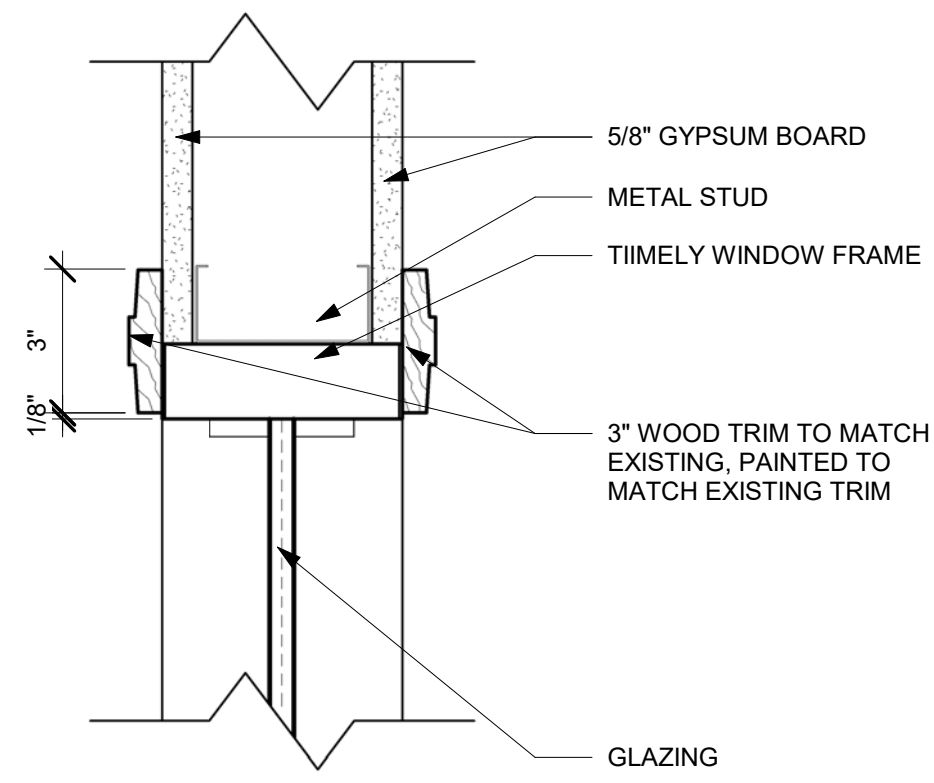
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A501



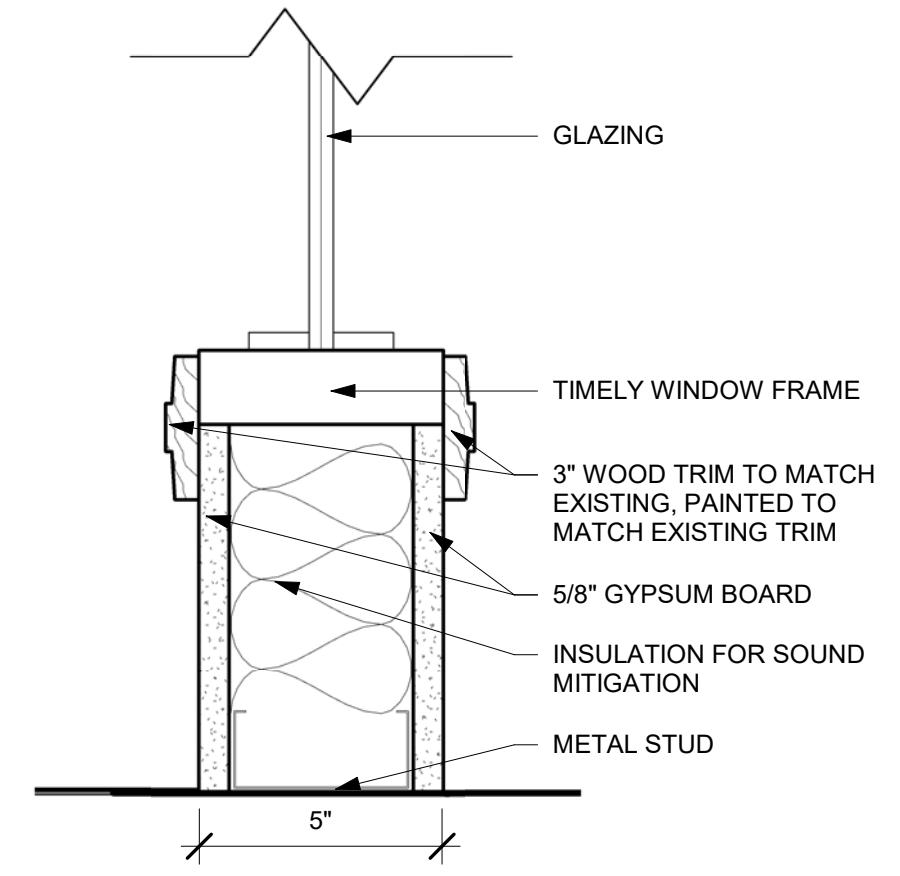
1
A502
HANDRAIL DETAIL
3" = 1'-0"



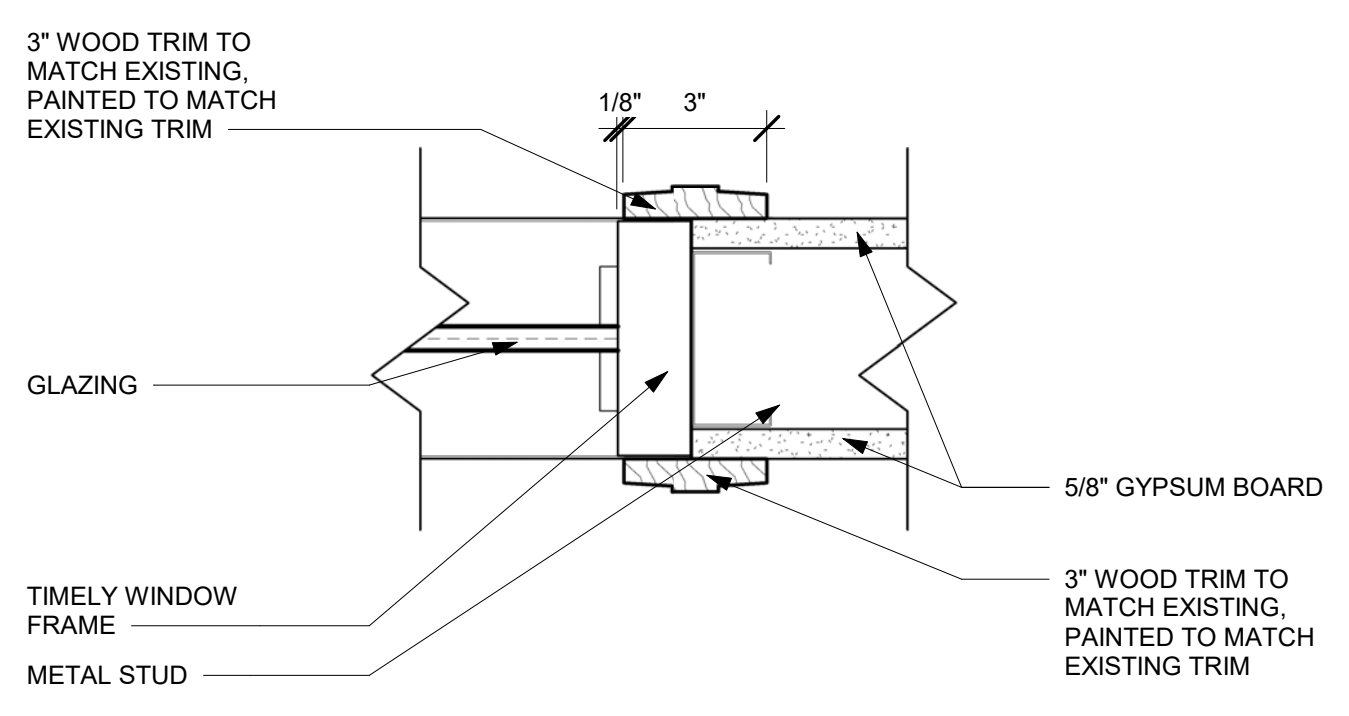
2
A502
LOW WALL CAP TYPICAL DETAIL
3" = 1'-0"



