

ARCHITECTUAL NARRATIVE:

THE WILLOUGHBY CORNER DEVELOPMENT IS LOCATED AT THE INTERSECTION OF SEVERAL DIVERSE NEIGHBORHOODS WITH A VARIETY OF DESIGN INFLUENCES. THE NORTH BOUNDARY OF THE PROPERTY IS FORMED BY THE EAST END OF EMMA STREET, ONE OF THE MAIN EAST-WEST ROADS IN THE HISTORIC OLD TOWN DISTRICT OF LAFAYETTE. THE EAST BOUNDARY IS 120TH STREET WHICH IS A BUSY THOROUGHFARE WITH SMALL, DISPERSED RESIDENTIAL AND AGRICULTURAL BUILDINGS TO THE EAST. A LARGE INDUSTRIAL BUILDING ABUTS THE SOUTH EDGE OF THE PROPERTY, WHILE TO THE WEST-SOUTHWEST LIES THE PEAK-TO-PEAK CHARTER SCHOOL CAMPUS. WITHIN SUCH AN ECLECTIC NEIGHBORHOOD, WILLOUGHBY CORNER WILL EMPLOY A DECIDEDLY RESIDENTIAL AESTHETIC IN THE OVERALL FORM AND MATERIALS OF THE BUILDINGS.

MID-SIZE APARTMENT FLATS IN LAND USE AREA 'D' ARE LIMITED TO TWO STORIES IN HEIGHT WITH WALK-UP UNITS ON THE GROUND FLOOR AND PARKING UNDERNEATH A SECOND STORY OF UNITS. THE LARGEST APARTMENT BUILDINGS ARE LOCATED ALONG THE SOUTH EDGE OF THE SITE IN LAND USE AREAS 'E' AND 'F', AND ARE THREE STORIES IN HEIGHT. IN LAND USE AREA 'C' IN THE CENTER OF WILLOUGHBY CORNER, THE COMMUNITY BUILDING PROVIDES ADMINISTRATIVE OFFICES AND COMMUNAL GATHERING SPACE ADJACENT TO A VARIETY OF OUTDOOR AMENITIES AND THE MAIN BUS STOP.

TO BETTER ENGAGE THE NEIGHBORHOOD AND CREATE A LIVABLE, CONNECTED COMMUNITY, EACH OF THE BUILDING TYPOLOGIES FEATURES PORCHES, PATIOS, AND/OR BALCONIES. THE MID-SIZE APARTMENT FLATS FEATURE PARTIALLY COVERED PATIOS AS A SECONDARY ENTRANCE TO EACH GROUND FLOOR UNIT, AND SECOND LEVEL BALCONIES FOR THE UPPER UNITS. THE LARGE APARTMENT BUILDINGS SIMILARLY INCLUDE PATIOS WITH PARTIALLY COVERED SECONDARY ENTRANCES TO THE GROUND FLOOR UNITS. THE UPPER-LEVEL APARTMENTS FEATURE LARGE PICTURE WINDOWS TO BRING IN AIR AND LIGHT TO THE UNITS WITHOUT DIRECT ACCESS TO THE GROUND FLOOR.

THE ARCHITECTURAL FEATURES ARE DIVERSE AND ECLECTIC WITH A CREATIVE USE OF COMMON ELEMENTS. PREDOMINANT ROOF FORMS FEATURE PITCHED ROOFS THROUGHOUT THE SITE, WITH A VARIETY OF SLOPES OFFERING DISTINCTIONS BETWEEN DIFFERENT BUILDING TYPES. LARGE ROOF AREAS ARE BROKEN UP INTO SMALLER FORMS TO REDUCE THE OVERALL MASS OF THE BUILDINGS. THE APARTMENT BUILDINGS CONTAIN FLAT ROOF AREAS TO ACCOMMODATE MECHANICAL EQUIPMENT AND PHOTOVOLTAIC SYSTEMS, WITH PITCHED ROOFS FACING THE STREETS AND COMMUNITY SPACES. THE PRIMARY ROOFING MATERIALS ARE SHINGLES WITH METAL ROOF ACCENTS AND MEMBRANE ROOFING AT FLAT AREAS.

EXTERIOR BUILDING MATERIALS ARE PRIMARILY FIBER CEMENT SIDING IN KEEPING WITH THE RESIDENTIAL CHARACTER OF THE OVERALL NEIGHBORHOOD. A MIX OF HORIZONTAL LAP SIDING, VERTICAL BOARD-AND-BATTEN SIDING, PANEL SIDING, AND OTHER ACCENT SIDING MATERIALS AND TRIM PROVIDE VARIETY TO THE BUILDING TYPES. THE MID-SIZE APARTMENT FLATS INCLUDE COLOR ACCENTS AT THE PRIMARY ENTRANCES FOR WAYFINDING. THE LARGER APARTMENT BUILDINGS FEATURE BRICK MASONRY IN EARTHY COLORS TO FORM A SOLID, DURABLE BASE. RESIDENTIAL WINDOWS WILL BE VINYL OR FIBERGLASS AND COMMON AREA WINDOWS WILL BE OF ALUMINUM STOREFRONT, WITH ENERGY-EFFICIENT DETAILING. IN ADDITION TO THEIR AESTHETIC QUALITIES, THE EXTERIOR MATERIALS ARE SELECTED FOR DURABILITY AND FIRE-RESISTANT PROPERTIES.

PROJECT SUMMARY:

THE PHASE 1 SITE PLAN FOR WILLOUGHBY CORNER INCLUDES 192 PERMANETLY AFFORDABLE APARTMENTS, INCLUDING 63 UNITS AGE-RESTRICTED FOR RESIDENTS 55+; SURFACE AND TUCK-UNDER PARKING; A 4300 SF COMMUNITY BUILDING; PARK, GARDEN AND RECREATION AREAS ON PARCELS C, D, E, F; AND OUTLOTS I, J, AND K OF THE WILLOUGHBY CORNER PUD. THIS SITE PLAN INCLUDES AN RTD TRANSIT STOP ON CANTERBURY DR. AND OTHER MOBILITY INFRASTRUCTURE AMENITIES.

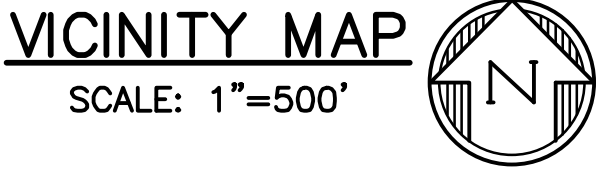
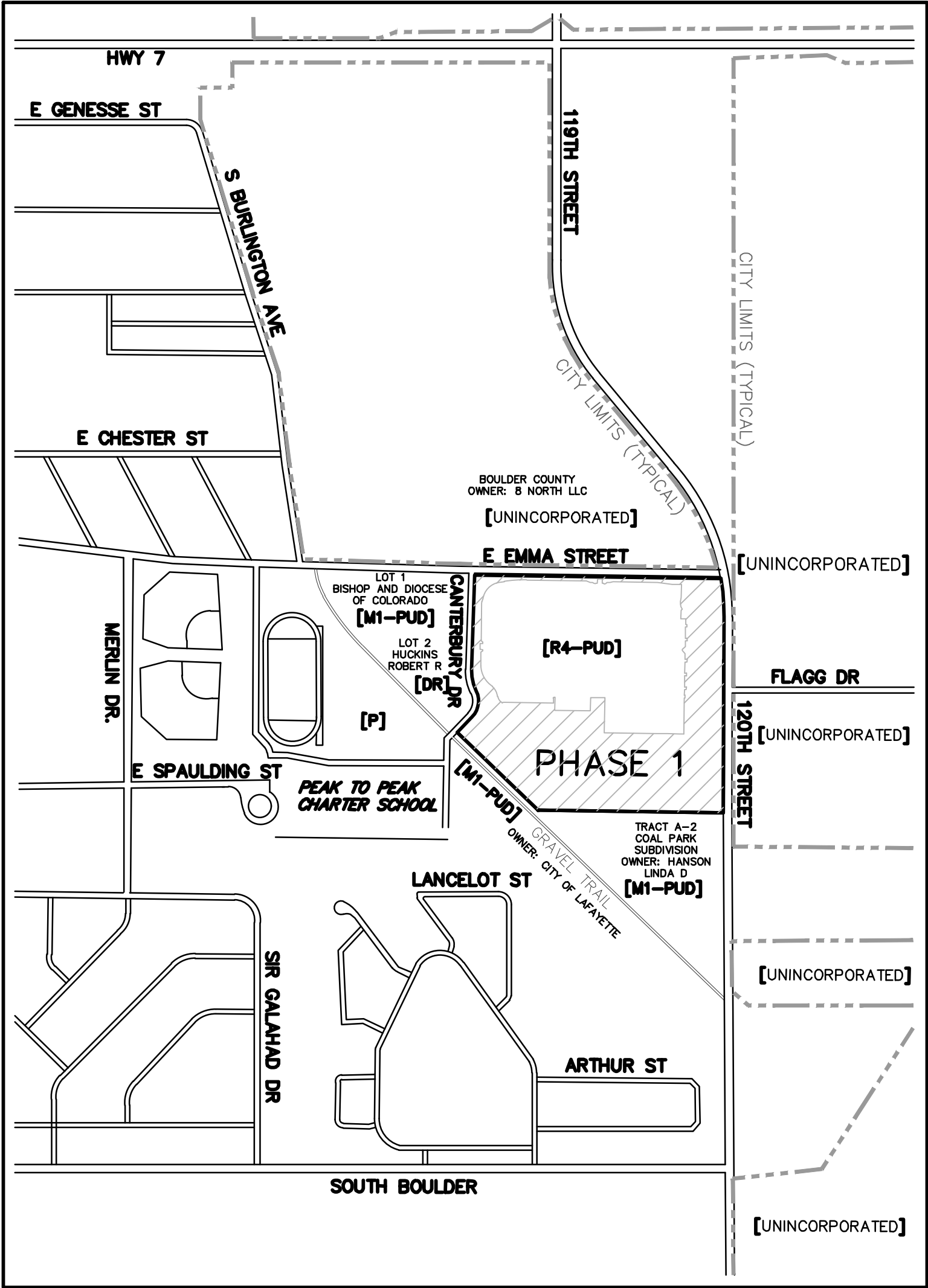
ZONING:

EXISTING ZONING: R-4 (RESIDENTIAL HIGH-DENSITY)

CODE MODIFICATIONS:

CODE MODIFICATIONS APPLICABLE TO THIS SITE PLAN ARE BASED ON THOSE APPROVED WITH THE FINAL PUD AND ALSO INCLUDES:

- 1. PARKING STALL LENGTHS REDUCED FROM 19' TO 18'.
- 2. STREET TREES MAY BE PLANTED AT DISTANCES VARYING FROM THE REQUIRED 40' SPACING.



LEGAL DESCRIPTION:

A TRACT OF LAND LOCATED IN THE SE1/4 OF SECTION 2, T1S, R69W OF THE 6TH P.M., CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J, K OF THE WILLOUGHBY CORNER SUBDIVISION, CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

DEVELOPMENT TEAM:

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BOULDER COUNTY HOUSING AUTHORITY
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APPROVED:

CITY ENGINEER _____ DATE _____

REVIEW IS FOR GENERAL CONFORMANCE WITH THE CITY OF LAFAYETTE "STANDARDS AND SPECIFICATIONS," LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL ENGINEER SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.



WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

GENERAL NOTES

1. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY, OR PUBLIC EASEMENTS SHALL CONFORM TO THE CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS.
2. SIGNS AND MARKINGS INSTALLED IN THE RIGHT-OF-WAY TO COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION EDITION.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
4. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK MUST BE BROUGHT TO CURRENT CITY STANDARDS PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
5. PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL ACQUIRE ANY NECESSARY PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS AS REQUIRED BY ORDINANCE.
6. CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE CITY OF LAFAYETTE TO OBTAIN ALL NECESSARY LOCATES 48 HOURS BEFORE CONSTRUCTION BEGINS.
7. NO VARIANCE FROM THE SPECIFICATIONS AND NOTES HEREIN SHALL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF LAFAYETTE.
8. ALL PHASES OF THE WORK SHALL BE INSPECTED AND APPROVED BY THE CITY OF LAFAYETTE.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING FEATURES TO REMAIN PRIOR TO THE BEGINNING OF WORK. ALL ITEMS DAMAGED OR DISTURBED SHALL BE REPAIRED OR REPLACED IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL CONTRACT COST.
2. DRAINAGE STRUCTURES SHALL NOT BE REMOVED UNTIL SATISFACTORY ARRANGEMENTS HAVE BEEN MADE TO ACCOMMODATE TRAFFIC AND DRAINAGE.
3. WHERE PORTIONS OF IMPROVEMENTS ARE TO BE REMOVED, THE PORTIONS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ALL DAMAGE TO STRUCTURES DESIGNATED TO REMAIN IN PLACE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. EXISTING IMPROVEMENTS, SUCH AS PAVEMENT, SIDEWALKS, CURBS, THE CONTRACTOR SHALL SAW CUT AT LIMITS OF REMOVAL TO A TRUE LINE, WITH A VERTICAL FACE AND TO A MINIMUM DEPTH OF 2-INCHES OR TO THE DEPTH OF THE REINFORCING STEEL, WHICHEVER OCCURS FIRST. IF THE EDGE IS DAMAGED DURING CONSTRUCTION, IT SHALL BE RE-CUT PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.
5. SAW CUTS MAY DEVIATE SLIGHTLY FROM THE DESIGN IF A CONTROL JOINT IS WITHIN A REASONABLE DISTANCE FROM THE SAW CUT AS SHOWN ON THIS PLAN. COSTS ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF ANY ADDITIONAL CURB, GUTTER, OR SIDEWALK THAT IS REQUIRED DUE TO DEVIATIONS IN THE SAW CUT LOCATION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. COORDINATE ANY SHUTDOWN OF EXISTING UTILITIES WITH UTILITY OWNERS PRIOR TO PROCEEDING WITH THE WORK.
6. CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR DEMOLITION ACTIVITIES.
7. ABANDONMENT PROCEDURES SHALL CONFORM TO SECTION 1000, CITY OF LAFAYETTE STANDARDS & SPECIFICATIONS, LATEST VERSION.

ADJACENT PROPERTY – COORDINATION AND RESTORATION

1. THE PROPOSED CONSTRUCTION INCLUDES WORK OFF SITE AND IN PROPERTIES OWNED BY PRIVATE PROPERTY OWNERS (WITHIN EASEMENTS) AND THE CITY. THE WORK IS WITHIN EASEMENTS DEDICATED FOR THE PROPOSED USE.
2. IF WORKING IN LANDS OWNED BY THE CITY, THE CONTRACTOR SHALL WORK UNDER THE REQUIREMENTS OF THE PERMIT FROM THE CITY.
3. IF WORKING IN LANDS OWNED BY PRIVATE PROPERTY OWNERS, THE CONTRACTOR SHALL NOTIFY SAID OWNER OF UPCOMING WORK AND ALLOW SAID OWNER A MINIMUM OF TWO WEEKS TO REMOVE ANY ITEMS WITHIN THE EASEMENT WHICH MAY IMPEDE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDED ANY AND ALL MEANS NECESSARY TO MAINTAIN ANY FENCES OR ENCLOSURES FOR PROTECTION AND SECURITY OF THE PRIVATE HOMEOWNER. THE CONTRACTOR SHALL RESTORE THE AREA TO MATCH EXISTING CONDITIONS, OR BETTER, AND SHALL OBTAIN WRITTEN APPROVAL SIGN OFF FROM THE OWNER UPON COMPLETION.
4. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR ANY ROAD CLOSURES.

UTILITY NOTES

1. ALL WATER AND SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL CONFORM TO CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS, LATEST EDITION THEREOF.
2. WATER SERVICE LINE TAPS SHALL BE WET TAPS INSTALLED BY A CONTRACTOR OR PLUMBER LICENSED BY THE CITY WHO SPECIALIZES IN THE INSTALLATION OF WATER TAPS.
3. CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS (BUILDINGS, PARKING LOTS, LANDSCAPE AREAS, ETC...) FROM DAMAGE AND EROSION. ALL DISTURBED AREAS OFF-SITE SHALL BE RESTORED TO A MINIMUM OF THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
5. PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINAL GRADE.
6. ALL EXISTING UTILITY LINE LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR AND THE ENGINEER NOTIFIED PRIOR TO CONSTRUCTION. IT IS THE PLANS' INTENT TO SHOW ALL EXISTING UTILITIES, HOWEVER IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, HAVE BEEN PROPERLY LOCATED.
7. PROVIDE CONCRETE THRUST BLOCKING AT ALL BENDS, TEES, PLUGS AND HYDRANTS.
8. WATER, STORM SEWER AND SANITARY SEWER PIPE SHALL BE BEDDED IN ACCORDANCE WITH CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS, LATEST EDITION THEREOF.
9. ALL WATER LINES SHALL HAVE A MINIMUM FOUR AND A HALF (4-1/2) FEET OF COVER BELOW FINISHED GRADE.
10. CONTRACTOR SHALL COORDINATE DRY UTILITY LOCATIONS WITH ARCHITECT AND PROVIDER AGENCY.
11. ALL STATIONING AND OFFSETS ARE FROM ROAD CENTERLINE ALIGNMENT TO THE CENTERLINES OF MANHOLES, INLETS AND UTILITY LINES UNLESS NOTED OTHERWISE.
12. SANITARY SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, SDR 35, IN ACCORDANCE WITH OR MEETING ASTM D3034.
13. SANITARY SEWER MAINS IN "ALLEY" MAY HAVE LESS THAN 9 FEET OF ELEVATION DIFFERENCE BETWEEN FINISHED LOT GRADE AT BUILDING LINE AND THE TOP OF THE SANITARY MAIN. SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM OF 4 FEET OF COVER AND NO LESS THAN 2.0% SLOPE.
14. WATER LINES SHALL BE A.W.W.A. C-900 CLASS 200 PVC PRESSURE PIPE. ALL WATER SERVICES WITH PIPE DIAMETERS THROUGH 2 INCHES SHALL BE TYPE K COPPER IN ACCORDANCE WITH ASTM B88. ALL WATER SERVICE LINES LARGER THAN 2-INCH ARE TO BE C-900. SEE CITY DETAIL 200-4 FOR LOCATOR TAPE AND TRACER WIRE STANDARDS.
15. WATERLINE FITTINGS SHALL BE DUCTILE-IRON OR CAST-IRON CONFORMING TO THE REQUIREMENTS SET FORTH IN ANSI A21.10, A.W.W.A. C110. CAST-IRON FITTINGS 12-INCH SIZE AND SMALLER SHALL BE CLASS 250. ALL DUCTILE IRON PIPE FITTINGS AND APPURTENANCES WILL BE PROTECTED WITH A 10-MIL THICK POLYETHYLENE FILM WRAP.
16. MANHOLES SHALL BE STANDARD PRECAST CONCRETE. SEE CITY STANDARD DETAILS.
17. STANDARD FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE SWIVEL TEE, VALVE, 6" PIPE TO THE HYDRANT AND THE HYDRANT.
18. STORM SEWER PIPE IN THE ROW SHALL BE REINFORCED CONCRETE PIPE (RCP) IN ACCORDANCE WITH ASTM C-76. PIPE SHALL BE CLASS III.
19. ALL STORM SEWER PIPE JOINTS SHALL BE INTEGRAL BELL AND SPIGOT WITH RUBBER O-RING TYPE GASKETS PER ASTM C-361.
20. ALL STORM SEWER PIPE FLARED END SECTIONS SHALL BE INSTALLED WITH PREFABRICATED TRASH RACKS APPROPRIATE FOR THE PIPE SIZE AND AS SPECIFIED OR SUPPLIED BY THE MANUFACTURER.
21. PIPING FOR UNDERDRAIN SYSTEM AND ROOF DRAINS SHALL BE PVC PIPE, SDR 35, OR APPROVED EQUIVALENT AND SHALL BE A COLOR OF PVC OTHER THAN GREEN OR BLUE.
22. PROVIDE APPROPRIATE WARNING TAPE FOR EACH UTILITY.
22. AS-BUILT DRAWINGS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 106.2.2 OF THE CITY OF LAFAYETTE STANDARDS AND SPECIFICATIONS. AS-BUILT INFORMATION MUST INCLUDE ELEVATIONS FOR WATER, SANITARY SEWER, STORM SEWER, AND UNDERDRAIN ELEVATIONS. AS-BUILTS SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE CITY OF LAFAYETTE FOR APPROVAL.