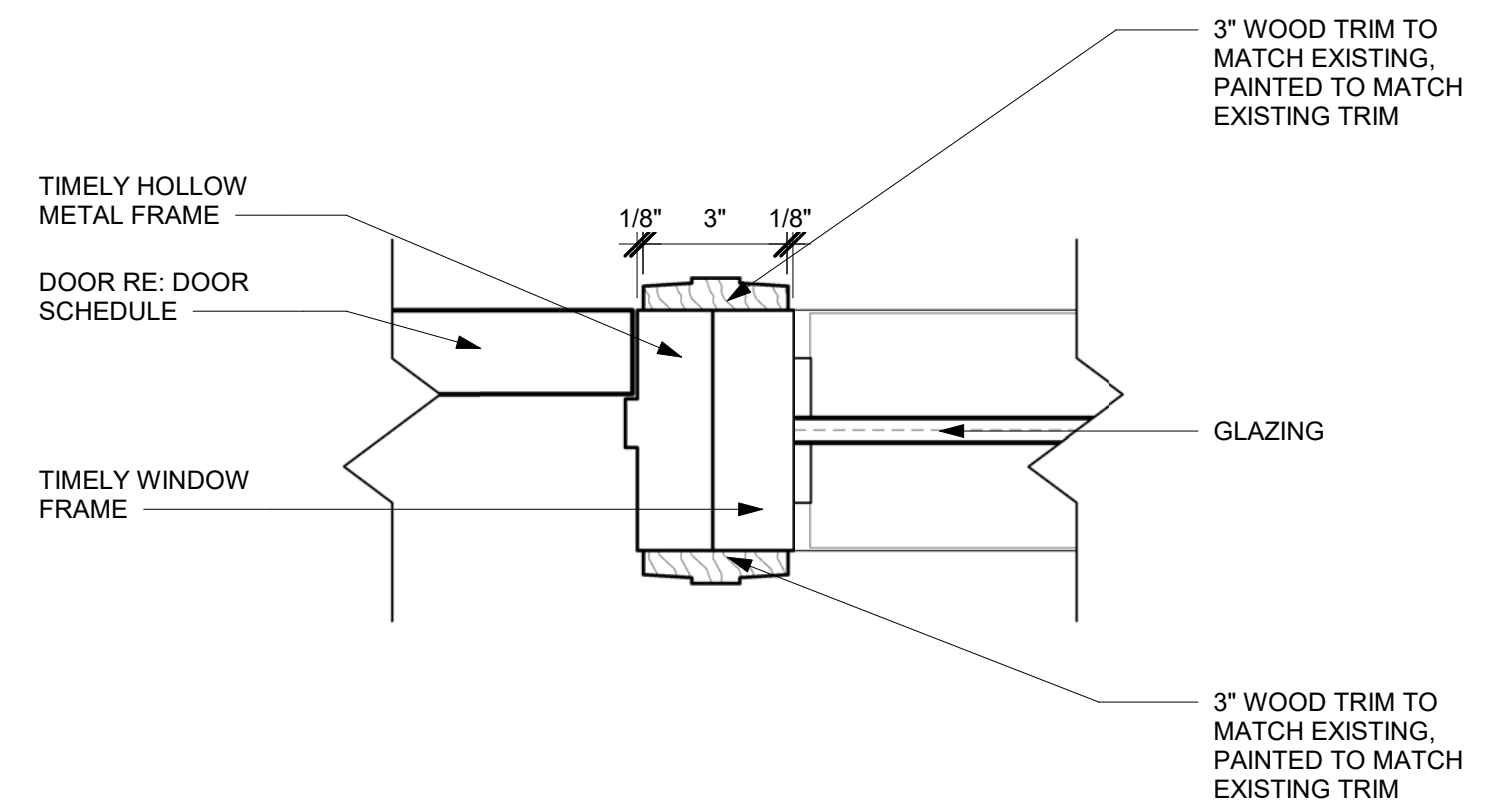
3
A502
GLAZING HEAD TYPICAL DETAIL
3" = 1'-0"



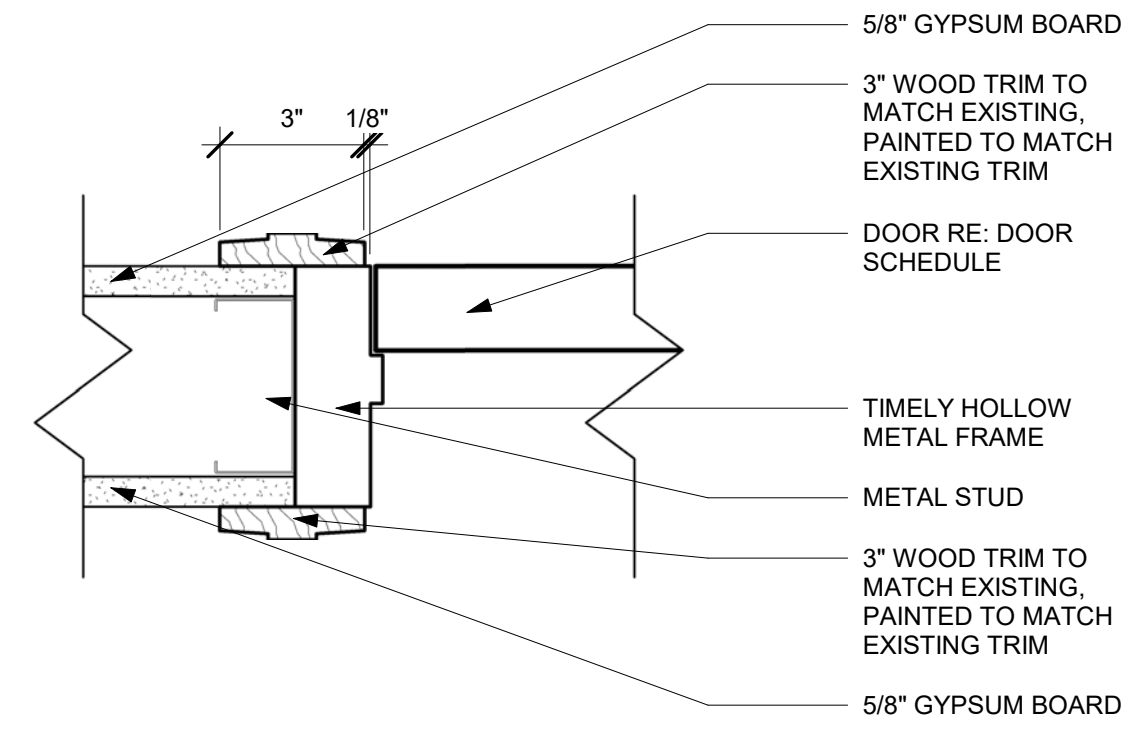
4
A502
GLAZING SILL TYPICAL DETAIL
3" = 1'-0"



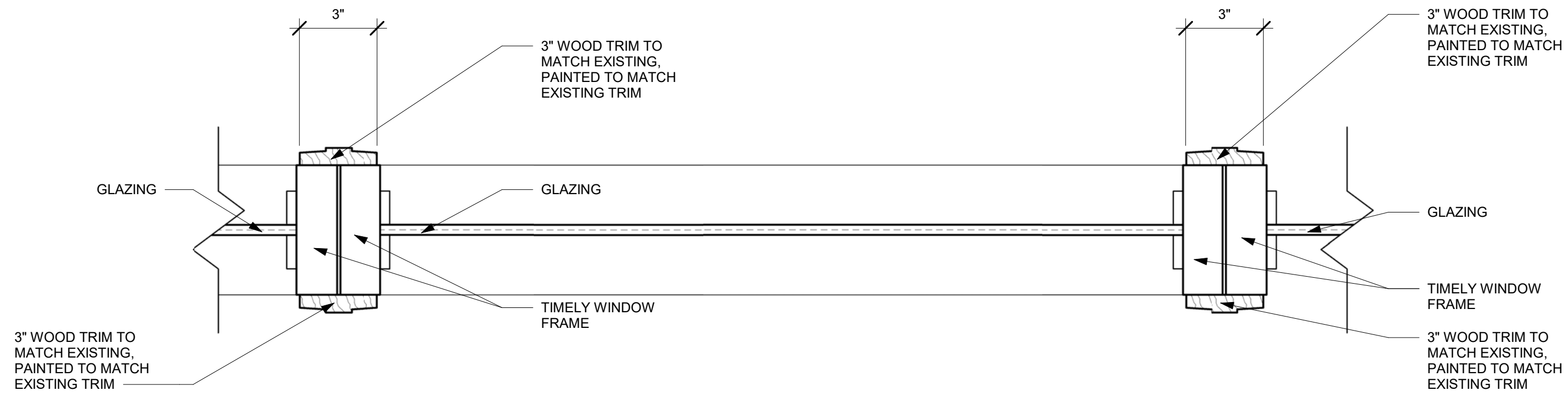
5
A502
GLAZING JAMB TYPICAL DETAIL
3" = 1'-0"



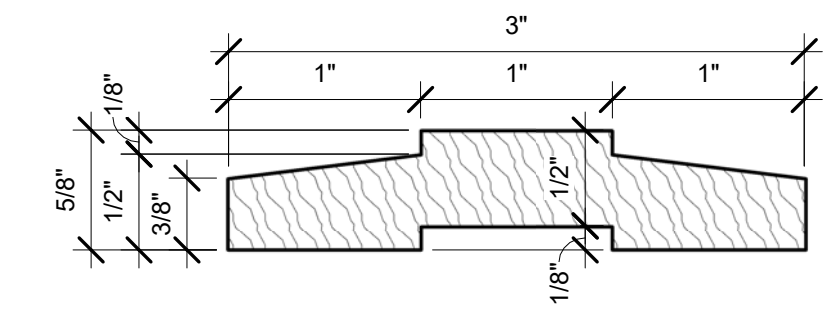
6
A502
DOOR TO GLAZING JAMB TYPICAL DETAIL
3" = 1'-0"



7
A502
DOOR JAMB/HEAD TYPICAL DETAIL
3" = 1'-0"



8
A502
GLAZING TO GLAZING MULLION TYPICAL DETAIL
3" = 1'-0"



9
A502
TRIM DETAIL
12" = 1'-0"



BUILDING SERVICES DIVISION
2020 13TH ST.
BOULDER, CO 80302
P.O. BOX 471 BOULDER, CO 80306
PHONE: 303.441.3187
mschoofs@bouldercounty.org



BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

SHEET
DETAILS

FILE NAME
G:\ASSET MANAGEMENT\1009-
Courthouse\PROJECTS\101420 - BOCC
HEARING ROOM &
SECURITY RESOURCES\DRAWINGS\TYC\CR1
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-2020.rvt
ACCT 100103
DATE: 12/29/20
DRAWN BY: Author
CHECKED BY: Checker

REVISIONS

SHEET
A502

BOCC 3RD FLOOR REMODEL DOOR AND FRAME SCHEDULE

OPG. NO.	DOORS						FRAMES				HDWE. GROUP	REMARKS
	WIDTH	HEIGHT	THICK	MAT.	FINISH	TYPE	MAT.	FINISH	TYPE	DEPTH		
300A	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	4A	TOUCH UP
300B	3'-0"	92-1/2"	1-3/4"	WOOD	PAINT	B	TIMELY*	BLACK	B	4 7/8"	4	PAINT TO MATCH OTHER EXISTING DOORS
300C	PR 3'-0"	84"	1-3/4"	WOOD	PAINT	E	TIMELY*	BLACK	E	4 7/8"	6	PAINT TO MATCH OTHER EXISTING DOORS
300D	3'-0"	92-1/2"	1-3/4"	WOOD	PAINT	C	TIMELY*	BLACK	C	4 7/8"	2	CARD ACCESS; CLOSER; PAINT TO MATCH OTHER EXISTING DOORS
300E	3'-0"	92-1/2"	1-3/4"	WOOD	PAINT	C	EX.	PAINT	EX.	EX.	2	CARD ACCESS; CLOSER; PAINT TO MATCH OTHER EXISTING DOORS
301A	PR 2'-6"	84"	1-3/4"	WOOD	PAINT	E	TIMELY*	BLACK	E	4 7/8"	6	PAINT TO MATCH OTHER EXISTING DOORS
302	3'-0"	84"	1-3/4"	WOOD	PAINT	A	TIMELY*	BLACK	A	4 7/8"	2A	CARD ACCESS; CLOSER; PAINT TO MATCH OTHER EXISTING DOORS
302A	3'-0"	84"	1-3/4"	WOOD	PAINT	A	TIMELY*	BLACK	A	4 7/8"	5	PAINT TO MATCH OTHER EXISTING DOORS
306	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	5	PAINT TO MATCH OTHER EXISTING DOORS
307	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	5	PAINT TO MATCH OTHER EXISTING DOORS
308	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	5	PAINT TO MATCH OTHER EXISTING DOORS
309	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	5	PAINT TO MATCH OTHER EXISTING DOORS
310	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	5	PAINT TO MATCH OTHER EXISTING DOORS
312	3'-0"	84"	1-3/4"	WOOD	PAINT	A	TIMELY*	BLACK	A	4 7/8"	5	PAINT TO MATCH OTHER EXISTING DOORS
313	3'-0"	84"	1-3/4"	WOOD	PAINT	C	TIMELY*	BLACK	C	4 7/8"	7	PAINT TO MATCH OTHER EXISTING DOORS
314	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	4A	TOUCH UP
316	3'-0"	84"	1-3/4"	WOOD	PAINT	A	TIMELY*	BLACK	A	4 7/8"	2A	CARD ACCESS; CLOSER; PAINT TO MATCH OTHER EXISTING DOORS
317	EX.	EX.	EX.	EX.	PAINT	EX.	EX.	PAINT	EX.	EX.	EX.	TOUCH UP PAINT, NO OTHER WORK
318	3'-0"	84"	1-3/4"	WOOD	PAINT	B	EX.	PAINT	EX.	EX.	3	PAINT TO MATCH OTHER EXISTING DOORS
318A	PR 3'-0"	84"	1-3/4"	WOOD	PAINT	E	TIMELY*	BLACK	E	4 7/8"	6A	PAINT TO MATCH OTHER EXISTING DOORS