EROSION CONTROL NOTES

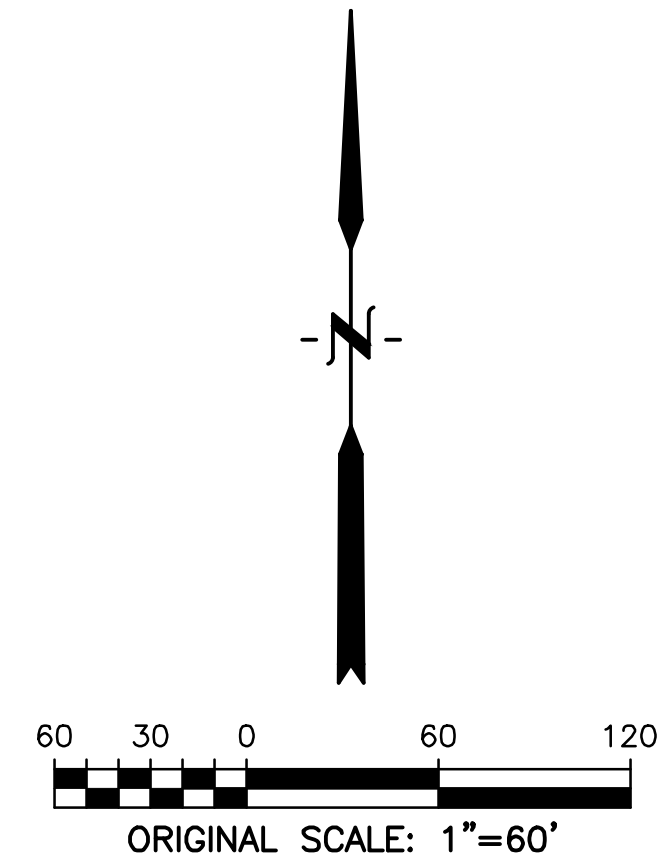
1. ALL TEMPORARY EROSION CONTROL FACILITIES AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE.
2. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION AND SHOULD NOT EXCEED THE EROSION EXPECTED TO OCCUR FOR THE SITE IN ITS TOTALLY UNDEVELOPED STATE.
3. ALL PERSONS ENGAGED IN EARTH DISTURBANCES SHALL DESIGN, IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY THE CITY.
4. ALL EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
5. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
6. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO THE CITY STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE PERMANENT EROSION CONTROL FEATURES SHOWN ON THE GRADING AND EROSION CONTROL PLAN.
8. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR THE EARTH DISTURBANCE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH DISTURBANCE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH DISTURBANCE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION MEASURES ARE IMPLEMENTED.

GRADING NOTES

1. ALL SPOT ELEVATIONS ARE FLOWLINE OF CURB AND GUTTER, TOP OF PAVING, OR FINISHED GRADE UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING AND LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
3. MAXIMUM LANDSCAPE SLOPE SHALL BE 4(HOR) TO 1(VERT) MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2.00% MINIMUM SLOPE ON ASPHALT SURFACES SHALL BE 1.00% MINIMUM SLOPE ON CONCRETE SURFACES SHALL BE 0.50% UNLESS OTHERWISE NOTED.
4. REFER TO SOILS REPORT FURNISHED BY OWNER FOR ALL COMPACTION REQUIREMENTS.
5. ADD 5100 TO ALL (TRUNCATED) SPOT ELEVATIONS AND CONTOUR ELEVATIONS TO REACH PROJECT VERTICAL DATUM.
6. PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO THE FINAL GRADES INDICATED ON PLANS.
7. EXISTING SPOT ELEVATIONS AND TOPOGRAPHIC INFORMATION COMES FROM AN ALTA AND FIELD SURVEY CONDUCTED BY DREXEL, BARRELL & CO. COMPLETED IN JUNE 1, 2017.
8. CONCRETE WALKS SHALL HAVE A DESIGNED CROSS SLOPE NOT TO EXCEED 2% ONCE CONSTRUCTED PER ADA REQUIREMENTS.
9. CONTRACTOR SHALL NOTIFY THE SURVEY AND/OR ENGINEER PRIOR TO CONSTRUCTION OF ALL CURB RAMPS TO VERIFY THAT DESIGN ELEVATIONS AT THE TOP OF THE RAMPS WILL MEET ADA REQUIREMENTS BASED ON CONSTRUCTED FLOWLINE ELEVATIONS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND PROVIDE FOR ADEQUATE DRAINAGE THROUGH THE SITE DURING THE PROCESS OF EXCAVATION, GRADING AND EMBANKMENT. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

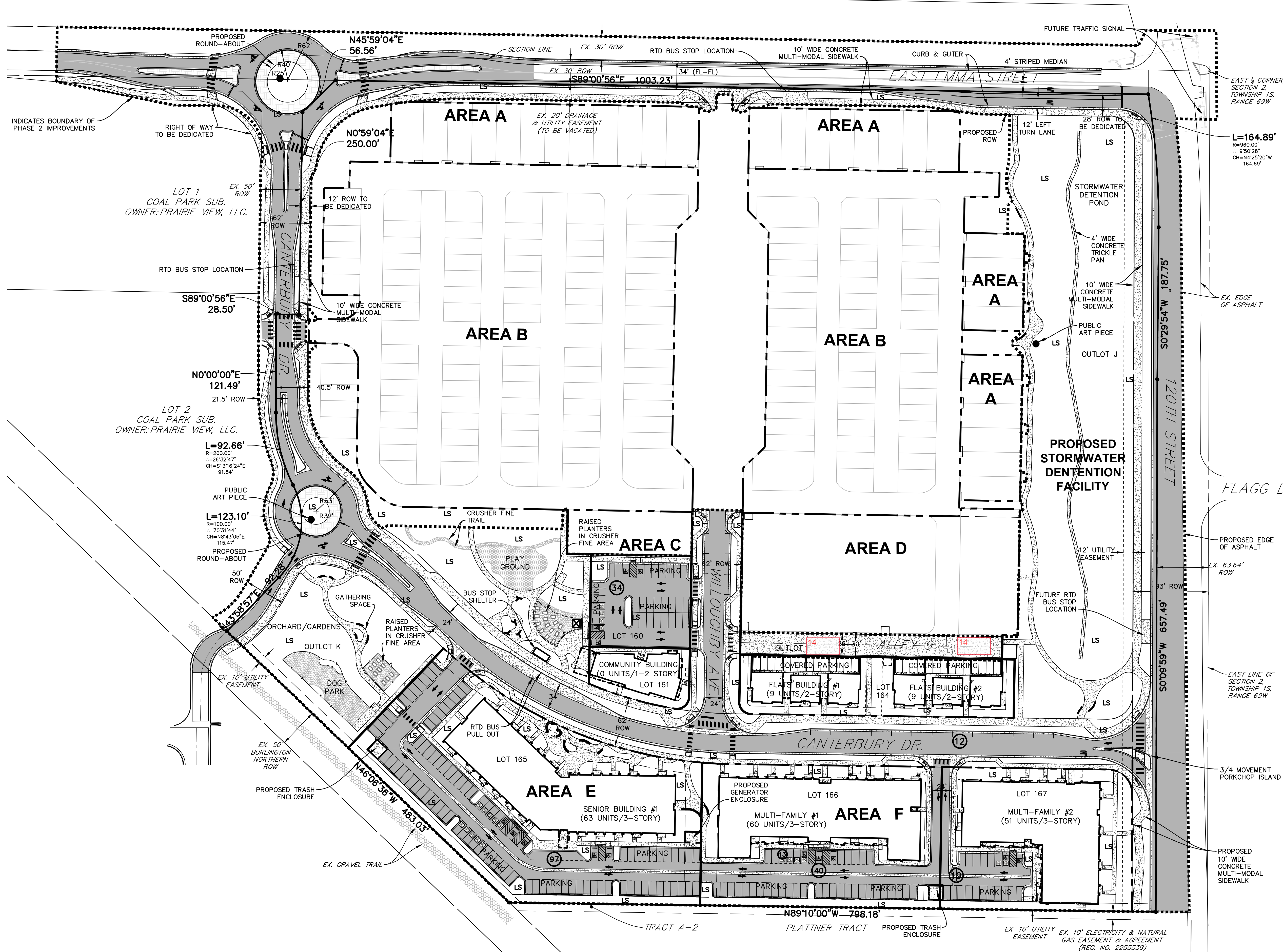
PROPERTY LINE	---
PARKING SPACES	(X)
PRE-WIRED EV STALLS	(EV)
LANDSCAPE AREA	LS
PROPOSED CONCRETE	[Pattern]
PROPOSED ASPHALT	[Pattern]
PROPOSED SIGN	[Symbol]
PROPOSED PHASE LINE	- - -
PLANNING AREA BOUNDARIES	---
HANDICAP PARKING SPACE	[Symbol]
ELECTRIC VEHICLE PARKING SPACE	[Symbol]

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

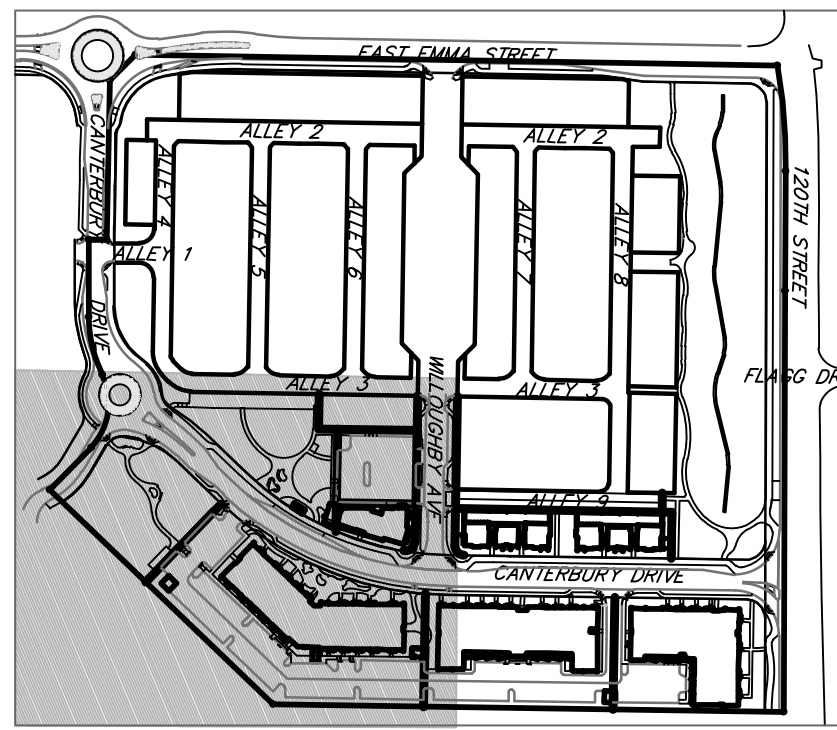
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06.17.22 - SITE PLAN 01

SHEET TITLE:
OVERALL
SITE PLAN



WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



KEY MAP
NOT TO SCALE

NORRIS DESIGN
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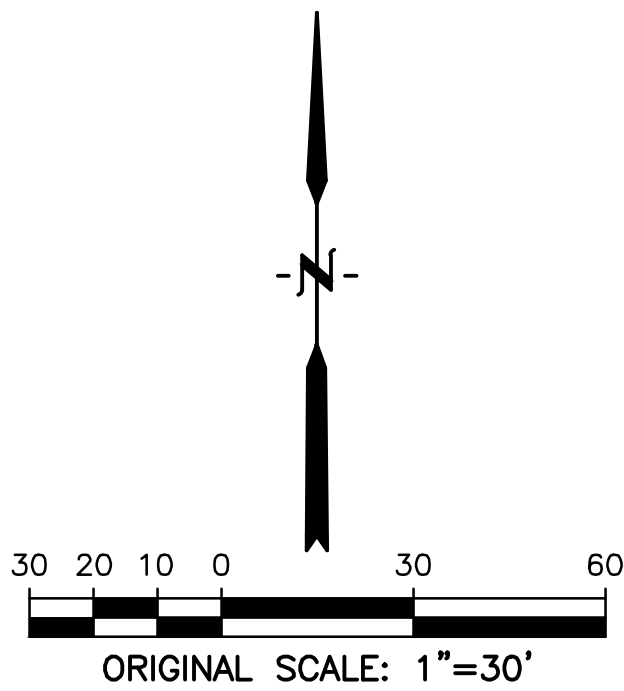
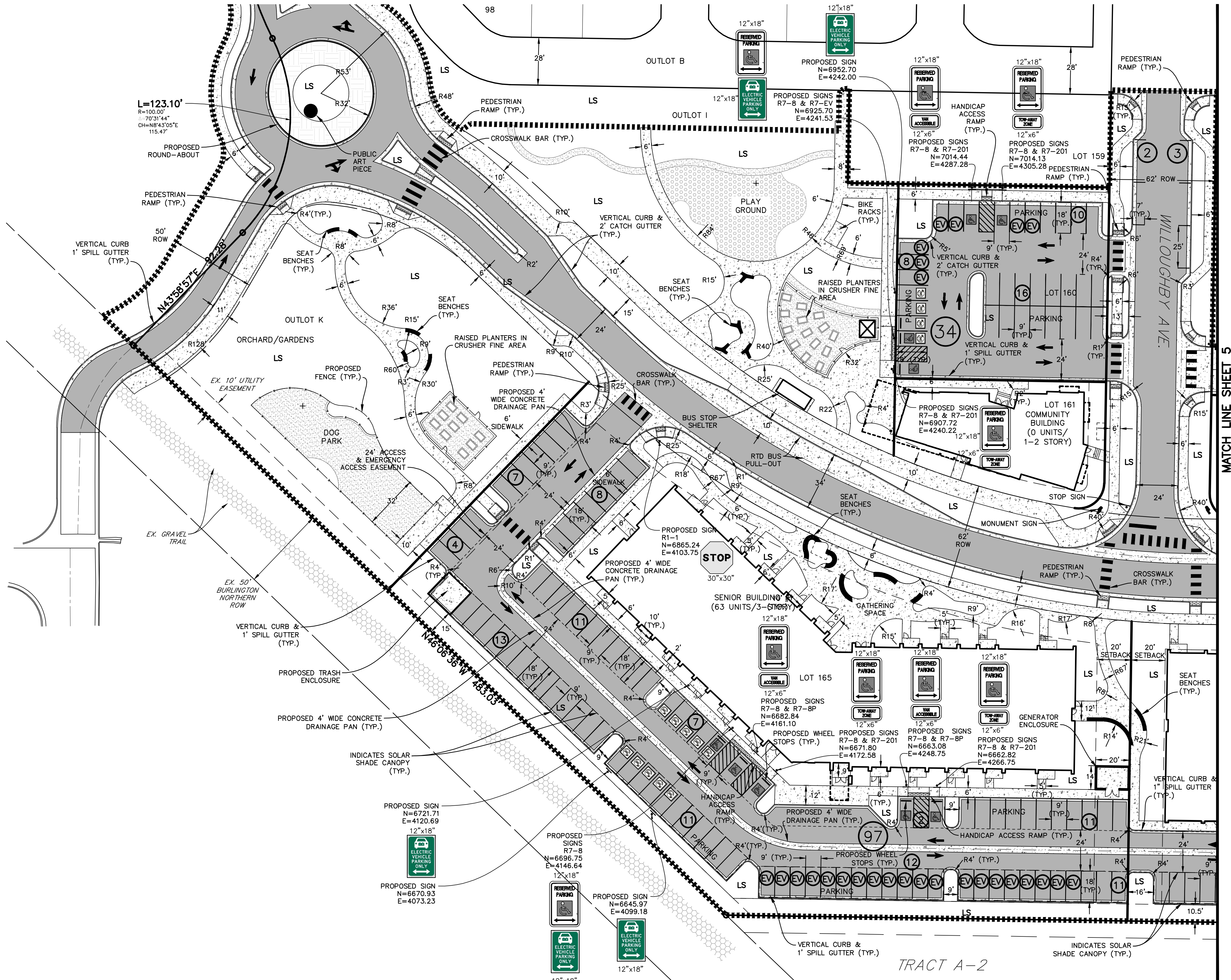
WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
SITE
PLAN 1