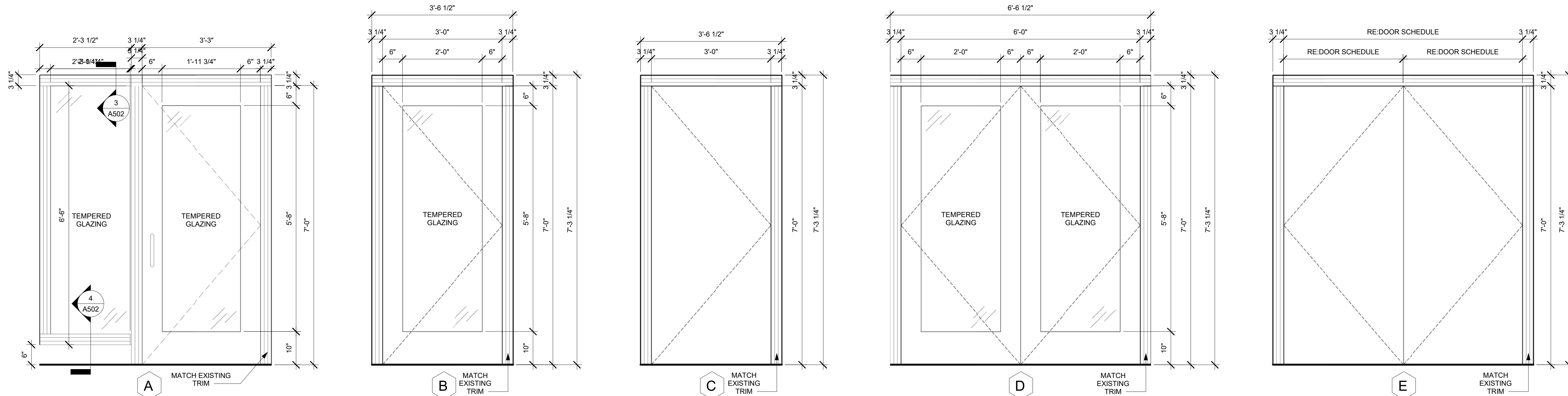
ASSESSORS REMODEL ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS								CEILING			REMARKS	
				NORTH		EAST		SOUTH		WEST		FINISH	MAT.	HEIGHT		
				FINISH	MAT.	FINISH	MAT.	FINISH	MAT.	FINISH	MAT.					
300	EX. HEARING ROOM	CPT	RB	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	EX.	EX.	EX.	TOUCH UP
300A	STORAGE	CPT	RB	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	SAC	SAC	8'-0"	-
301	EX. LOBBY	EX.	RB	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	EX.	TOUCH UP; REPLACE DAMAGED CEILING TILES; CLEAN GRID
301A	STORAGE	EX.	RB	PAINT	EX.	PAINT	GYP.	PAINT	GYP.	PAINT	EX.	PAINT	EX.	EX.	EX.	-
302	OFFICE AREA	CPT	RB	PAINT	EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	PAINT	EX.	SAC	SAC	10'-9"	REPAINT	
302A	OFFICE	CPT	RB	PAINT	GYP. EX.	PAINT	EX.	PAINT	EX.	PAINT	GYP. EX.	SAC	SAC	10'-9"	-	
306	EX. CONFERENCE RM.	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	EX.	TOUCH UP; REPLACE DAMAGED CEILING TILES; CLEAN GRID
307	EX. OFFICE	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	GYP.	PAINT	GYP.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
308	EX. OFFICE	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	GYP.	PAINT	GYP.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
309	FACE TO FACE RM.	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	GYP. EX.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
310	EX. OFFICE	CPT	RB	PAINT	GYP.	PAINT	EX.	PAINT	EX.	PAINT	GYP.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
311	HALL	CPT	RB	PAINT	EX.	PAINT	GYP.	PAINT	GYP. EX.	PAINT	EX.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
312	BREAK ROOM	RET	RB	PAINT	GYP.	PAINT	EX.	PAINT	EX.	PAINT	GYP.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
313	TOILET	RET	RB	PAINT	GYP. EX.	PAINT	EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
314	EX. CONFERENCE RM.	CPT	RB	PAINT	EX.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
315	RECEPTION	CPT	RB	PAINT	EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	SAC PAINT	SAC	EX.	VARIES	TOUCH UP AS NEEDED
316	OFFICE AREA	CPT	RB	PAINT	GYP. EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	PAINT	GYP. EX.	EX.	EX.	EX.	EX.	REPAINT; REPLACE DAMAGED CEILING TILES; CLEAN GRID
317	EX. STORAGE	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	EX.	TOUCH UP AS NEEDED
318	EX. AV OFFICE	CPT	RB	PAINT	EX.	PAINT	EX.	PAINT	EX.	PAINT	EX.	EX.	EX.	EX.	EX.	TOUCH UP AS NEEDED

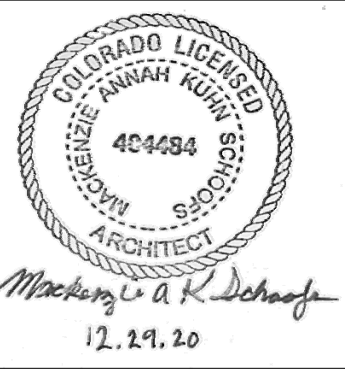
HARDWARE GROUPS

- 1. ENTRANCE EXISTING
- 2. CARD ACCESS
1 PASSAGE SET
1 WALL DOOR STOP
1 SURFACE CLOSURE
- 3. OFFICE LOCKING
1 ENTRANCE (AB) SET
1 WALL DOOR STOP
- 4. PUSH/PULL
1 PUSH/PULL PLATE SET
1 WALL DOOR STOP
1 CLOSER
- 5. OFFICE
1 PASSAGE SET
1 WALL DOOR STOP
- 6. STOREROOM
1 STOREROOM SET
1 WALL DOOR STOP
- 7. PRIVACY
1 PRIVACY SET
1 SURFACE CLOSER
- 8. CLASSROOM
1 CLASSROOM SET
1 SURFACE CLOSER

NOTE: ALL DOOR HARDWARE TO BE REPLACED WITH NEW LEVER SETS AS APPLICABLE. TOUCH UP OR REPAINT ALL FRAMES, AS NEEDED. CONSULT ARCHITECT FOR TOUCH UP/REPAINT COLORS.