CHECKED BY: CWK
DRAWN BY: MAB



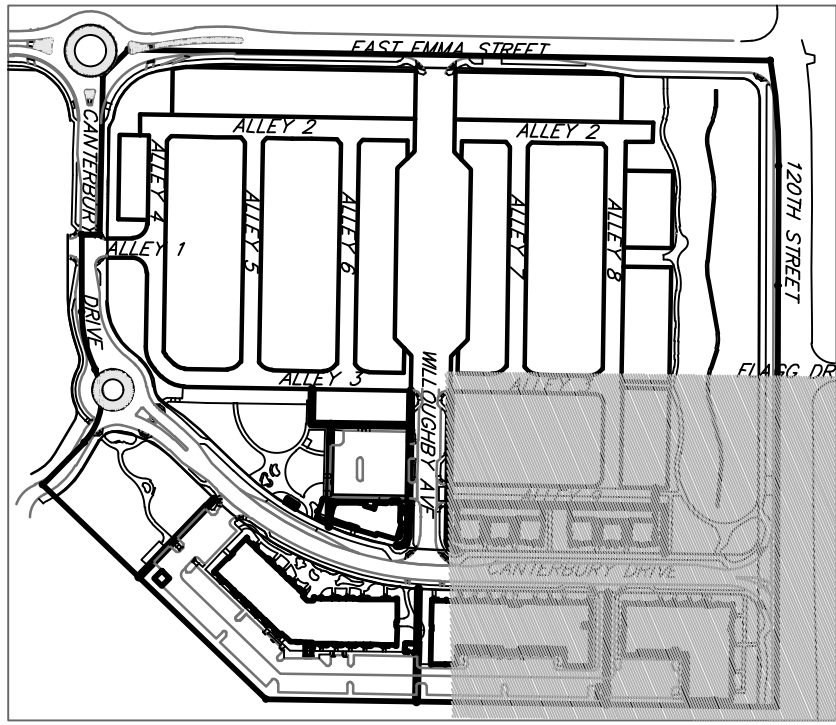
LEGEND

PROPERTY LINE	-----
PARKING SPACES	(X)
PRE-WIRED EV STALLS	(EV)
LANDSCAPE AREA	LS
PROPOSED CONCRETE	[Pattern]
PROPOSED ASPHALT	[Pattern]
PROPOSED SIGN	[Symbol]
PROPOSED PHASE LINE	-----
HANDICAP PARKING SPACE	[Symbol]
ELECTRIC VEHICLE PARKING SPACE	[Symbol]

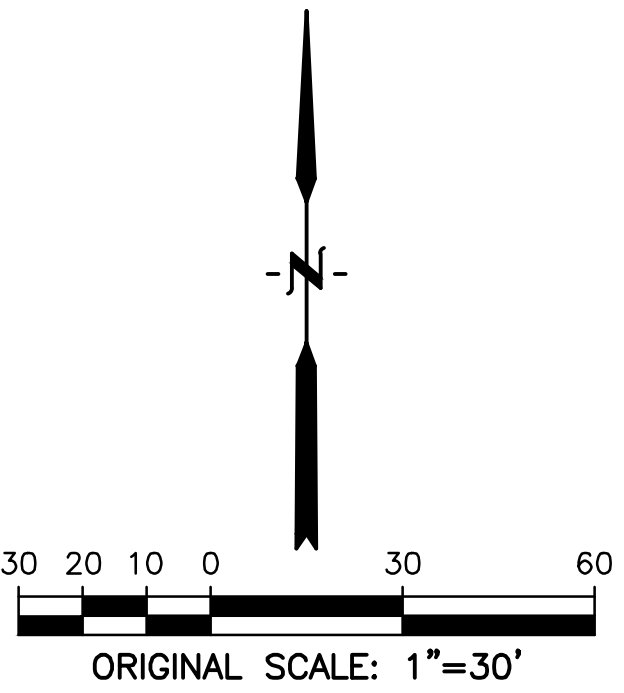
TRACT A-2

WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



KEY MAP
NOT TO SCALE



LEGEND

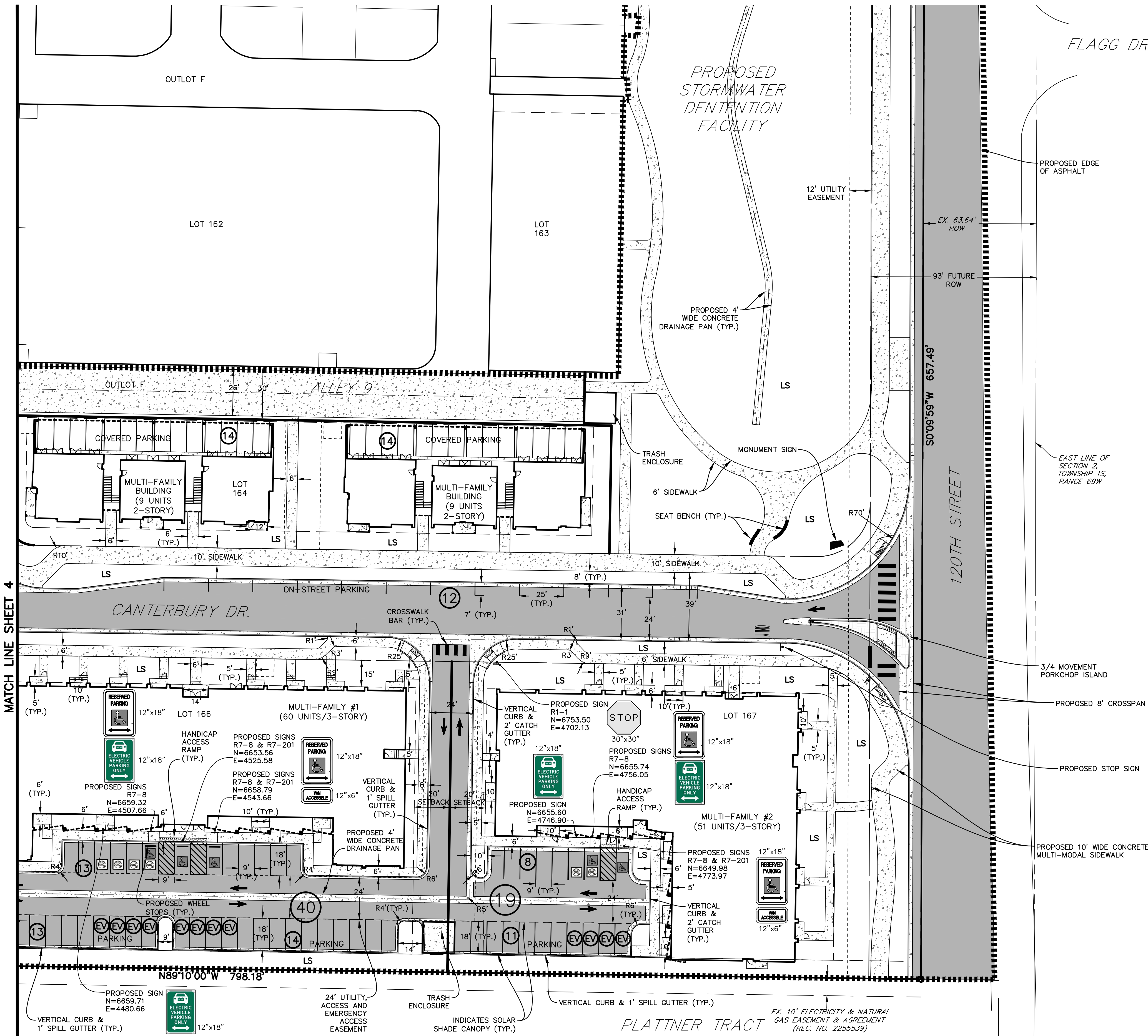
- PROPERTY LINE.....
- PARKING SPACES.....
- PRE-WIRED EV STALLS.....
- LANDSCAPE AREA..... LS
- PROPOSED CONCRETE.....
- PROPOSED ASPHALT.....
- PROPOSED SIGN.....
- PROPOSED PHASE LINE.....
- HANDICAP PARKING SPACE.....
- ELECTRIC VEHICLE PARKING SPACE.....

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3881
CONTACT: MOLLY CHIANG

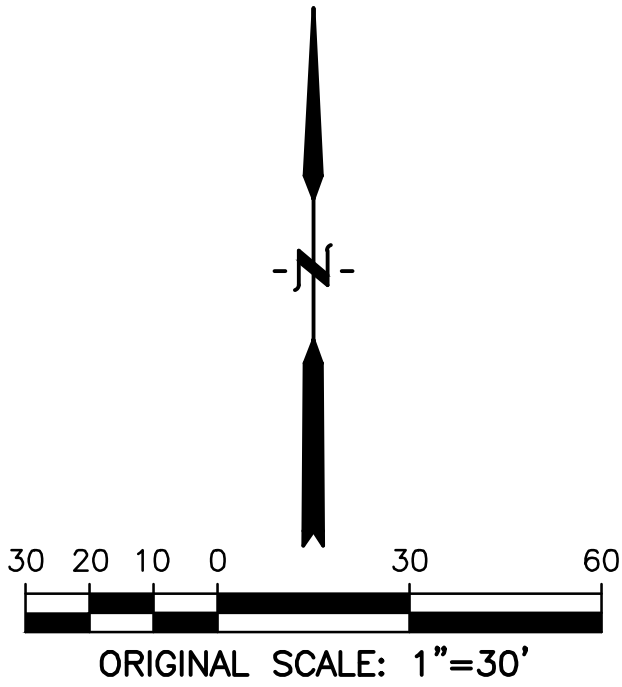
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
SITE
PLAN 2



WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



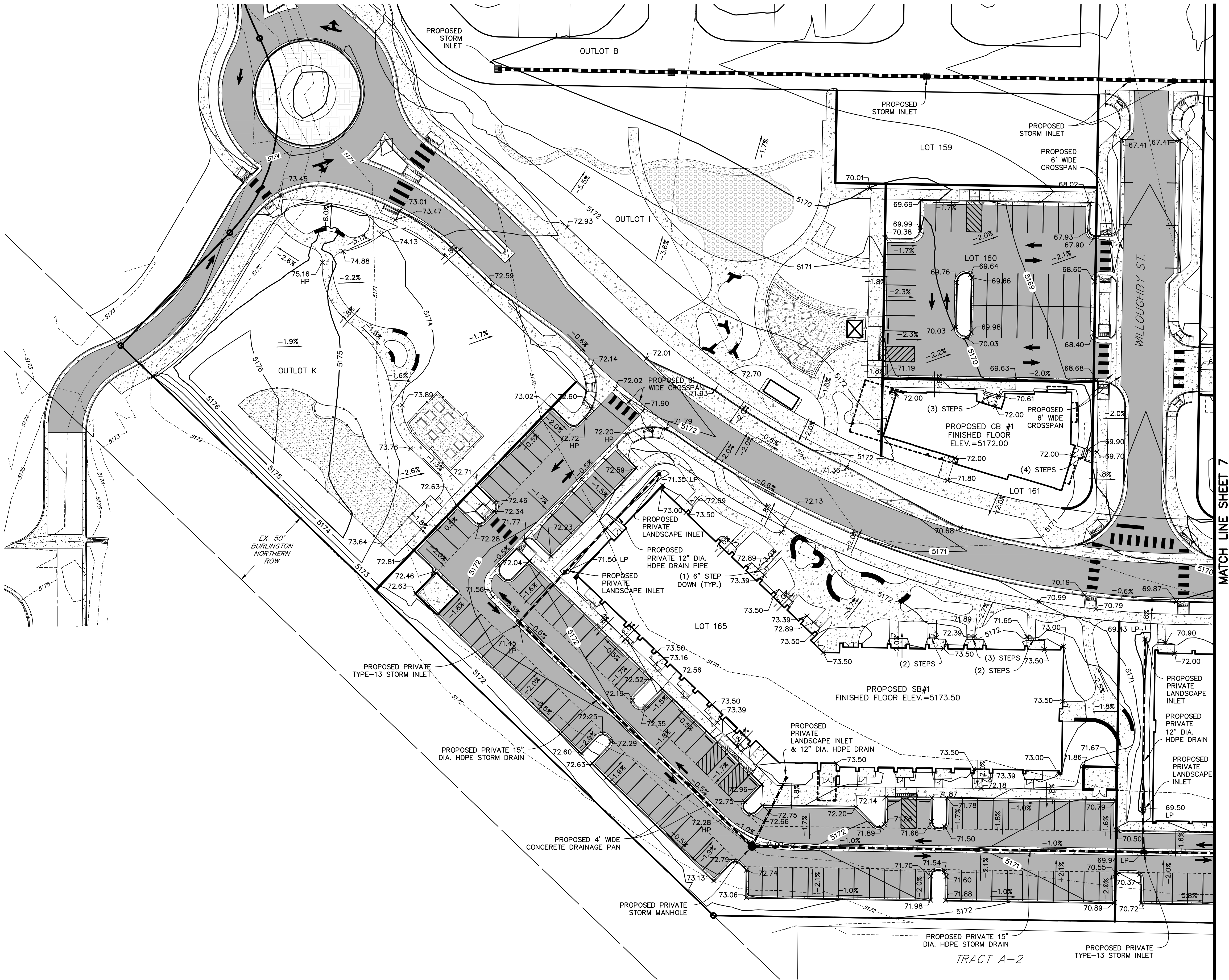
LEGEND

PROPERTY LINE.....	---
PROPOSED ROW.....	---
PROPOSED LOT LINE.....	---
EX. INTERMEDIATE CONTOUR.....	---
EX. INDEX CONTOUR.....	---
EX. STORM LINE.....	---
PROPOSED INTERMEDIATE CONTOUR.....	---
PROPOSED INDEX CONTOUR.....	---
FLOWLINE OF DRAINAGE SWALE.....	---
PROPOSED MANHOLE.....	●
PROPOSED STORM INLET.....	■
PROPOSED STORM SEWER.....	---
AREA INUNDATED IN 100-YR STORM.....	▨
PROPOSED CONCRETE.....	▨
PROPOSED ASPHALT.....	▨
EX. CONCRETE.....	▨
GRADE BREAK.....	GB
HIGH POINT.....	HP
LOW POINT.....	LP
FLOWLINE.....	FL
TOP OF CURB.....	TC
FINISHED FLOOR.....	FF
EX. SPOT ELEVATIONS.....	× 5156.23±
PROPOSED SPOT ELEVATION.....	× 5156.23
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)	

NOTE:
1. ADD 5100 TO ALL SPOT ELEVATIONS

NOTE:

1. REFER TO WILLOUGHBY CORNER
SUBDIVISION CONSTRUCTION PLANS FOR
GRADING INFORMATION REGARDING
STREETS, ROUNDABOUTS, STORM
SEWER, AND THE STORMWATER
DETENTION FACILITY.



WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

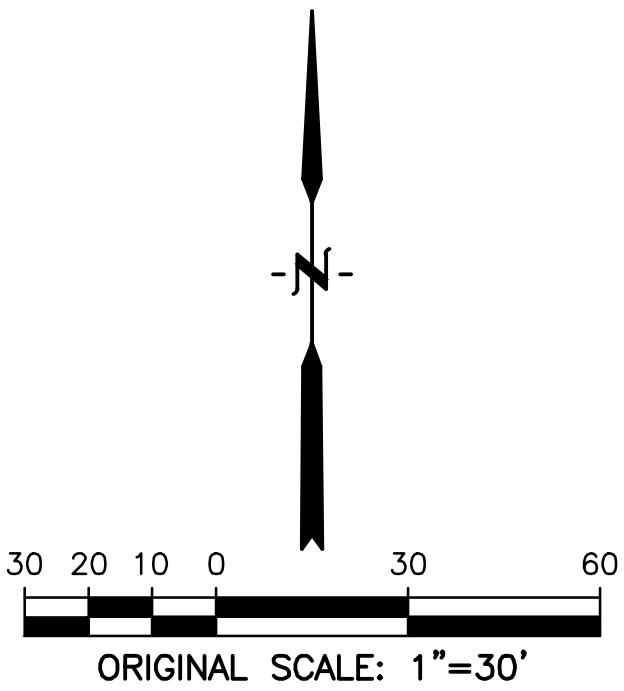
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
GRADING
PLAN 1



WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

PROPERTY LINE	---
PROPOSED ROW	---
PROPOSED LOT LINE	---
EX. INTERMEDIATE CONTOUR	---5164---
EX. INDEX CONTOUR	---5165---
EX. STORM LINE	---ST---
PROPOSED INTERMEDIATE CONTOUR	---5164---
PROPOSED INDEX CONTOUR	---5165---
FLOWLINE OF DRAINAGE SWALE	---
PROPOSED MANHOLE	●
PROPOSED STORM INLET	■
PROPOSED STORM SEWER	---
AREA INUNDATED IN 100-YR STORM	▨
PROPOSED CONCRETE	▨
PROPOSED ASPHALT	▨
EX. CONCRETE	▨
GRADE BREAK	GB
HIGH POINT	HP
LOW POINT	LP
FLOWLINE	FL
TOP OF CURB	TC
FINISHED FLOOR	FF
EX. SPOT ELEVATIONS	× 5156.23±
PROPOSED SPOT ELEVATION	× 5156.23
(ALL C&G ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED)	

NOTE:
1. ADD 5100 TO ALL SPOT ELEVATIONS

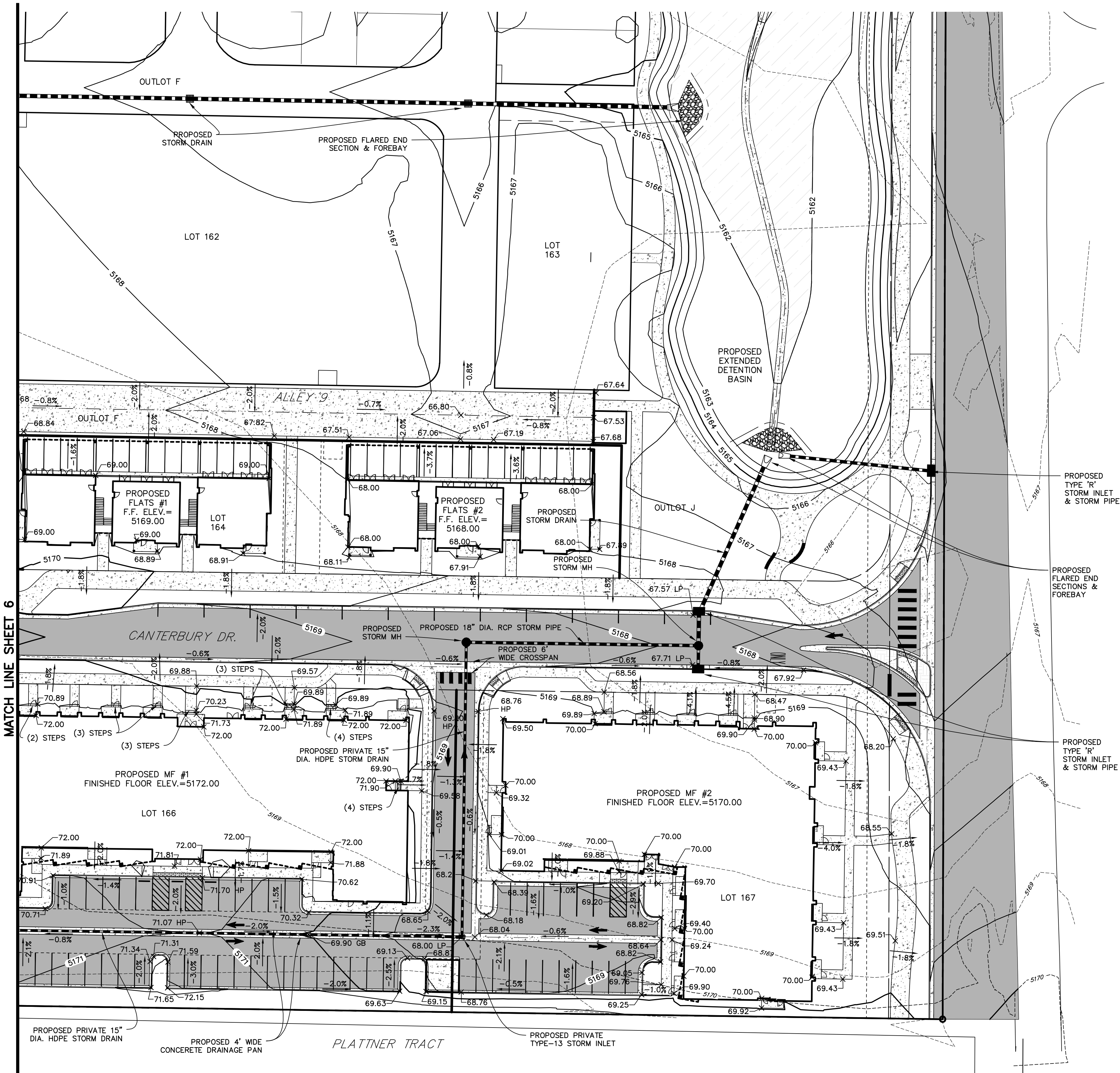
NOTE:
1. REFER TO WILLOUGHBY CORNER
SUBDIVISION CONSTRUCTION PLANS FOR
GRADING INFORMATION REGARDING
STREETS, ROUNDABOUTS, STORM
SEWER, AND THE STORMWATER
DETENTION FACILITY.

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
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BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

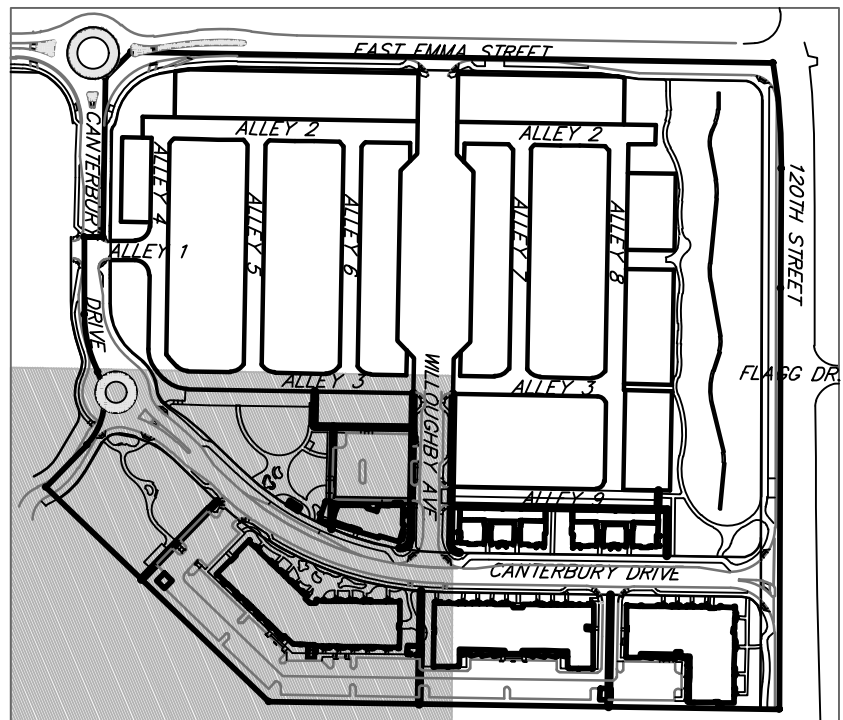
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
GRADING
PLAN 2



WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



KEY MAP
NOT TO SCALE

NORRIS DESIGN
Planning | Landscape Architecture | Branding
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

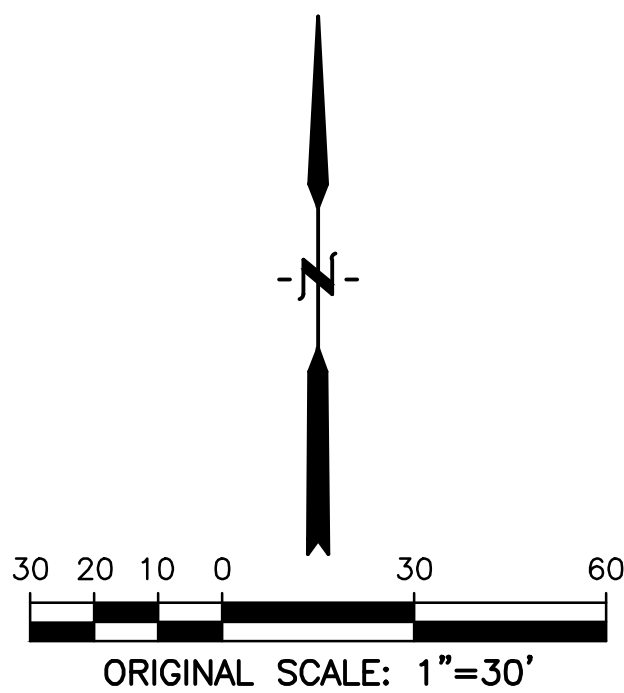
OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
UTILITY
PLAN 1

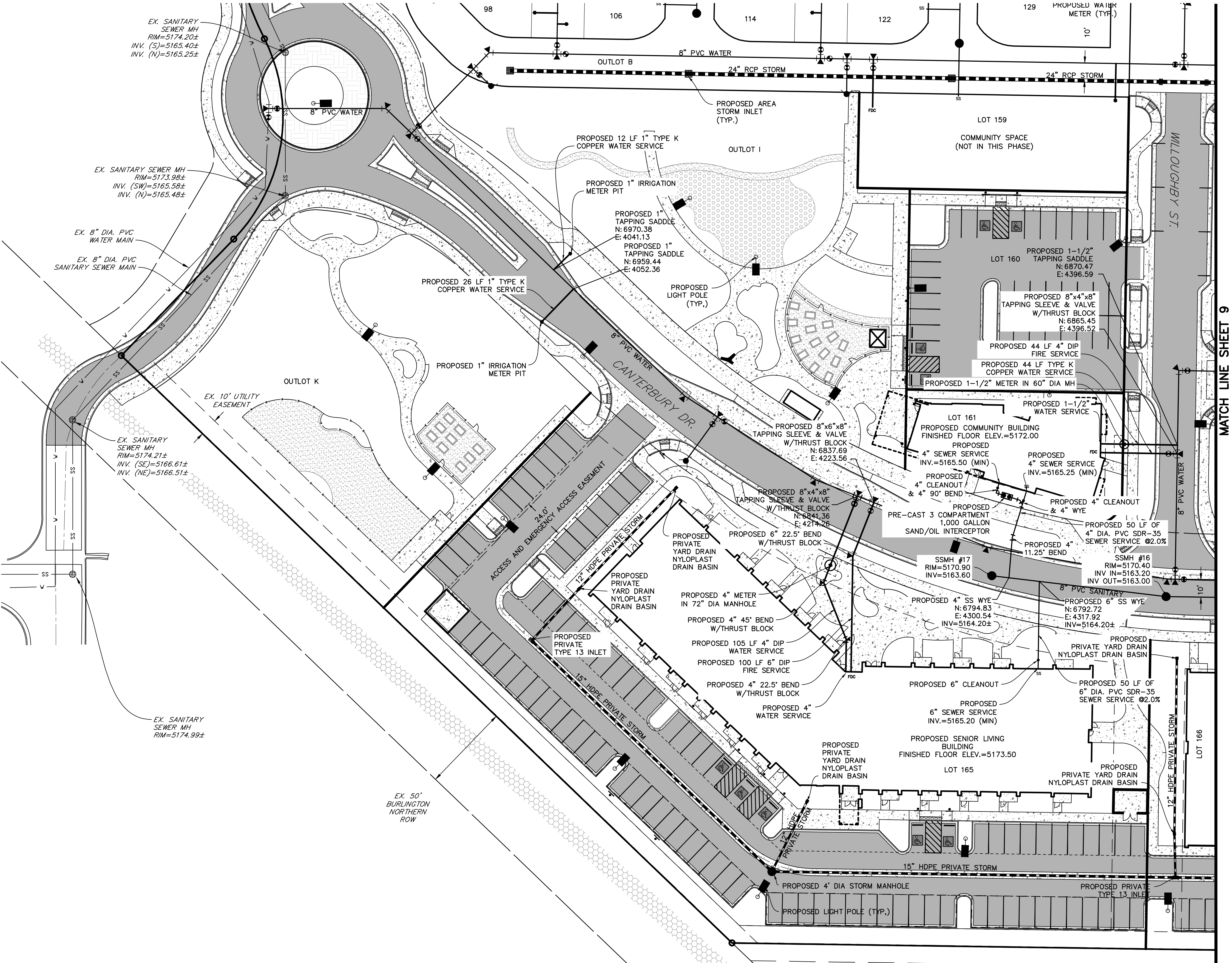
LEGEND

PROPERTY LINE	---
PROPOSED LOT LINE	---
PROPOSED ROW	---
EX. SANITARY SEWER	SS
EX. WATER LINE	W
EX. STORM LINE	ST
EX. GAS LINE	G
EX. BURIED ELECTRIC LINE	E
EX. OVERHEAD ELECTRIC LINE	OL
EX. CABLE TV	CTV
EX. FIRE HYDRANT	Y
EX. WATER VALVE	WV
EX. WATER METER	WM
EX. MANHOLE	MH
EX. LIGHT POLE	LP
EX. UTILITY POLE	UP
PROPOSED LIGHT POLE	LP
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	SS
PROPOSED WATER LINE	W
PROPOSED FIRE HYDRANT	Y
PROPOSED WATER VALVE	WV
PROPOSED METER	WM
PROPOSED MANHOLE	MH
PROPOSED STORM INLET	SI
PROPOSED CONCRETE	CONCRETE
PROPOSED ASPHALT	ASPHALT



NOTE:

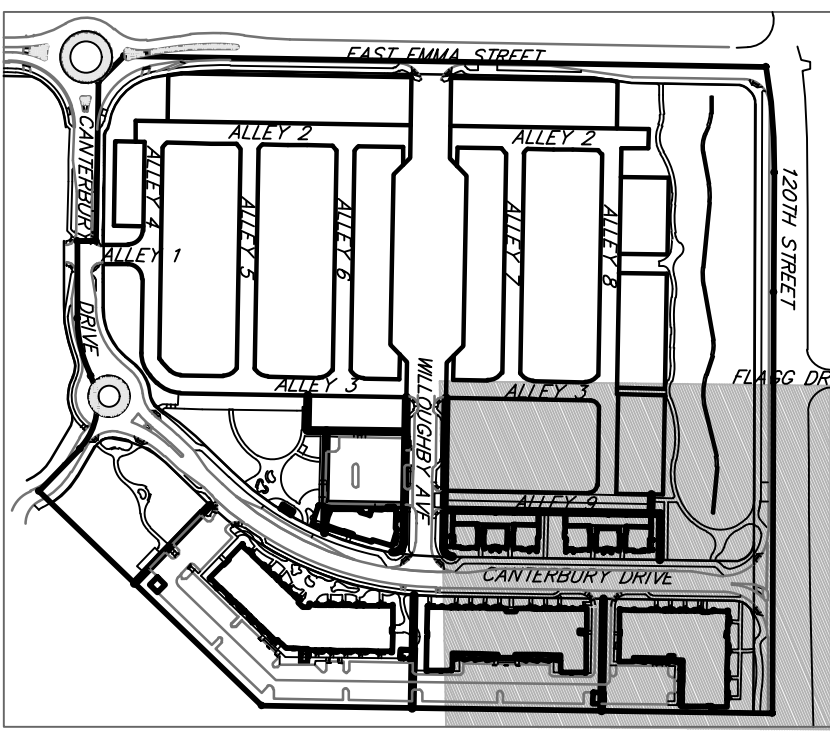
1. ALL STORM, SEWER AND WATER MAINS
SHALL BE INSTALLED WITH PHASE 1.
REFER TO WILLOUGHBY CORNER
SUBDIVISION CONSTRUCTION PLANS FOR
PLAN & PROFILES, HORIZONTAL LAYOUT,
AND CONSTRUCTION LEVEL DETAILS.



CHECKED BY: CWM
DRAWN BY: MAB

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



KEY MAP
NOT TO SCALE

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Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

WILLOUGHBY CORNER SITE PLAN - PHASE 1 LAFAYETTE, COLORADO

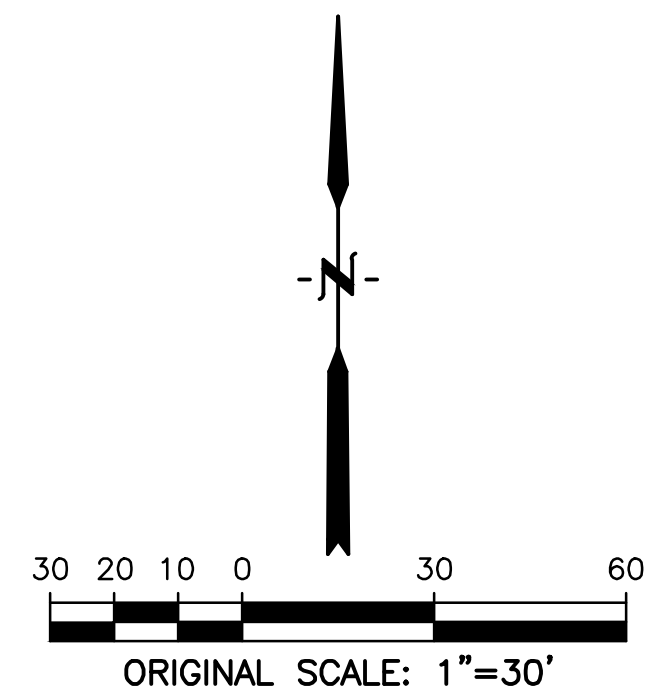
OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
UTILITY
PLAN 2

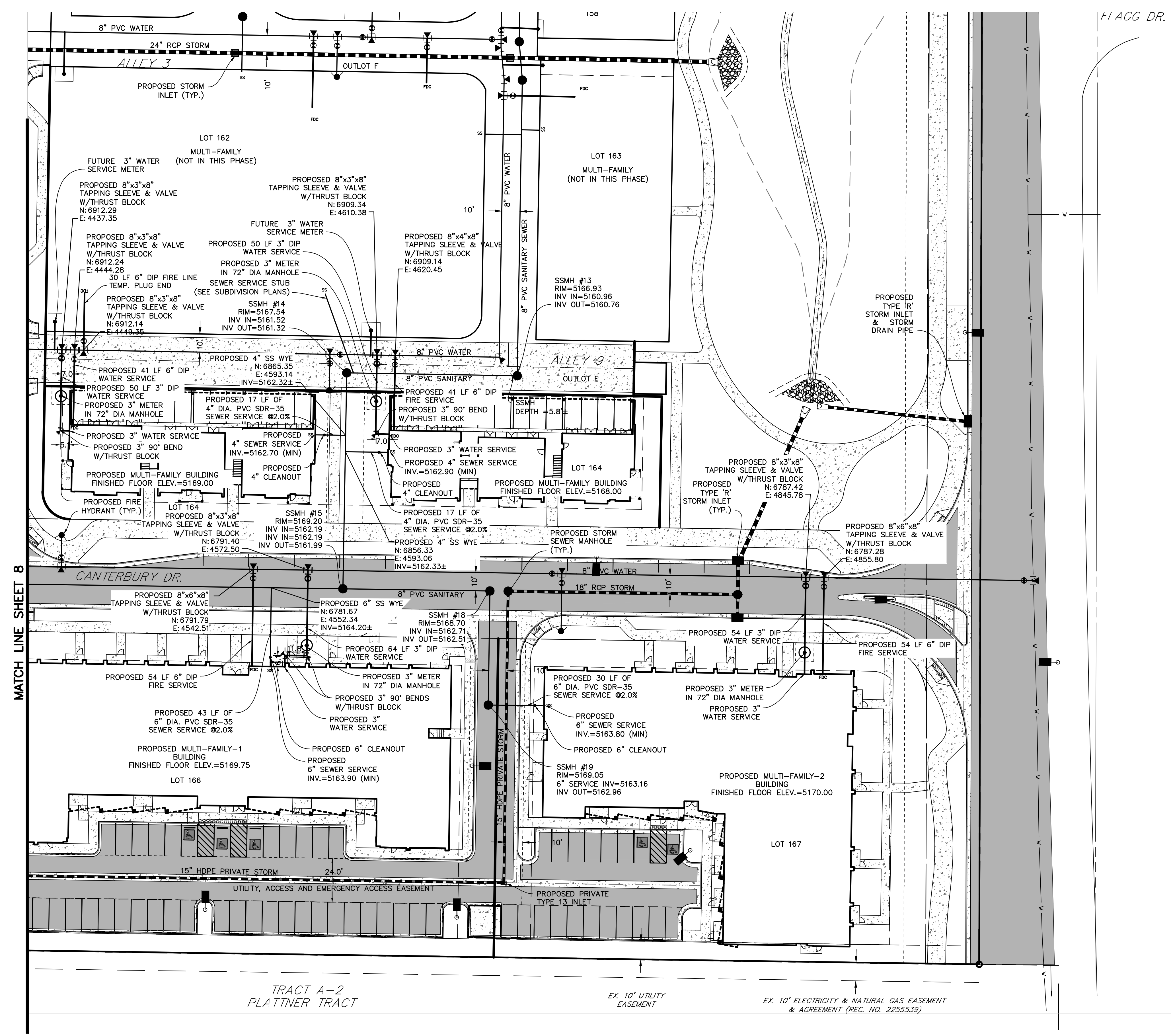
LEGEND

PROPERTY LINE	---
PROPOSED LOT LINE	---
PROPOSED ROW	---
EX. SANITARY SEWER	SS
EX. WATER LINE	W
EX. STORM LINE	ST
EX. GAS LINE	G
EX. BURIED ELECTRIC LINE	E
EX. OVERHEAD ELECTRIC LINE	BU
EX. CABLE TV	CTV
EX. FIRE HYDRANT	Y
EX. WATER VALVE	WV
EX. WATER METER	WM
EX. MANHOLE	MH
EX. LIGHT POLE	LP
EX. UTILITY POLE	UP
PROPOSED LIGHT POLE	LP
PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	SS
PROPOSED WATER LINE	W
PROPOSED FIRE HYDRANT	Y
PROPOSED WATER VALVE	WV
PROPOSED METER	WM
PROPOSED MANHOLE	MH
PROPOSED STORM INLET	SI
PROPOSED CONCRETE	CONC
PROPOSED ASPHALT	ASPH



NOTE:

1. ALL STORM, SEWER AND WATER MAINS SHALL BE INSTALLED WITH PHASE 1. REFER TO WILLOUGHBY CORNER SUBDIVISION CONSTRUCTION CORNER PLANS FOR PLAN & PROFILES, HORIZONTAL LAYOUT, AND CONSTRUCTION LEVEL DETAILS.