BUILDING SERVICES DIVISION
2020 13TH ST.
BOULDER, CO 80302
P.O. BOX 471 BOULDER, CO 80306
PHONE: 303.441.3187
mschoofs@bouldercounty.org



12.29.20

BOULDER COUNTY
1325 PEARL STREET
COURTHOUSE 3RD FLOOR REMODEL

PROJECT
3RD FLOOR BOCC
REMODEL

LOCATION
1325 PEARL STREET
BOULDER, COLORADO
80302

SHEET
DOOR & FINISH SCHEDULES

FILE NAME
G:\ASSET MANAGEMENT\1009-
Courthouse\PROJECTS\101420-BOCC-
HEARING ROOM &
SECURITY SCREENING\SYTCRT
3RD FLOOR REMODEL 2020 PERMIT SET
12-29-2020.rvt

ACCT 100103
DATE: 12/29/20
DRAWN BY: MS
CHECKED BY: JB

REVISIONS

SHEET
A601

BOULDER COUNTY SAMPLE CONTRACT

THIS CONTRACT ("Contract") is entered into by and between the County of Boulder, State of Colorado, a body corporate and politic, acting by and through its Board of County Commissioners for the benefit of the [Department] ("County") and [Supplier] ("Contractor"). County and Contractor are each a "Party," and collectively the "Parties."

In consideration of the mutual covenants contained in this Contract, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

1. Incorporation into Contract: The **Details Summary** is incorporated into this Contract. The **Contract Documents** are incorporated into this Contract by reference, except to the extent that the Proposal, if any is incorporated, contains any obligations placed upon County and not otherwise contained in this Contract.

2. Work to be Performed: Contractor will provide all labor and equipment and do all tasks necessary and incidental to performing the work as described in the **Details Summary** and **Contract Documents** (the "Work"). Contractor will perform the Work (a) in a good and workmanlike manner, (b) at its own cost and expense, (c) in accordance with recognized industry standards of care, skill and diligence for the type of work being performed, and (d) in strict accordance with the Contract.

3. Term of Contract: The **Contract Term** begins on the **Start Date** and expires on the **Expiration Date**, unless terminated sooner. All the Work must be performed during the **Contract Term**.

4. Payment for Work Performed: In consideration of the Work performed by Contractor, and subject to conditions contained in this Contract, County will pay an amount not to exceed the **Contract Amount** to Contractor in accordance with the **Contract Documents**.

5. Invoicing: Contractor will promptly provide a copy of its Form W-9 and invoice template to County upon request. Contractor must submit an invoice to the County by the fifteenth (15th) day of the month following completion of the Work. All invoices submitted require the following components: Contractor's name and address (submitted W-9 address must match remit address), detailed description of services, dates of services, itemization of labor and materials costs, "Bill to: Boulder County" language, payment remittance address, payer, name and address, date of invoice, unique invoice number, and total amount due. Contractor must send all completed invoices to the **Invoice Contact** in the **Details Summary**. Email delivery is preferred by the County; County may require delivery of invoices by email. Failure to submit invoices in a timely manner and in accordance with the terms of this Contract may cause a delay in payment. County may recoup any damages incurred because of Contractor's failure to submit invoices pursuant to the terms of this paragraph. County's acceptance or payment of an invoice will not constitute acceptance of any Work performed under this Contract.

6. Extra Time to Complete the Work: If Contractor cannot complete the Work by the **Expiration Date**, Contractor may request extra time to complete the Work. County, in its sole discretion, may grant Contractor additional time to complete the Work and, if so, will provide

Contractor with written notice of the amount of extra time granted. County granting extra time to complete the Work will not entitle Contractor to additional compensation from County. This Contract will remain in full force and effect during any time period that Contractor is permitted to finish completing the Work.

7. Extension of Contract Term (Additional Work): Upon mutual agreement of the Parties, this Contract may be extended until the **Final End Date**. During any extended **Contract Term**, the terms of this Contract will remain in full force and effect, unless otherwise amended in writing by the Parties. Where the Contractor will provide additional services for additional compensation beyond the initial **Contract Amount**, the Parties must execute a written amendment before the then-current **Expiration Date**. If necessary, the written amendment will incorporate an updated Scope of Work and updated Fee Schedule as exhibits. Contractor must provide a current Certificate of Insurance to the County that complies with the **Insurance Requirements** of this Contract, if any, prior to any extended **Contract Term**.

8. Schedule of Work: County may designate the hours (on a daily or weekly basis) during which Contractor can perform the Work, strictly for the purposes of minimizing inconvenience to the County and interference with County operations. Contractor will otherwise set its own work schedule.

9. Indemnity: Contractor will be liable for any damages to persons or property caused by or arising out of the actions, obligations, or omissions of Contractor, its employees, agents, representatives or other persons acting under Contractor's direction or control in performing or failing to perform the Work under this Contract. Contractor will indemnify and hold harmless County, its elected and appointed officials, and its employees, agents and representatives (the "indemnified parties"), from any and all liability, claims, demands, actions, damages, losses, judgments, costs or expenses, including attorneys' fees, which may be made or brought or which may result against any of the indemnified parties as a result or on account of the actions or omissions of Contractor, its employees, agents or representatives, or other persons acting under Contractor's direction or control. This indemnification obligation will extend to claims based on Contractor's unauthorized use or disclosure of confidential information and intellectual property infringement. County will not be obligated to indemnify or defend Contractor under any circumstances. Contractor's obligations under this provision shall survive expiration or termination of this Contract.

10. Nondiscrimination: Contractor will comply with the letter and spirit of the Colorado Anti-Discrimination Act, C.R.S. § 24-34-401, et seq., as amended, and all applicable local, State and Federal laws concerning discrimination and unfair employment practices. County prohibits unlawful discrimination on the basis of race, color, religion, gender, gender identity, national origin, age 40 and over, disability, socio-economic status, sexual orientation, genetic information, or any other status protected by applicable Federal, State or local law. Contractor must require that its subcontractors, if any, similarly comply with all applicable laws concerning discrimination and unfair employment practices.

11. Information and Reports: Contractor will provide to authorized County, State, and Federal government representatives all information and reports that may be required for any purpose authorized by law. Contractor will permit access to such representatives to Contractor's facilities, books, records, accounts, and any other relevant sources of information. Where information required by a representative is in the exclusive possession of a person or entity other than Contractor, Contractor must so certify to the County and explain what efforts it has made to obtain the information.

12. Independent Contractor: Contractor is an independent contractor for all purposes in performing the Work. Contractor is not an employee of the County for any purpose, including the Federal Insurance Contribution Act, the Social Security Act, the Federal Unemployment Tax Act, the provisions of the Internal Revenue Code, the Colorado Workers' Compensation Act, the Colorado Unemployment Insurance Act, and the Public Employees Retirement Association. Accordingly, County will not withhold or pay any income tax, payroll tax, or retirement contribution of any kind on behalf of Contractor or Contractor's employees. As an independent contractor, Contractor is responsible for employing and directing such personnel and agents as it requires to perform the Work. Contractor will exercise complete authority over its personnel and agents and will be fully responsible for their actions.

13. Termination for Non-Appropriation: The other provisions of this Contract notwithstanding, the County is prohibited by law from making commitments beyond the current fiscal year. Payment to Contractor beyond the current fiscal year is contingent on the appropriation and continuing availability of funding in any subsequent year. County has reason to believe that sufficient funds will be available for the full **Contract Term**. Where, however, funds are not allocated for any fiscal period beyond the current fiscal year, County may terminate this Contract without penalty by providing seven (7) days' written notice to Contractor.

14. Termination for Breach: Either Party's failure to perform any of its material obligations under this Contract, in whole or in part or in a timely or satisfactory manner, will be a breach. The institution of proceedings under any bankruptcy, insolvency, reorganization or similar law, by or against Contractor, or the appointment of a receiver or similar officer for Contractor or any of its property, which is not vacated or fully stayed within thirty (30) days after the institution of such proceeding, will also constitute a breach. In the event of a breach, the non-breaching Party may provide written notice of the breach to the other Party. If the notified Party does not cure the breach, at its sole expense, within thirty (30) days after delivery of notice, the non-breaching Party may exercise any of its remedies provided under this Contract or at law, including immediate termination of this Contract.

15. Termination for Convenience: County may terminate this Contract, in whole or in part, for any reason, upon seven (7) days' advance written notice to Contractor.

16. Remedies for Non-Performance: If Contractor fails to perform any of its obligations under this Contract, County may, at its sole discretion, exercise one or more of the following remedies, which shall survive expiration or termination of this Contract:

a. Suspend Performance: County may require that Contractor suspend performance of all or any portion of the Work pending necessary corrective action specified by the County and without entitling Contractor to an increase in compensation or extension of the performance schedule. Contractor must promptly stop performance and incurring costs upon delivery of a notice of suspension by the County.

b. Withhold Payment Pending Corrections: County may permit Contractor to correct any rejected Work at the County's discretion. Upon County's request, Contractor must correct rejected work at Contractor's sole expense within the time frame established by the County. Upon completion of the corrections satisfactory to the County, County will remit payment to Contractor.

c. Deny Payment: County may deny payment for any Work that does not comply with the requirements of the Contract or that Contractor otherwise fails to provide or complete, as determined by the County in its sole discretion. Upon County request, Contractor will promptly refund any amounts prepaid by the County with respect to such non-compliant Work.

d. Removal: Upon County 's request, Contractor will remove any of its employees or agents from performance of the Work, if County, in its sole discretion, deems any such person to be incompetent, careless, unsuitable, or otherwise unacceptable.

17. Binding Arbitration Prohibited: County does not agree to binding arbitration by any extra-judicial body or person.

18. Conflicts of Interest: Contractor must not engage in any business or personal activities or practices or maintain any relationships that conflict in any way with the full performance of Contractor's obligations.

19. Notices: All notices provided under this Contract must be in writing and sent by Certified U.S. Mail (Return Receipt Requested), electronic mail, or hand-delivery to the other Party's **Contact** at the address specified in the **Details Summary**. For certified mailings, notice periods will begin to run on the day after the postmarked date of mailing. For electronic mail or hand-delivery, notice periods will begin to run on the date of delivery.

20. Statutory Requirements: This Contract is subject to all statutory requirements that are or may become applicable to counties or political subdivisions of the State of Colorado generally, including but not limited to: C.R.S. § 38-26-107, which requires withholding funds where the County receives a claim for payment from a supplier or subcontractor of Contractor upon notice of final settlement (required for public works contracts that exceed \$150,000); C.R.S. § 8-17-101 et seq.; C.R.S. § 18-8-301, et seq.; and C.R.S. § 18-8-401, et seq.

21. Public Contracts for Services (C.R.S. §§ 8-17.5-101, et seq.): Contractor hereby certifies, warrants, and agrees that it does not knowingly employ or contract with an illegal alien who will perform work under this Contract and further certifies that it will confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Contract by participating in the E-Verify Program established under Pub. L. 104-28 or the department verification program established under C.R.S. § 8-17.5-102(5)(c). Contractor (i) shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (ii) shall not enter into a contract with a subcontractor that fails to certify to the contractor that the subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this Contract; (iii) has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this Contract through participation in the E-Verify program or department program; (iv) is prohibited from using either the E-Verify program or department program procedures to undertake preemployment screening of job applicants while this Contract is being performed; and (v) shall comply with any reasonable request by the department made in the course of an investigation that the Colorado Department of Labor and Employment is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5). If Contractor obtains actual knowledge that a subcontractor performing work under this Contract knowingly employs or contracts with an illegal alien, Contractor shall (a) notify the subcontractor and County within three (3) days that Contractor has actual knowledge that subcontractor is employing or contracting with an illegal alien; and (b) terminate the subcontract if, within three (3) days of receiving notice hereunder, subcontractor does not stop employing or contracting with the illegal alien; except that Contractor shall not terminate the contract with the subcontractor if during such three (3) days the

subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien. Contractor's violation of this provision will constitute a material breach of this Contract, entitling the County to terminate the contract for breach. If this Contract is so terminated, Contractor shall be liable for actual and consequential damages to the County.

22. Entire Agreement/Binding Effect/Amendments: This Contract represents the complete agreement between the Parties and is fully binding upon them and their successors, heirs, and assigns, if any. This Contract terminates any prior agreements, whether written or oral in whole or in part, between the Parties relating to the Work. This Contract may be amended only by a written agreement signed by both Parties.

23. Assignment/Subcontractors: This Contract may not be assigned or subcontracted by Contractor without the prior written consent of the County. If Contractor subcontracts any of its obligations under this Contract, Contractor will remain liable to the County for those obligations and will also be responsible for subcontractor's performance under, and compliance with, this Contract.

24. Governing Law/Venue: The laws of the State of Colorado govern the construction, interpretation, performance, and enforcement of this Contract. Any claim relating to this Contract or breach thereof may only be brought exclusively in the Courts of the 20th Judicial District of the State of Colorado and the applicable Colorado Appellate Courts.