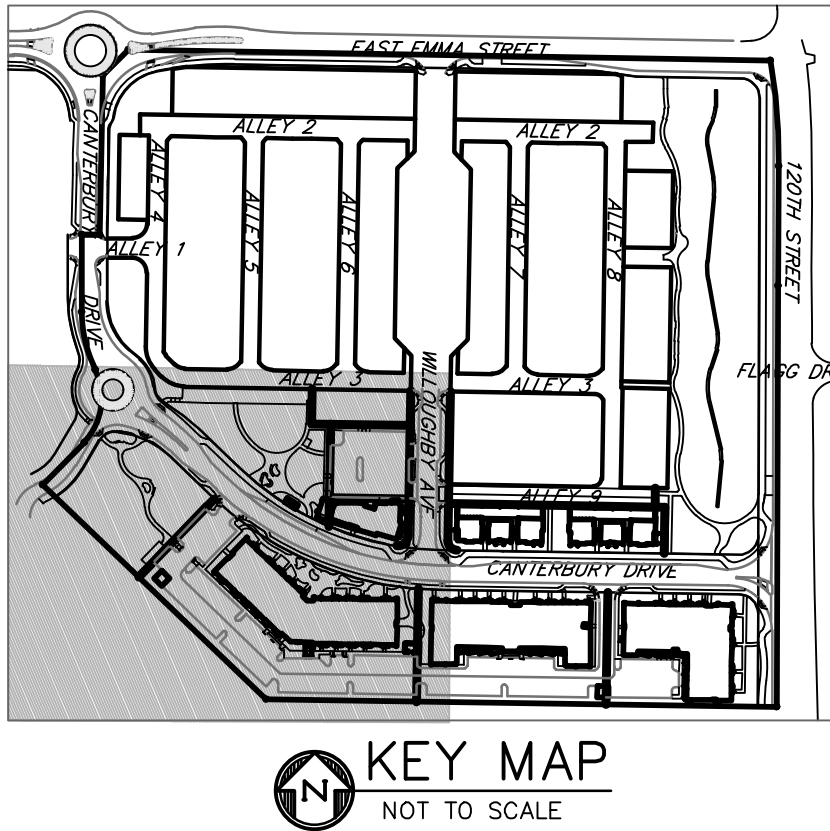
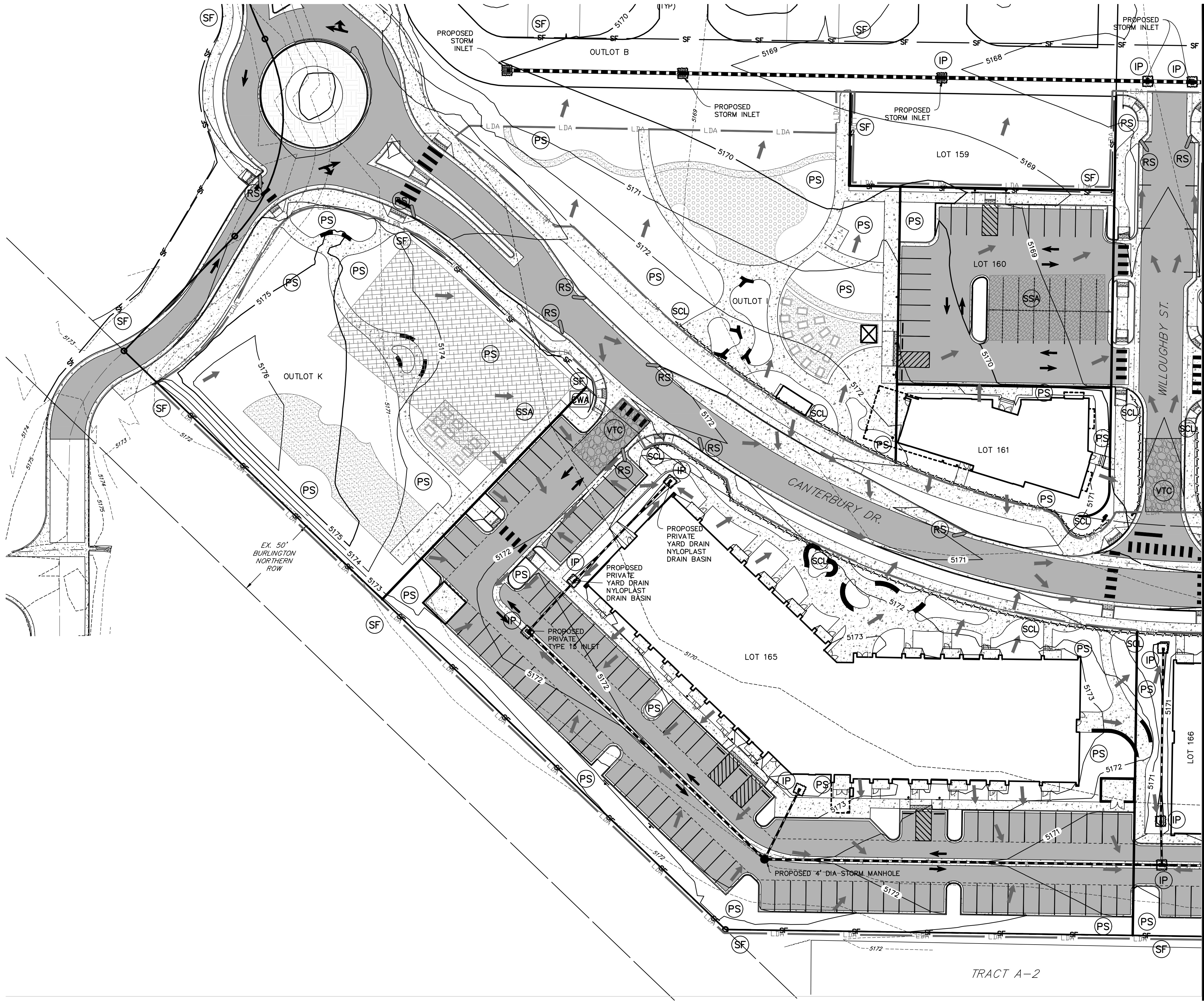


CHECKED BY: CWM
DRAWN BY: MAB



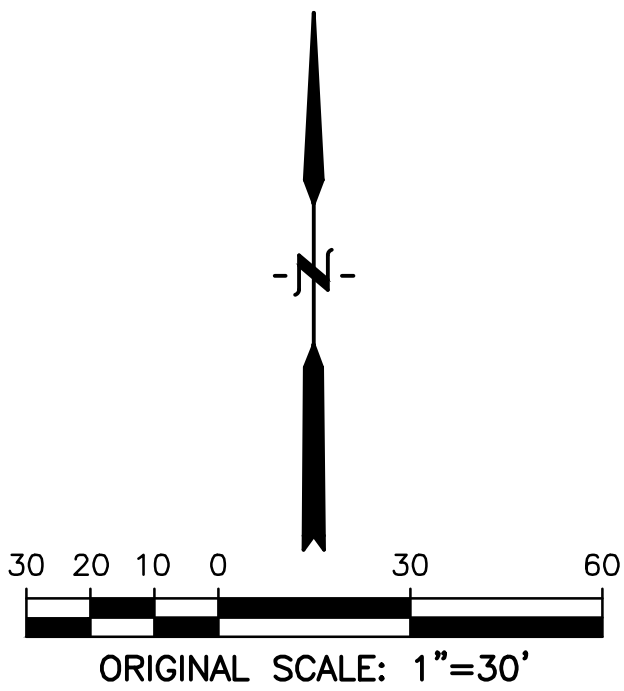
WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

PROPERTY LINE	---
EX. INTERMEDIATE CONTOUR	---5164---
EX. INDEX CONTOUR	---5165---
PROPOSED INTERMEDIATE CONTOUR	---5164---
PROPOSED INDEX CONTOUR	---5165---
FLOWLINE OF DRAINAGE SWALE	---
EXISTING FENCE	-x-x-
PROPOSED FENCE	-x-x-
PROPOSED CONCRETE	[Pattern]
PROPOSED ASPHALT	[Pattern]
DIRECTION OF FLOW	---
LIMITS OF CONSTRUCTION	---C---
LIMITS OF DISTURBED AREA	---LDA---
SILT FENCE	(SF) ---SF---
STABILIZED STAGING AREA	(SSA) [Pattern]
SEDIMENT CONTROL LOG	(SCL) [Pattern]
ROCK SOCKS	(RS) [Pattern]
INLET PROTECTION	(IP) [Pattern]
OUTLET PROTECTION	(OP) [Pattern]
EROSION CONTROL BLANKET	(ECB) [Pattern]
CONCRETE WASHOUT AREA	(CWA) [Pattern]
PERMANENT SEEDING	(PS) [Pattern]
VEHICLE TRACKING CONTROL PAD	(VTC) [Pattern]

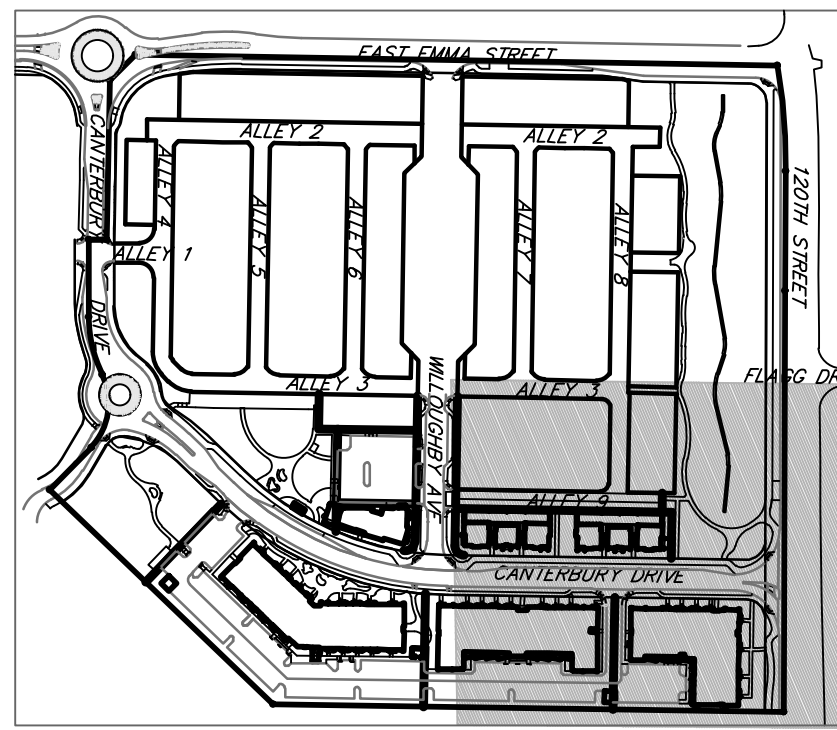


NOTE:
1. ALL PUBLIC STORM, SEWER, WATER MAINS SHALL BE INSTALLED WITH SUBDIVISION IMPROVEMENTS. REFER TO WILLOUGHBY CORNER SUBDIVISION CONSTRUCTION PLANS FOR SUBDIVISION EROSION CONTROL PLANS.



WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



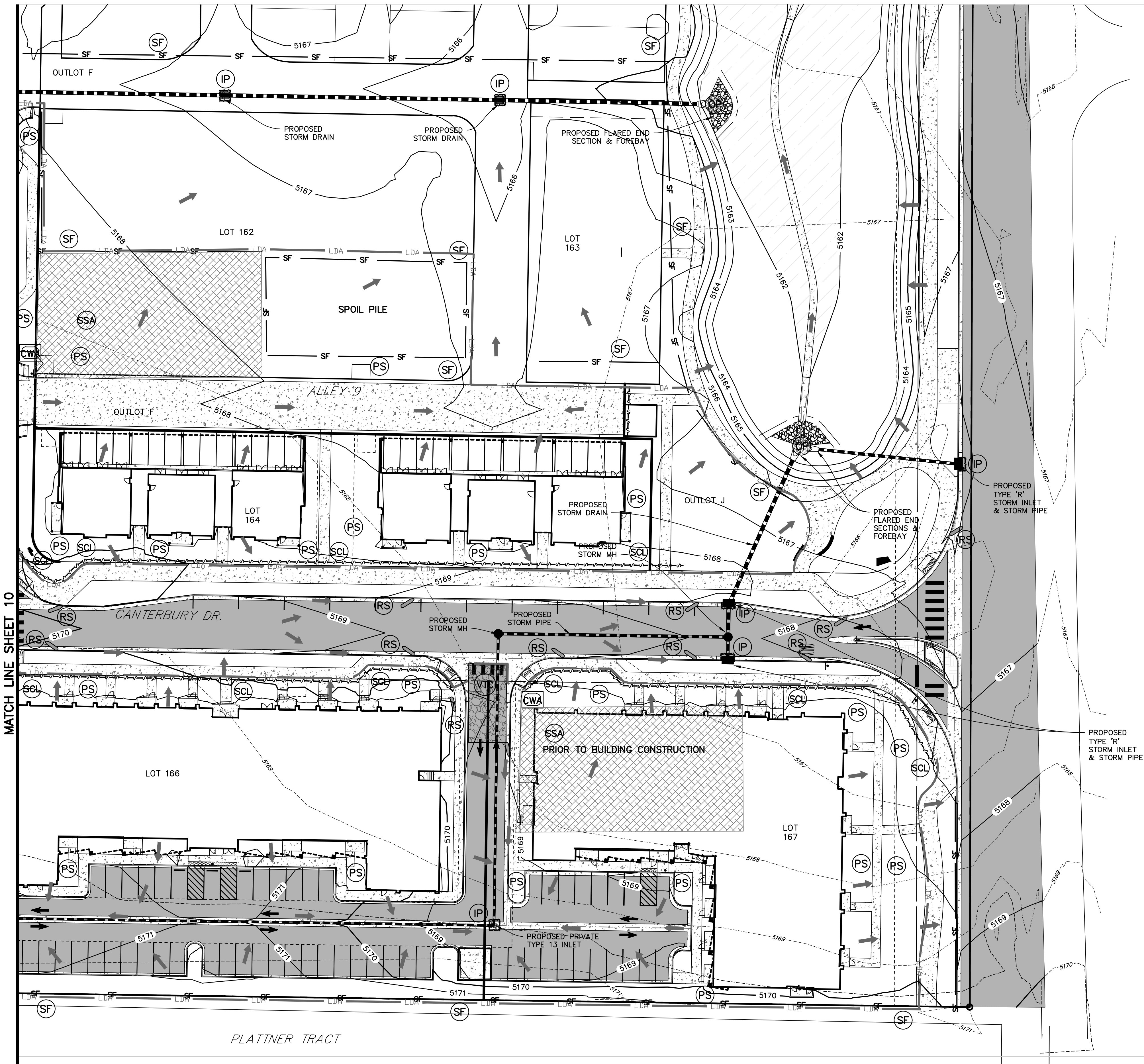
NORRIS DESIGN
Planning | Landscape Architecture | Branding
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
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WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

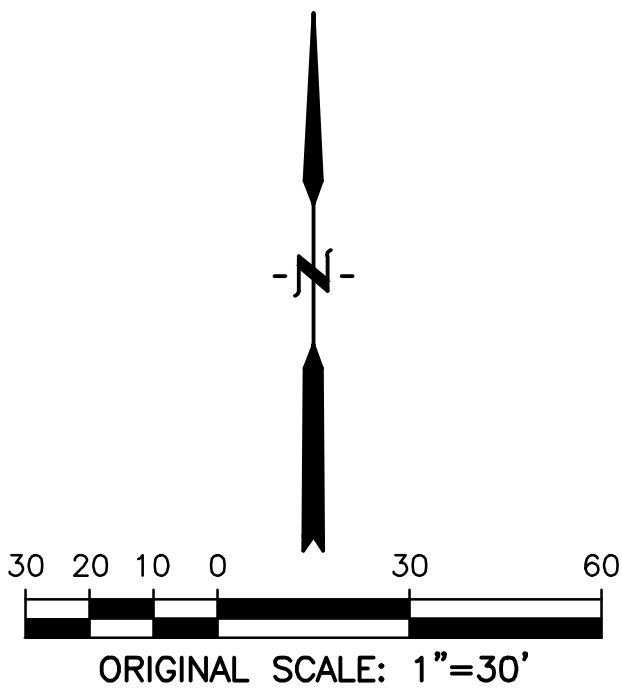
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
EROSION
CONTROL PLAN 2



LEGEND

PROPERTY LINE	---
EX. INTERMEDIATE CONTOUR	---5164---
EX. INDEX CONTOUR	---5165---
PROPOSED INTERMEDIATE CONTOUR	---5164---
PROPOSED INDEX CONTOUR	---5165---
FLOWLINE OF DRAINAGE SWALE	---
EXISTING FENCE	-x-x-
PROPOSED FENCE	-x-x-
PROPOSED CONCRETE	[Pattern]
PROPOSED ASPHALT	[Pattern]
DIRECTION OF FLOW	→
LIMITS OF CONSTRUCTION	C
LIMITS OF DISTURBED AREA	LDA
SILT FENCE	SF
STABILIZED STAGING AREA	SSA
SEDIMENT CONTROL LOG	SCL
ROCK SOCKS	RS
INLET PROTECTION	IP
OUTLET PROTECTION	OP
EROSION CONTROL BLANKET	ECB
CONCRETE WASHOUT AREA	CWA
PERMANENT SEEDING	PS
VEHICLE TRACKING CONTROL PAD	VTC



NOTE:

1. ALL PUBLIC STORM, SEWER, WATER MAINS SHALL BE INSTALLED WITH SUBDIVISION IMPROVEMENTS. REFER TO WILLOUGHBY CORNER SUBDIVISION CONSTRUCTION PLANS FOR SUBDIVISION EROSION CONTROL PLANS.