25. Breach: The failure of either Party to exercise any of its rights under this Contract will not be deemed to be a waiver of such rights or a waiver of any breach of the Contract. All remedies available to a Party in this Contract are cumulative and in addition to every other remedy provided by law.

26. Severability: If any provision of this Contract becomes inoperable for any reason but the fundamental terms and conditions continue to be legal and enforceable, then the remainder of the Contract will continue to be operative and binding on the Parties.

27. Third-Party Beneficiary: Enforcement of the terms and conditions and all rights and obligations of this Contract are reserved to the Parties. Any other person receiving services or benefits under this Contract is an incidental beneficiary only and has no rights under this Contract. Notwithstanding, where the beneficiary **Department** is led by an Elected Official, such Elected Official shall be considered a third-party beneficiary.

28. Colorado Open Records Act: County may disclose any records that are subject to public release under the Colorado Open Records Act, C.R.S. § 24-72-101, et seq.

29. Conflict of Provisions: If there is any conflict between the terms of the main body of this Contract and the terms of any of the **Contract Documents**, the terms of the main body of the Contract will control.

30. Governmental Immunity: Nothing in this Contract shall be construed in any way to be a waiver of the County's immunity protection under the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, et seq., as amended.

31. Representations and Warranties: Contractor represents and warrants the following:

- a. Execution of this Contract and performance thereof is within Contractor's duly authorized powers;
- b. The individual executing this Contract is authorized to do so by Contractor;
- c. Contractor is authorized to do business in the State of Colorado and is properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over the Work and the Contractor; and
- d. Contractor and its subcontractors, if any, are financially solvent, able to pay all debts as they mature, and have sufficient working capital to complete the Work and perform all obligations under the Contract.

32. Legal Compliance: Contractor assumes full responsibility for obtaining and maintaining any permits and licenses required to perform the Work. Contractor's performance under this Contract and the Work itself will comply with all Federal, State, and local laws, regulations, ordinances and codes.

33. Litigation Reporting: Contractor is not currently involved in any action before a court or other administrative decision-making body that could affect Contractor's ability to perform the Work. Contractor will promptly notify the County if Contractor is served with a pleading or other document in connection with any such action.

34. Tax Exemption: County is exempt from payment of Federal, State, and local government taxes. Contractor shall collect no tax from the County, and the County shall not be liable to pay any taxes imposed on Contractor. County shall provide its tax exemption status information to Contractor upon request.

35. Delegation of Authority: The Parties acknowledge that the Board of County Commissioners has delegated authority to the Department Head or Elected Official that leads the beneficiary **Department** and their designees to act on behalf of the County under the terms of this Contract, including but not limited to the authority to terminate this Contract.

36. Ownership of Work Product: All work product, property, data, documentation, information or materials conceived, discovered, developed or created by Contractor pursuant to this Contract ("Work Product") will be owned exclusively by the County. To the extent possible, any Work Product will be deemed to be a work made for hire. Contractor unconditionally and irrevocably transfers and assigns to the County all right, title and interest in and to any Work Product.

37. Publicity Releases: Contractor will not refer to this Contract or the County in commercial advertising without prior written consent of the County. This provision shall survive expiration or termination of this Contract.

38. Execution by Counterparts; Electronic Signatures: This Contract may be executed in multiple counterparts, each of which will be deemed an original, but all of which will constitute one agreement. The Parties approve the use of electronic signatures, governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24 71.3 101 to 121. The Parties will not deny the legal effect or enforceability of this Contract solely because it is in electronic form or because an electronic record was used in its creation. The Parties will not object to the admissibility of this Contract in the form of electronic record, or paper copy of an electronic document, or paper copy of a document bearing an electronic signature, because it is not in its original form or is not an original.

39. Limitation on Public Statements and Lobbying Activity. During the term of this Contract, Contractor may receive from the County its confidential data, work product, or other privileged or confidential information that is protected by law. To maintain the fact and appearance of absolute objectivity, Contractor shall not, without the prior written consent of the County, which shall not be unreasonably withheld, do any of the following: (a) disclose information obtained because of this contractual relationship to any third party; (b) lobby any State or Federal agency on any pending matter while this Contract is effective; or (c) make any public statements or appear at any time to give testimony at any public meeting on the subject matters regarding which Contractor is or was retained by the County. County may set reasonable conditions on any disclosure authorized by the County under this provision. Notwithstanding, Contractor may make disclosures as required by law, and to law enforcement officials in connection with any criminal justice investigation.

40. Sustainability: County encourages Contractor to consider the procurement and use of environmentally preferable products and services while performing services under this Contract. "Environmentally preferable purchasing" means making purchasing choices for products and services that have a lesser or reduced adverse effect on human health and the environment when compared with competing products and services that serve the same purpose. Environmentally preferable purchasing is consistent with the County's commitment to protecting our air, water, soil, and climate for current and future generations. County encourages Contractor to incorporate the following actions into Contractor's performance of the Work: environmentally preferable supplies and services; conservation of water; efficient energy use; waste prevention; reuse and recycle construction and de-construction materials in a manner that maximizes reuse of materials; sustainable transportation choices, including consideration to business communication software such as Skype alternative to air travel and public transit or carpooling for in-person meetings; pollution prevention; low toxicity for public health & safety; and reduced emissions to address climate change.

41. Insurance Requirements: Prior to commencing the Work, Contractor will provide a Certificate of Insurance to the County demonstrating adequate insurance coverage as required by this paragraph. All policies evidencing coverage required by the Contract will be issued by insurance companies satisfactory to the County. Contractor will forward Certificates of Insurance directly to the **County Department** and **Contact** listed in the **Details Summary**.

a. For the entire duration of this Contract including any extended or renewed terms, and longer as may be required by this Contract, Contractor shall procure and maintain at its own expense, and without cost to the County, the following kinds and minimum amounts of insurance to insure the liability risks that Contractor has assumed under this Contract:

i. **Commercial General Liability**

Non-Construction contracts use the following language:

This coverage should be provided on an Occurrence Form, ISO CG001 or equivalent, with Minimum limits of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products Completed Operations Aggregate.

Construction Contracts only – include the following paragraph:

Coverage should be provided on an Occurrence form, ISO CG0001 or equivalent. The policy shall be endorsed to include Additional Insured Owners, Lessees or Contractors

endorsements CG 2038 (or equivalent), Designated Construction Project(s) General Aggregate Endorsement CG2503 (or equivalent) and Additional Insured Completed Operations for Owners, Lessees or Contractors CG 2037 (or equivalent). Minimum limits required of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products/Completed Operations Aggregate. The County requires the Products/Completed Operations coverage to be provided 3 years after completion of construction. An endorsement must be included with the certificate.

ii. **Automobile Liability**

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

This coverage may not be required if Contractor is not using a vehicle as part of its performance under the contract. Contact Risk Management with any questions.

iii. **Workers' Compensation and Employer's Liability**

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

This coverage may not be required if contractor is not mandated under State law to maintain this coverage. A waiver is available on the contracts routing website.

iv. **Umbrella / Excess Insurance**

Umbrella/Excess Liability insurance in the amount \$[X],000,000.00, following form.

This insurance is a broad, high-limit policy, which acts more than the underlying primary insurance policy. This coverage is designed to provide additional liability limits beyond the primary insurance limits and is triggered upon the underlying limits becoming exhausted. Umbrella / Excess insurance is most commonly required when an exposure to the County could potentially create liabilities in excess of the basic insurance limits. The most common limits for these policies range from \$2,000,000 to \$5,000,000.

Please consult with Risk Management if you feel this coverage should be required.

IN ADDITION TO THE ABOVE, ONE OR MORE OF THE FOLLOWING FOUR (4) INSURANCE COVERAGES MAY BE REQUIRED. CONTACT RISK MANAGEMENT IF YOU HAVE QUESTIONS ABOUT WHICH INSURANCE COVERAGE TO INCLUDE. DELETE THIS INSTRUCTION (AND ANY INAPPLICABLE INSURANCE PARAGRAPHS) WHEN FINALIZING THE CONTRACT:

v. **Professional Liability (Errors and Omissions)**

All contractors required to be professionally certified by the State of Colorado (i.e., architects, engineers, doctors, nurses, etc.) and/or any consultants whose errors in judgment, planning, design, etc. could result in economic loss to the County

must provide proof of professional liability coverage. This also applies to anyone managing or overseeing construction.

Professional liability coverage with minimum limits of \$1,000,000 Per Loss and \$1,000,000 Aggregate. Professional Liability provisions indemnifying for loss and expense resulting from errors, omission, mistakes or malpractice is acceptable and may be written on a claims-made basis. The contractor warrants that any retroactive date under the policy shall precede the effective date of this Contract; and that either continuous coverage will be maintained or an extended discovery period will be exercised for a period of two (2) years beginning at the time work under this Contract is completed.

vi. **Pollution Liability**

This coverage is required whenever work under the contract involves pollution risk to the environment or losses caused by pollution conditions (including asbestos) that may arise from the operations of the Contractor described in the Contractor's scope of services.

Coverage pay for those sums the Contractor becomes legally obligated to pay as damages because of Bodily Injury, Property Damage or environmental Damage arising out of a pollution incident caused by the Contractor's work including Completed Operations. Coverage shall include emergency response expenses, pollution liability during transportation (if applicable) and at Non-Owned Waste Disposal Site (if applicable). The Minimum limits required are \$1,000,000 Per Occurrence/Loss and \$1,000,000 Policy Aggregate. If the coverage is written on a claims-made basis, the Contractor warrants that any retroactive date applicable to coverage under the policy precedes the effective date of this Contract; and that continuous coverage will be maintained or an extended discovery period will be exercised for a period of three (3) years beginning from the time that work under this contract is completed. County shall be named as an additional insured for ongoing operations and completed operations.

vii. **Third Party Commercial Crime Insurance / Third Party Fidelity Bond**

Crime / Third Party Fidelity covers the contractor and the contractor's employees when engaged in work for a client on behalf of the County. This coverage is for employee dishonesty, theft, embezzlement, forgery and alteration. Coverage is required when the contractor will be handling money or collecting fees on behalf of the County or when the contractor has access to client's personal property and/or documentation

The Crime limit shall be \$1,000,000 Per Loss and include an endorsement for "Employee Theft of Client Property". In order to provide coverage to County during the course of this contract, Commercial Crime policies must be endorsed to cover Third Party Fidelity. Third party fidelity covers the vendor's employees when engaged in work for a client. In addition, the County will be listed as loss payee on the commercial crime coverage. This third-party coverage can also be provided by obtaining a third-party fidelity bond.

viii. **Privacy / Cyber Liability Insurance**

As a provider of a service which *may* require the knowledge and retention of personal identifiable information including but not limited to, names, dates of birth, social security

numbers, usernames, and passwords, and/or HIPAA sensitive personal information of clients served, the following minimum insurance limits are required:

Contractors with 10 or fewer County clients:	\$50,000
Contractors with 11 – 15 County clients:	\$500,000
Contractors with more than 25 County clients:	\$1,000,000

If the scope does not pertain to clients directly, contact Risk Management for appropriate language.

ix. **Sexual Abuse and Molestation Coverage**

As a provider of a service which has contact with individuals that are part of a sensitive population and are in a position of trust the following minimum insurance limits are required:

Contractors with 5 or fewer County clients:	\$100,000
Contractors with 6-10 County clients:	\$250,000
Contractors with 11-15 County clients:	\$500,000
Contractors with 16 or more County clients:	\$1,000,000

If the number of clients increases during the contract period, the required coverage limit will increase to correspond accordingly.

If the scope does not pertain to clients directly, contact Risk Management for appropriate language.

THE STATED INSURANCE LIMITS FOR ALL COVERAGES ARE MINIMUM AMOUNTS; DEPENDING ON THE CONTRACT, HIGHER LIMITS MAY BE REQUIRED OR ADVISABLE. CONTACT RISK MANAGEMENT IF YOU HAVE ANY QUESTIONS ABOUT MINIMUM LIMITS. DELETE THIS PARAGRAPH WHEN FINALIZING THE CONTRACT.

b. Boulder County as Additional Insured: Boulder County shall be named as an additional insured for General Liability, Umbrella/Excess Liability, and Pollution Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS: *County of Boulder, State of Colorado, a body corporate and politic, is named as Additional Insured.*

c. Notice of Cancellation: Each insurance policy required by this Contract shall provide the required coverage and shall not be suspended, voided or canceled except after thirty (30) days' prior written notice has been given to the County except when cancellation is for non-payment of premium, then ten (10) days' prior notice may be given. If any insurance company refuses to provide the required notice, Contractor or its insurance broker shall notify the County any cancellation, suspension, or nonrenewal of any insurance policy within seven (7) days of receipt of insurers' notification to that effect.

d. Insurance Obligations of County: County is not required to maintain or procure any insurance coverage beyond the coverage maintained by the County in its standard course of business. Any insurance obligations placed on the County in any of the **Contract Documents** shall be null and void.

e. Deductible: Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of Contractor.

f. Primacy of Coverage: Coverage required of Contractor and its subcontractors, if any, shall be primary over any insurance or self-insurance program carried by the County.

g. Subrogation Waiver: All insurance policies in any way related to this Contract secured or maintained by Contractor as required herein shall include clauses stating that each carrier shall waive all rights of recovery, under subrogation or otherwise, against County, its organizations, officers, agents, employees, and volunteers.

[Signature Page to Follow]

IN WITNESS WHEREOF, the Parties have executed and entered into this Contract as of the latter day and year indicated below.

SIGNED for and on behalf of Boulder County	SIGNED for and on behalf of Contractor
Signature:	Signature:
Name:	Name:
Title:	Title:
Date:	Date:
<i>↓↓ For Board-signed documents only ↓↓</i>	
Attest:	<i>Initials</i>
Attestor Name:	
Attestor Title:	