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS. AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 4 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- TREE WRAP SHALL BE APPLIED IN LATE FALL AFTER INSTALLATION AND REMOVED THE FOLLOWING SPRING. TREES GREATER THEN 4" IN CALIPER MAY NOT REQUIRE TREE WRAP
- IF BARK IS SUFFICIENTLY DEVELOPED. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE WRAPPED.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- IN ALL CASES SHRUB, GROUNDCOVER AND PERENNIAL BEDS ADJACENT TO BUILDING AND WALL FOUNDATIONS SHALL BE CONTAINED BY 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE PERFORATED EDGER, RYERSON OR EQUAL. EDGER SHALL NOT RESTRICT THE FREE FLOW OF DRAINAGE OR DAM WATER IN ANY CASE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH. 1-2" ROCK MULCH OR 4-6" ROCK MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. REFER TO PLANS FOR LOCATIONS. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH 1-2" ROCK MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

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WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
LANDSCAPE
NOTES



WILLOUGHBY CORNER
SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

PLANT SCHEDULE PLANT HOLDERS

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AC GS	ACER GRANDIDENTATUM 'SCHMIDT' TM	ROCKY MOUNTAIN GLOW MAPLE	B & B	2" CAL
CA HI	CATALPA SPECIOSA 'HIAWATHA 2' TM	HEARTLAND NORTHERN CATALPA	B & B	2" CAL
CE CH	CELTIS OCCIDENTALIS 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	B & B	2" CAL
GL IM	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2" CAL
GY DI	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL
KO PA	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	B & B	2" CAL
PO AC	POPULUS X ACUMINATA	LANCELEAF POPLAR	B & B	2" CAL
PR SP	PRUNUS X SUCKER PUNCH TM	SUCKER PUNCH CHOKECHERRY	B & B	2" CAL
QU MA	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL
QU MU	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL
QU CR	QUERCUS ROBUR 'CRIMSCHMIDT' TM	CRIMSCHMIDT ENGLISH OAK	B & B	2" CAL
SO CR	SORBUS AUCUPARIA 'MICHRED' TM	CARDINAL ROYAL MOUNTAIN ASH	B & B	2" CAL
TI GR	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B & B	2" CAL
UL CC	ULMUS DAVIDIANA CHOICECITY	CHOICE CITY ELM	B & B	2" CAL

EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JU ME	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	B & B	6' HEIGHT
JU WO	JUNIPERUS SCOPULORUM 'WOODWARD'	WOODWARD COLUMNAR JUNIPER	B & B	6' HEIGHT
PI BB	PICEA PUNGENS 'BABY BLUE'	BABY BLUE COLORADO SPRUCE	B & B	6' HEIGHT
PFA	PICEA PUNGENS 'FASTIGIATA'	FASTIGIATE COLORADO SPRUCE	B & B	6' HEIGHT
PI AR	PINUS ARISTATA	BRISTLECONE PINE	B & B	6' HEIGHT
PI ED	PINUS EDULIS	PINON PINE	B & B	6' HEIGHT
PI VP	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	B & B	6' HEIGHT
PI PO	PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HEIGHT
PS ME	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B	6' HEIGHT

FRUIT TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
MA OE	MALUS X DOMESTICA 'MCINTOSH'	MCINTOSH APPLE	B & B	1.5" CAL
MA RE	MALUS X DOMESTICA 'RED DELICIOUS'	RED DELICIOUS APPLE	B & B	1.5" CAL
PR AV	PRUNUS AVIUM 'STELLA'	STELLA SWEET CHERRY	B & B	1.5" CAL
PR MO	PRUNUS CERASUS 'MONTMORENCY'	MONTMORENCY CHERRY	B & B	1.5" CAL
PR ST	PRUNUS DOMESTICA 'STANLEY'	STANLEY PLUM	B & B	1.5" CAL

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AC FL	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" CAL
AC HW	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	1.5" CAL
CR AM	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	1.5" CAL
CR CR	CRATAEGUS CRUS-GALLI INERMIS 'CRUSADER'	CRUSADER COCKSPUR HAWTHORN	B & B	1.5" CAL
HE MI	HEPTACODIUM MICONIOIDES	SEVEN SONS FLOWER	B & B	6' CLUMP
MA DO	MALUS X 'DOLGO'	DOLGO CRABAPPLE	B & B	1.5" CAL
MA RB	MALUS X 'RED BARRON'	RED BARRON CRAB APPLE	B & B	1.5" CAL
MA TH	MALUS X 'THUNDERCHILD'	THUNDERCHILD CRAB APPLE	B & B	1.5" CAL
PR CH	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOKECHERRY	B & B	1.5" CAL
SY RE	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	6' HEIGHT

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AR TR	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	CONT	5 GAL
BE CP	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	CONT	5 GAL
BU AL	BUDDLEJA ALTERNIFOLIA 'ARGENTEA'	SILVER FOUNTAIN BUTTERFLY BUSH	CONT	5 GAL
CE IN	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGONY	CONT	5 GAL
CH SS	CHAENOMELES SPECIOSA 'SCARLET STORM' TM	DOUBLE TAKE SCARLET STORM FLOWERING QUINCE	CONT	5 GAL
CO AF	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT	5 GAL
CO KE	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	CONT	5 GAL
CO LU	COTONEASTER LUCIDUS	SHINY COTONEASTER	CONT	5 GAL
ER NA	ERICAMERIA NAUSEOSA NAUSEOSA	TALL BLUE RABBITBRUSH	CONT	5 GAL
FA PA	FALLUGIA PARADOXA	APACHE PLUME	CONT	5 GAL
FR FL	FRANGULA ALNUS 'FINE LINE' TM	TALL FERNLEAF BUCKTHORN	CONT	5 GAL
HO DU	HOLIDISCUS DUMOSUS	ROCK SPIREA	CONT	5 GAL
HY LI	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	CONT	5 GAL
HY RE	HYDRANGEA PANICULATA 'RENHY'	VANILLA STRAWBERRY HYDRANGEA	CONT	5 GAL
AM HY	HYDRANGEA QUERCIFOLIA 'AMETHYST'	AMETHYST OAKLEAF HYDRANGEA	CONT	5 GAL
JA AM	JAMESIA AMERICANA	WAXFLOWER	CONT	5 GAL
KR LA	KRASCHENINNIKOVIA LANATA	WINTERFAT	CONT	5 GAL
LI LO	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT	5 GAL
PE LS	PEROVSKIA ATRIPPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT	5 GAL
PH DI	PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	DIABLO NINEBARK	CONT	5 GAL
PO PB	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT	5 GAL
PR PB	PRUNUS BESSEYI PAWNEE BUTTES	CREEPING WESTERN SAND CHERRY	CONT	5 GAL
RH AU	RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	CONT	5 GAL
RH TY	RHUS TYPHINA 'BAILTIGER' TM	TIGER EYES STAGHORN SUMAC	CONT	5 GAL
RI GR	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT	5 GAL
RO TB	ROSA RUGOSA 'THERESE BUGNET'	THERESE BUGNET ROSE	CONT	5 GAL
RO WO	ROSA WOODSII	MOUNTAIN ROSE	CONT	5 GAL
RO BL	ROSA X 'BLUSHING KNOCKOUT'	ROSE	CONT	5 GAL
RU EH	RUBUS FRUTICOSUS 'EBONY HARDY'	EBONY HARDY BLACKBERRY	CONT	5 GAL
RU BO	RUBUS X 'BOYSEN'	BOYSENBERRY	CONT	5 GAL
SAL EXI	SALIX EXIGUA	COYOTE WILLOW	CONT	5 GAL
SY MK	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT	5 GAL
VI LA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN WAYFARING TREE	CONT	5 GAL

EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AR PA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	CONT	5 GAL
EU EG	EUONYMUS FORTUNEI 'EMERALD GAIEITY' TM	EMERALD GAIEITY EUONYMUS	CONT	5 GAL
JUN MO9	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	CONT	5 GAL
JU SG	JUNIPERUS X MEDIA 'SEA GREEN'	SEA GREEN JUNIPER	CONT	5 GAL
MA AQ	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	CONT	5 GAL
PI MU	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	CONT	5 GAL
YU FI	YUCCA FILAMENTOSA	ADAM'S NEEDLE	CONT	5 GAL
YU GL	YUCCA GLAUCA	SOAPWEED	CONT	5 GAL

ORNAMENTAL GRASSES

BO BA	BOULELOUA GRACILIS 'BLONDE AMBITION'
CA KF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
HE SE	HELICTOTRICHON SEMPERVIRENS
MI PU	MISCANTHUS SINENSIS 'PURPURESCENS'
MU RE	MUHLENBERGIA REVERCHONI 'UNDAUNTED'
PA SH	PANICUM VIRGATUM 'SHENANDOAH'
PE HA	PENNISETUM ALOPECUROIDES 'HAMELN'
SC SC	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'
SP HE	SPOROBOLUS HETEROLEPIS
SP WR	SPOROBOLUS WRIGHTII

PERENNIALS

AC MI	ACHILLEA MILLEFOLIUM
AC PA	ACHILLEA MILLEFOLIUM 'PAPRIKA'
AG AU	AGASTACHE AURANTIACA
AG RU	AGASTACHE RUPESTRIS 'APACHE SUNSET'
AN DE	ANACYCLUS DEPRESSUS
AG CA	AQUILEGIA CAERULEA
AS TU	ASCLEPIAS TUBEROSA
BE LY	BERLANDIERA LYRATA
CO LA	COREOPSIS LANCEOLATA 'STERNTALER'
DI FL	DIANTHUS DELTOIDES 'FLASHING LIGHT'
DI SP	DICENTRA SPECTABILIS
EC PU	ECHINACEA PURPUREA
GA AR	GAILLARDIA ARISTATA
HE HR	HEMEROCALLIS X 'HAPPY RETURNS'
HO PA	HOSTA FORTUNEI 'PATRIOT'
IR OO	IRIS X GERMANICA 'OPEN OCEAN'
LA AN	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'
MI MU	MIRABILIS MULTIFLORA
NE RA	NEPETA RACEMOSA 'WALKER'S LOW'
OR LA	ORIGANUM LAEVIGATUM 'HERRENHAUSEN'
PE RR	PENSTEMON MEXICALI 'RED ROCKS'
RA CO	RATIBIDA COLUMNIFERA
RU FU	RUDBECKIA FULGIDA 'GOLDSTRUM'
SE TE	SEDUM TELEPHIUM 'BEKA' TM
SO RU	SOLIDAGO RUGOSA 'FIREWORKS'
ZI GR	ZINNIA GRANDIFLORA 'GOLD ON BLUE'

SEED MIX LIST

WETLAND SEED



COMMON NAME	BOTANICAL NAME		
WESTERN WHEATGRASS	PASCOPYRUM SMITHII VAR ARRIBA	29%	14.5 LBS.
WOOLY SEDGE	CAREX LANUGINOSA	1%	0.5 LBS.
BLUE GRAMA	BOULETELOUA GRACILIS VAR LOVINGTON	5%	2.5 LBS.
NEBRASKA SEDGE	CAREX NEBRASKENSIS	1%	0.5 LBS.
SWITCHGRASS	PANICUM VIRGATUM VAR BLACKWELL	26%	13 LBS.
INLAND SALTGRASS	DISTICLIS STRICTA	5%	2.5 LBS.
CREEPING SPIKERUSH	ELEOCHARIS PALUSTRIS	1%	0.5 LBS.
BALTIC RUSH	JUNCUS BALTICUS	4%	2 LBS.
HARDSTEM BULRUSH	SCIRPUS ACUTUS	4%	2 LBS.
PRAIRIE CORDGRASS	SPARTINA PECTINATA	20%	10 LBS.
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	4%	2 LBS.
		100%	50 LBS. / PLS PER ACRE

DRYLAND SEED



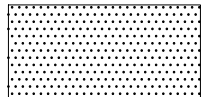
COMMON NAME	BOTANICAL NAME		
BLUE GRAMA	BOULETELOUA GRACILIS	19%	6.5 LBS.
CAMPER LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	9%	3.0 LBS.
PRAIRIE SANDREED	CALAMOVILFA LONGIFOLIA	9%	3.0 LBS.
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	5%	2.0 LBS.
VAUGHN SIDEOATS GRAMMA	BOULETELOUA CURTIPENDULA	9%	3.0 LBS.
ARRIBA WESTERN WHEATGRASS	AGROPYRON SMITHII 'ARRIBA'	16%	5.5 LBS.
SAND BLUESTEM	ANDROPOGON HALLII 'GARDEN'	10%	3.5 LBS.
BUFFALOGRASS	BUCHLOE DACTYLOIDES "SHARPS IMPROVED"	23%	8.0 LBS.
		100%	34.5 LBS. / PLS PER ACRE

ENHANCED NATIVE SEED



COMMON NAME	BOTANICAL NAME		
SIDE OATS GRAMA	BOULETELOUA CURTIPENDULA	5%	0.57 LBS
BLUE GRAMA	BOULETELOUA GRACILIS	10%	0.26 LBS
BUFFALOGRASS	BOULETELOUA DACTYLOIDES	10%	3.89 LBS
CANADA WILDRIE	ELYMUS CANADENSIS	10%	1.89 LBS
THICKSPIKE WHEATGRASS	ELYMUS LANCEOLATUS	10%	1.41 LBS
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	10%	1.37 LBS
SWITCHGRASS	PANICUM VIRGATUM 'TRAILBLAZER'	3%	0.17 LBS
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	5%	0.99 LBS
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	5%	0.42 LBS
ALKALI SACATON	PUCCINELLIA	2%	0.02 LBS
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	5%	0.02 LBS
ROCKY MOUNTAIN BEE	CLEOME SERRULATA	5%	1.65 LBS
PLANT PLAINS COREOPSIS	COREOPSIS TINCTORIA	5%	0.02 LBS
PURPLE PRAIRE CLOVER	DALEA PURPUREA	5%	0.36 LBS
BLANKET FLOWER	GAILLARDIA ARISTATA	5%	0.83 LBS
YELLOW CONEFLOWER	RATIBIDA COLUMNIFERA	5%	0.09 LBS
		100%	13.97 LBS. DRILLED

IRRIGATED SOD



HEAT RESISTANT TEXAS BLUEGRASS MIX.
CONTRACTOR SHALL SUBMIT CUT SHEETS FOR APPROVAL.



WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

MATERIAL SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

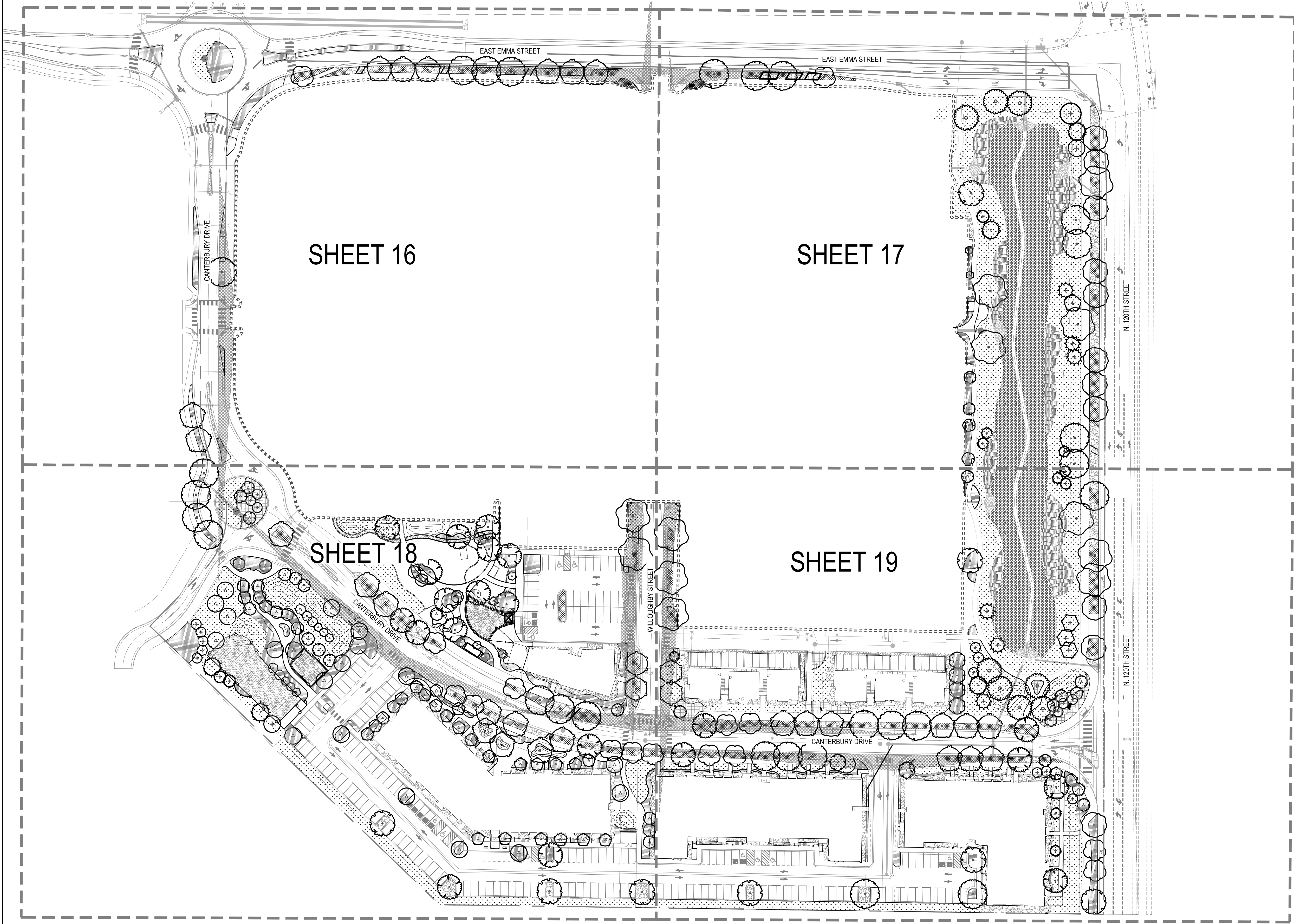
ITEM	DESCRIPTION	PROVIDER	SIZE / DIMENSIONS	PRODUCT NAME	COLOR / FINISH	NOTES	QUANTITY
A	CONCRETE FLATWORK	N/A	N/A	N/A	STANDARD GRAY, BROOM FINISH	INSTALL PER MANUFACTURER'S SPECIFICATIONS	N/A; SEE CIVIL
B	ENHANCED PAVING	DAVIS COLOR OR APPROVED EQUAL	N/A		TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
C	COBBLE MULCH	PIONEER OR APPROVED EQUAL	6-12" ROCK, MIN. 4" DEPTH.	N/A	RIVER ROCK BLEND	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
D	ROCK MULCH	PIONEER OR APPROVED EQUAL	MIX OF 30% 1-2" ROCK, 30% 4-6" ROCK, AND 40% 6-12" ROCK; MIN. 4" DEPTH	N/A	RIVER ROCK BLEND	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
E	WOOD MULCH	PIONEER OR APPROVED EQUAL	CUSTOM	N/A	GORILLA HAIR SHREDDED CEDAR MULCH	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
F	CRUSHER FINES	PIONEER OR APPROVED EQUAL	N/A	N/A	DOLOMITE TAN COLOR	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
G	IRRIGATED TURF- SOD	N/A	N/A	TEXAS HYBRID BLUEGRASS BLEND	N/A	INSTALL PER MANUFACTURER'S SPECIFICATIONS	
H	PLAYGROUND SURFACING	POUR IN PLACE (PIP)	CUSTOM	N/A		INSTALL PER MANUFACTURER'S SPECIFICATIONS	
I	STEEL EDGER	RYERSON OR APPROVED EQUAL	6" X 14 GAUGE	N/A	INTERLOCKING, ROLLED TOP EDGER OR APPROVED EQUAL, COLOR- BLACK	INSTALL PER MANUFACTURER'S SPECIFICATIONS	

AMENITY SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	COLOR/FINISH	NOTES
1	BENCH	LANDSCAPE FORMS	CONTACT: Vivian Kovacs 800.430.6206 x 1323 www.landscapeforms.com	GENERATION 50 BENCH WITH LOOPED END ARMS OR APPROVED EQUAL	TBD	SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
2	TWIG BENCH	LANDSCAPE FORMS	CONTACT: Vivian Kovacs 800.430.6206 x 1323 www.landscapeforms.com	BACKED TWIG BENCH	TBD	FREE STANDING
3	TRASH RECEPTACLE	SITE PIECES	CONTACT: 800.484.0797 www.sitepieces.com	MONOLINE LITTER BIN ML-LGLITTER-DL OR APPROVED EQUAL	POWDERCOAT BLACK	SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
4	BIKE RACK	LANDSCAPE FORMS	CONTACT: Vivian Kovacs 800.430.6206 x 1323 www.landscapeforms.com	FLO BIKE RACK OR APPROVED EQUAL	TBD	SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
5	DOG WASTE STATION	SITE PIECES	CONTACT: 800.484.0797 www.sitepieces.com	MONOLINE NO.2 BAG HOLDER + WASTE BIN OR APPROVED EQUAL	TBD	SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
6	BISTRO TABLES	LANDSCAPE FORMS	CONTACT: Vivian Kovacs 800.430.6206 x 1323 www.landscapeforms.com	CATENA SURFACE MOUNT TABLE WITH PERFORATED STEEL HEAD METAL OR APPROVED EQUAL	TBD	SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
6	BISTRO CHAIRS	LANDSCAPE FORMS	CONTACT: Vivian Kovacs 800.430.6206 x 1323 www.landscapeforms.com	CATENA CHAIRS OR APPROVED EQUAL	TBD	FREESTANDING
7	STRING LIGHTS	AQ LIGHTING	CONTACT: 800.865.7221 www.aqlightinggroup.com	120V COMMERCIAL GRADE OUTDOOR LED STRING LIGHTS OR APPROVED EQUAL	BLACK WIRE, CLEAR BULB	INSTALL PER MANUFACTURER'S SPECIFICATIONS. TO BE FASTENED TO STEEL CABLE FOR SUPPORT, STRINGS TO BE TAUT, REFER TO ELECTRICAL
7	STRING LIGHTS POLE	STRUCTURA	CONTACT: 913.390.8787 www.structura.com			INSTALL PER MANUFACTURER'S SPECIFICATIONS
8	PLANTERS	TBD	TBD	TBD	TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS
9	GRILL	TBD	TBD	TBD	TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS
10	ART/ LIGHT FEATURE	TBD	TBD	TBD	TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



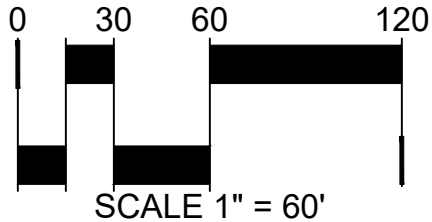
- LEGEND
- CANOPY TREES
 - EVERGREEN TREES
 - ORNAMENTAL TREES
 - COBBLE MULCH
 - ROCK MULCH
 - WOOD MULCH
 - IRRIGATED TURF
 - IRRIGATED NATIVE GRASS
 - NATIVE WETLAND GRASS
 - NATIVE WILDFLOWER MIX
 - CRUSHER FINES
 - PLAY SURFACE
 - ENHANCED PAVEMENT
 - STEEL EDGER
 - FENCE
 - PROPERTY LINE
 - R.O.W.
 - PHASE 1 BOUNDARY

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

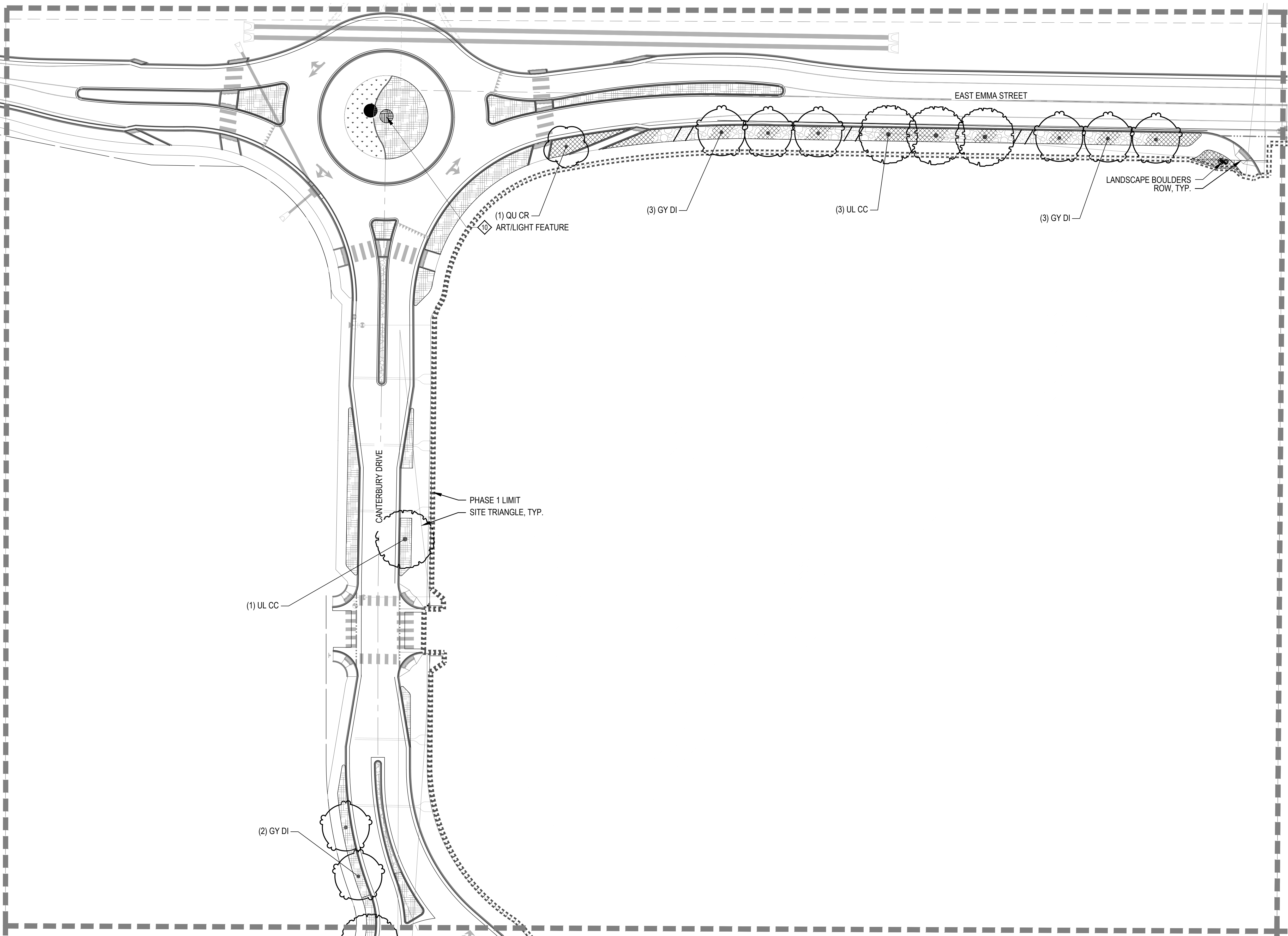
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OVERALL
PLAN



WILLOUGHBY CORNER

SITE PLAN - PHASE 1

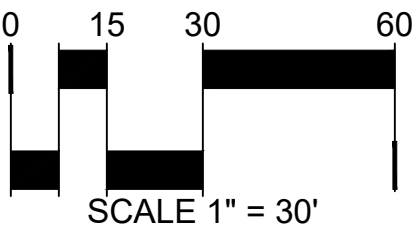
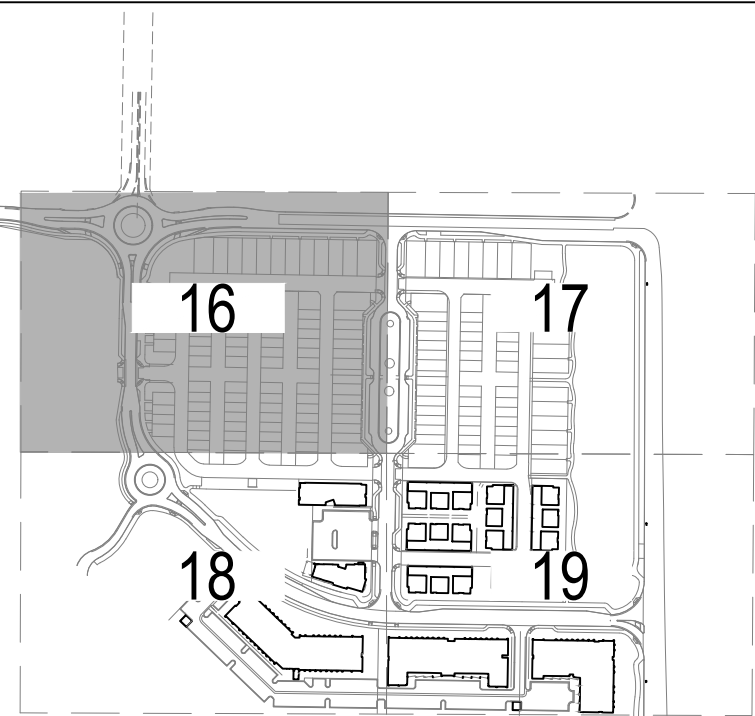
LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

- CANOPY TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- COBBLE MULCH
- ROCK MULCH
- WOOD MULCH
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- PHASE 1 BOUNDARY
- BENCH (SHEET 14)
- TWIG BENCH (SHEET 14)
- BIKE RACK (SHEET 14)
- PET PICK UP STATION (SHEET 14)
- TRASH AND RECYCLING RECEPTACLES (SHEET 14)
- BISTRO TABLE AND CHAIRS (SHEET 14)
- STRING LIGHTS (SHEET 14)
- PLANTERS (SHEET 14)
- OUTDOOR GRILL (SHEET 14)
- ART/LIGHT FEATURE (SHEET 14)

KEY MAP



WILLOUGHBY CORNER

SITE PLAN- PHASE 1

LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
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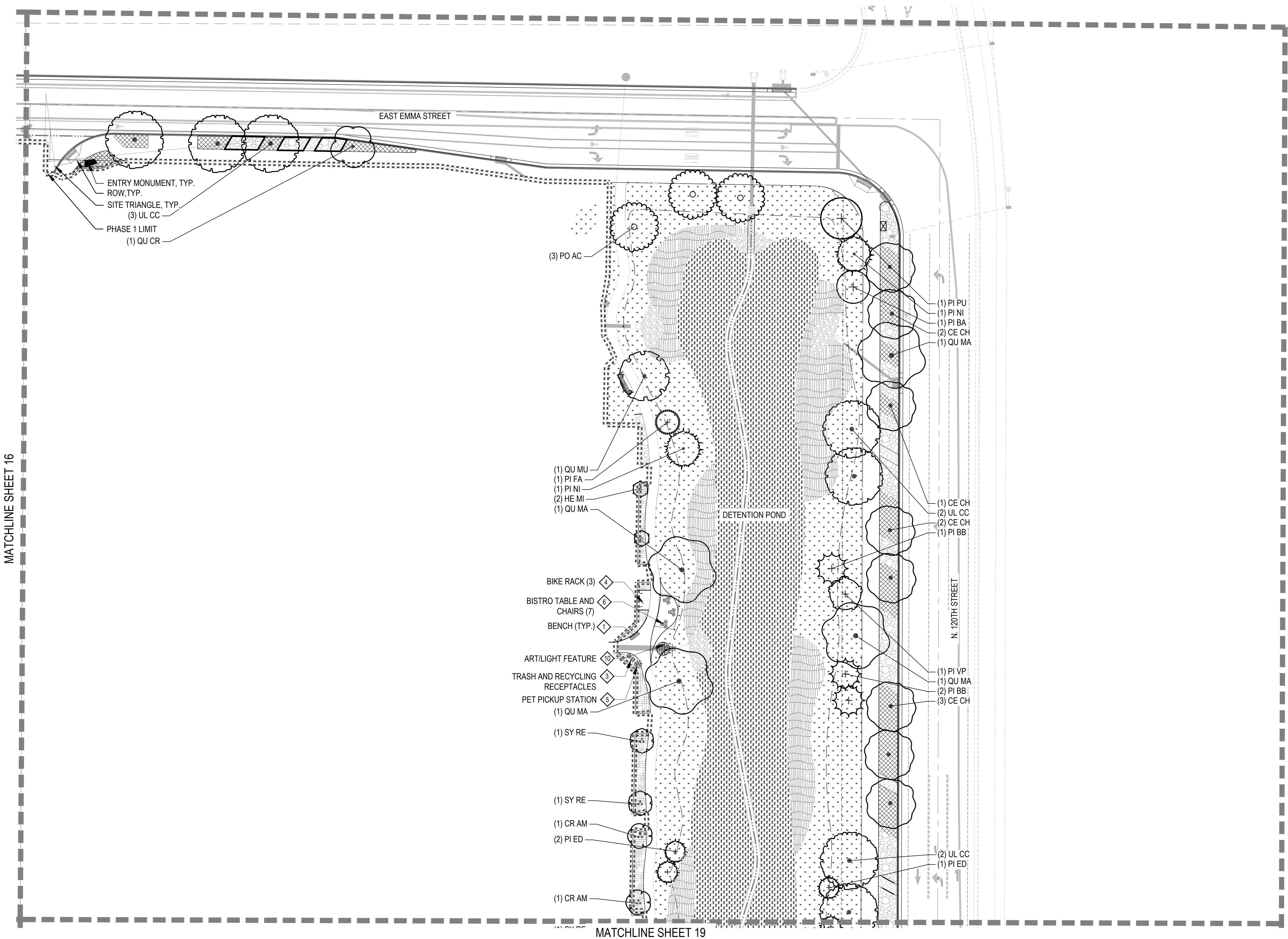
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06.17.22 - SITE PLAN 01

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LANDSCAPE
PLAN

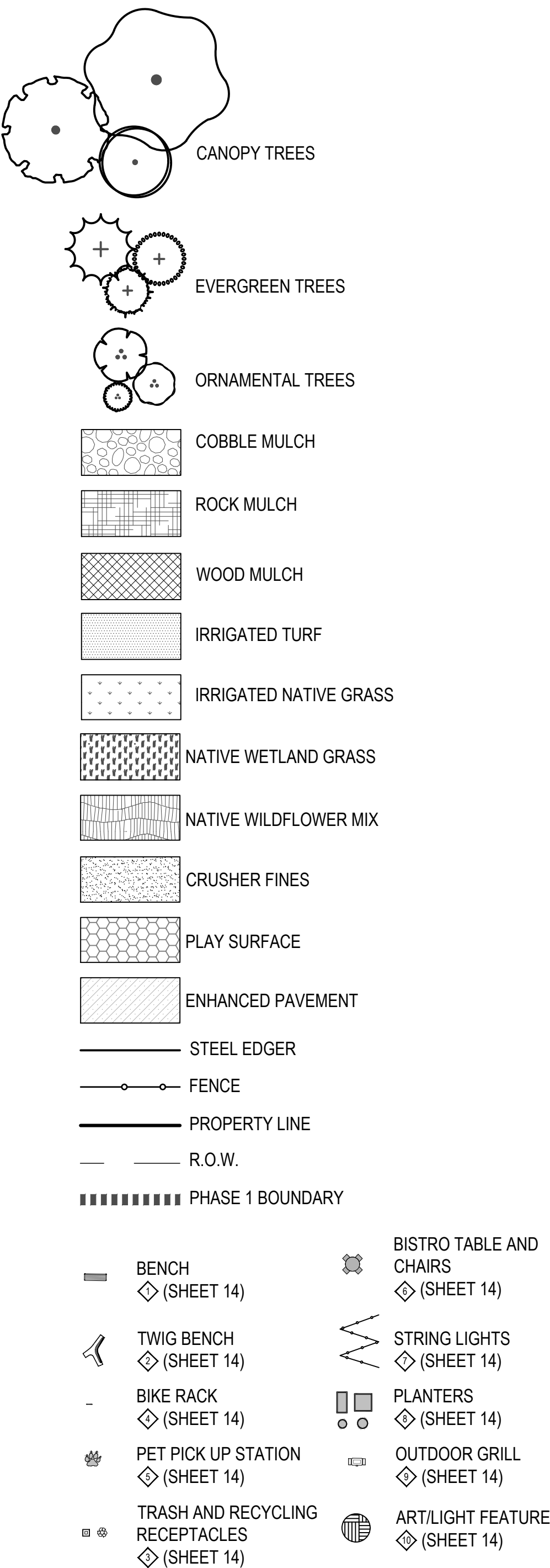
WILLOUGHBY CORNER

SITE PLAN - PHASE 1

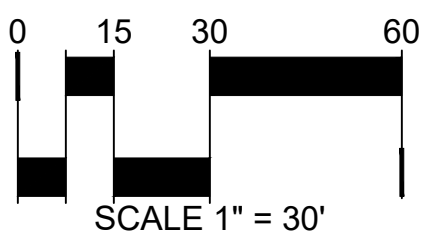
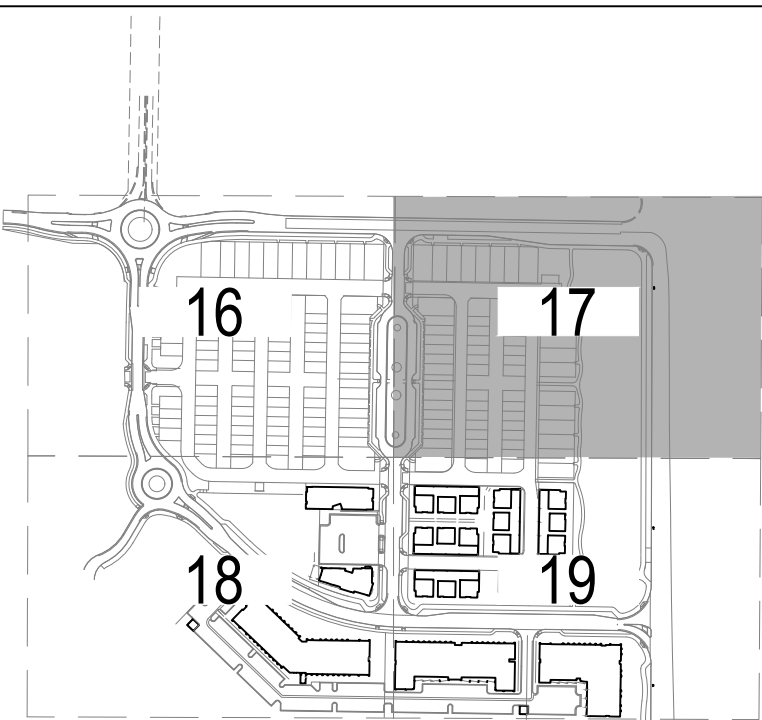
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CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND



KEY MAP



WILLOUGHBY CORNER

SITE PLAN- PHASE 1

LAFAYETTE, COLORADO

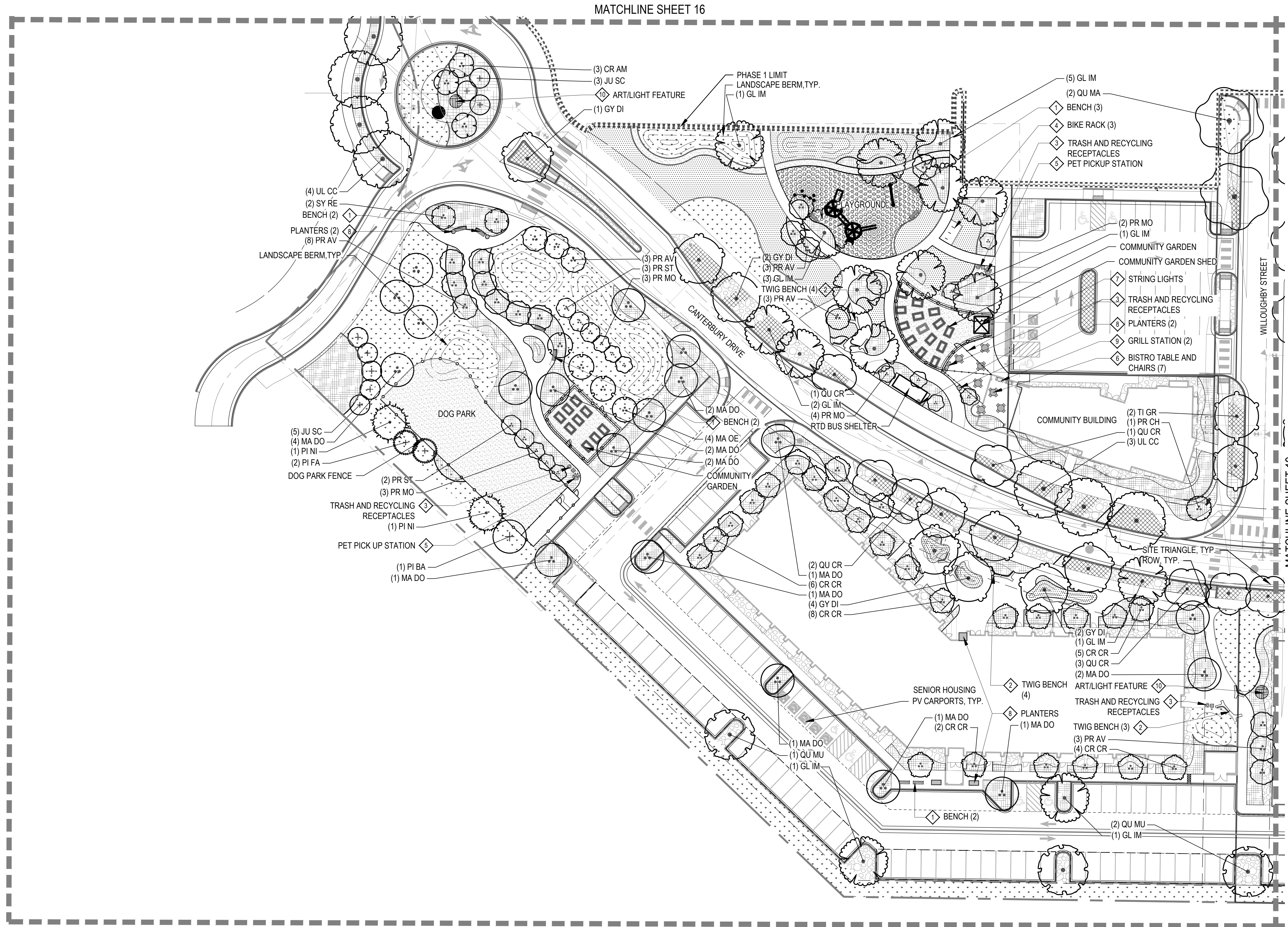
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BOULDER, CO - 80304
303.441.3861
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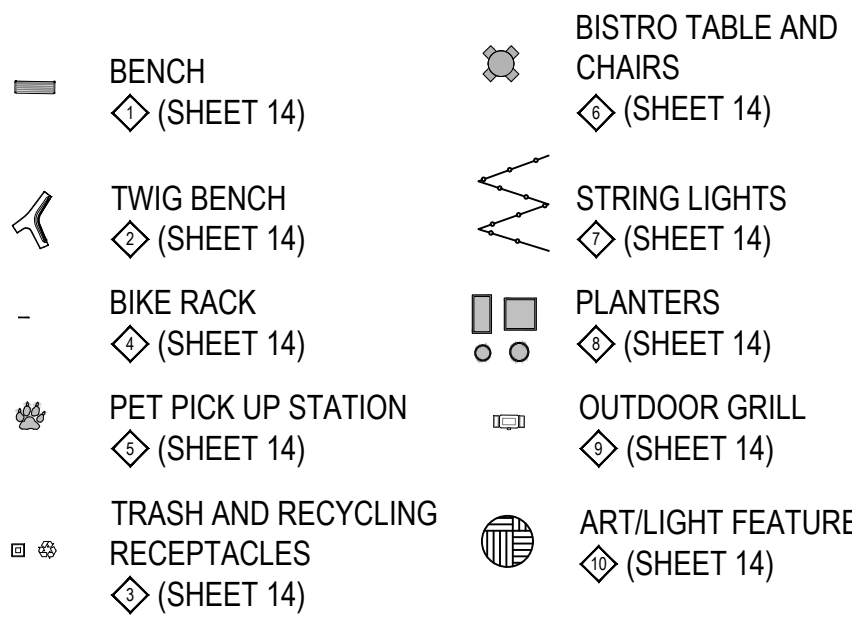
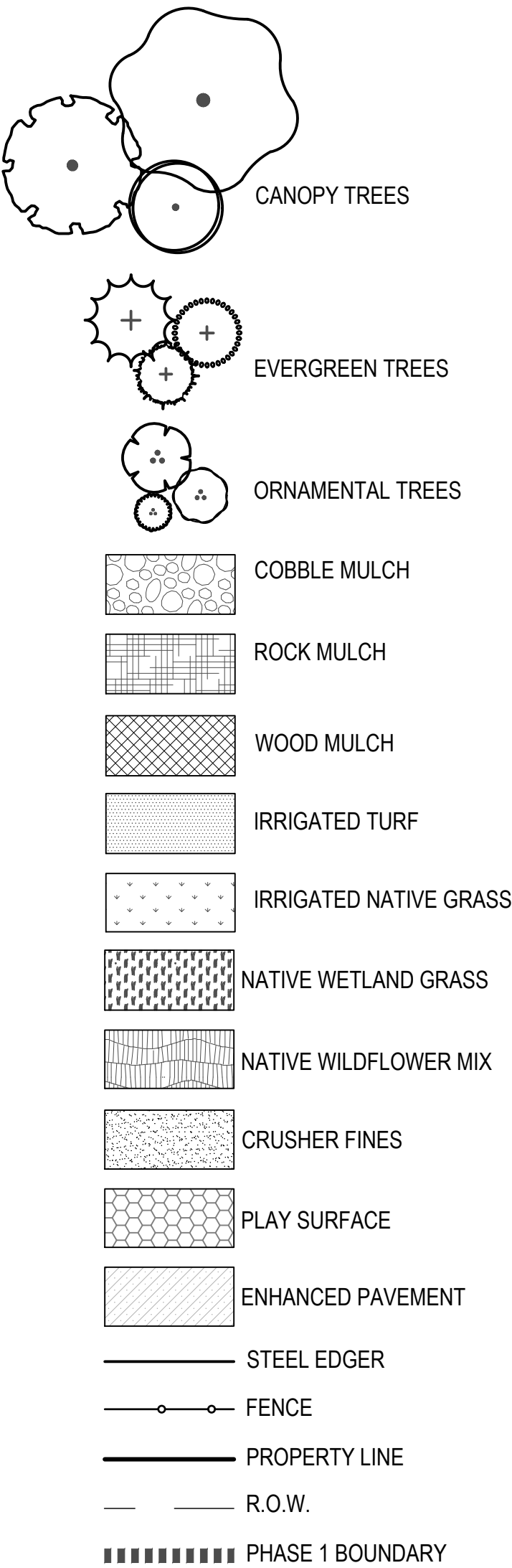
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LANDSCAPE
PLAN

WILLOUGHBY CORNER SITE PLAN - PHASE 1

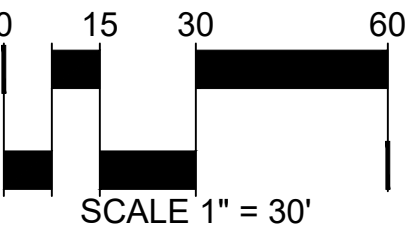
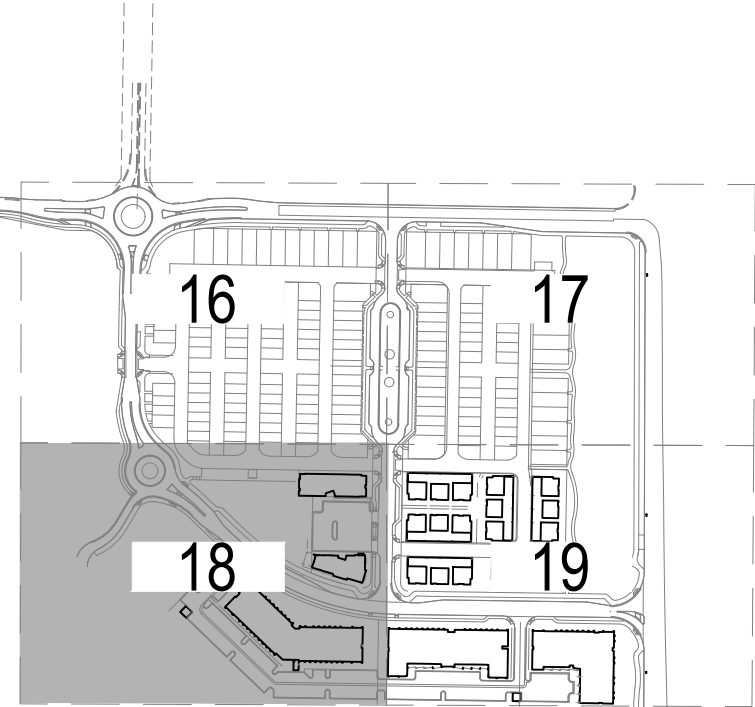
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CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

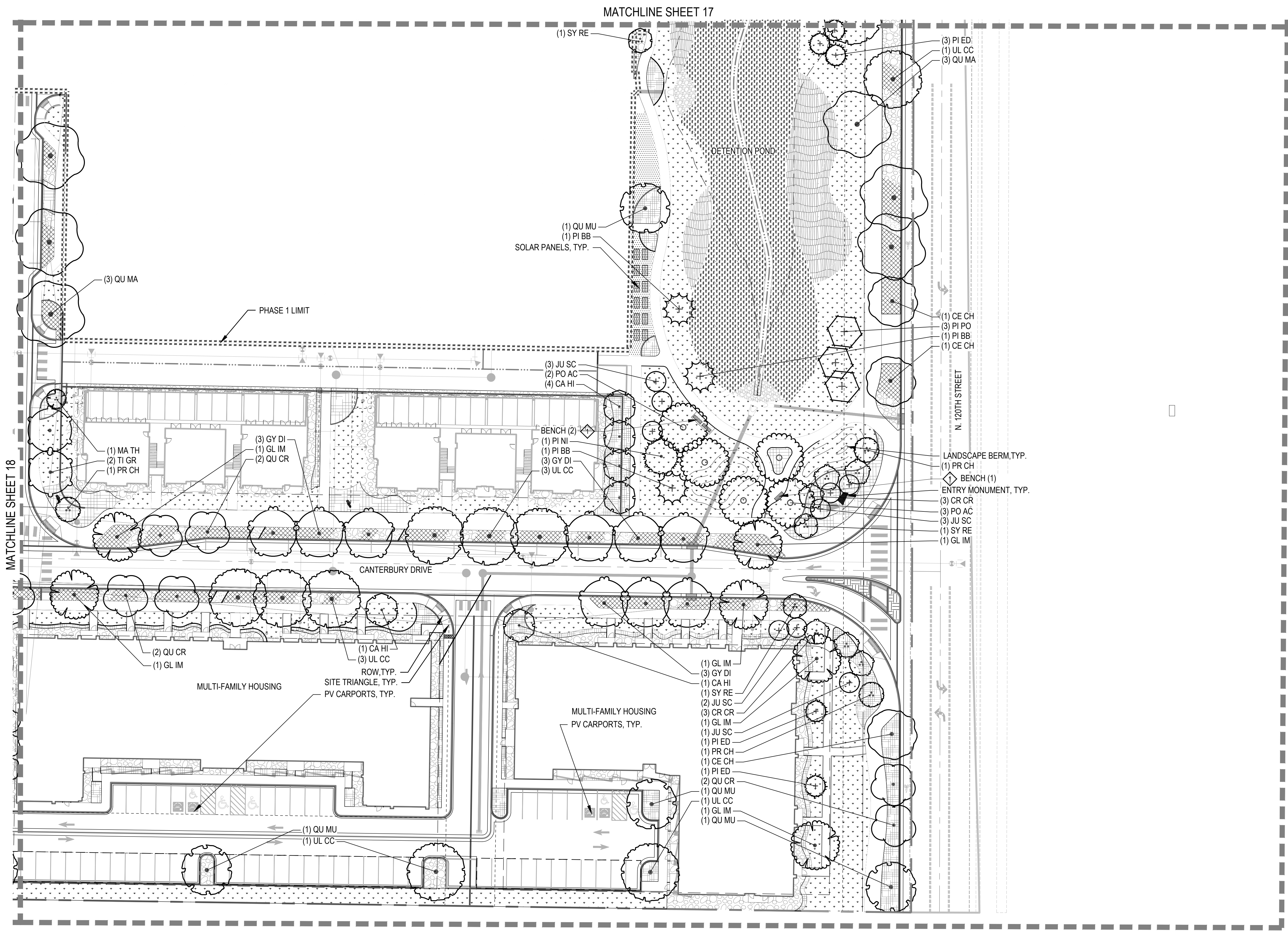


KEY MAP



WILLOUGHBY CORNER SITE PLAN - PHASE 1

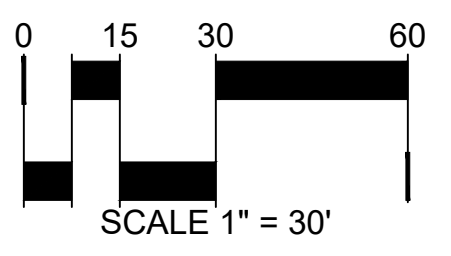
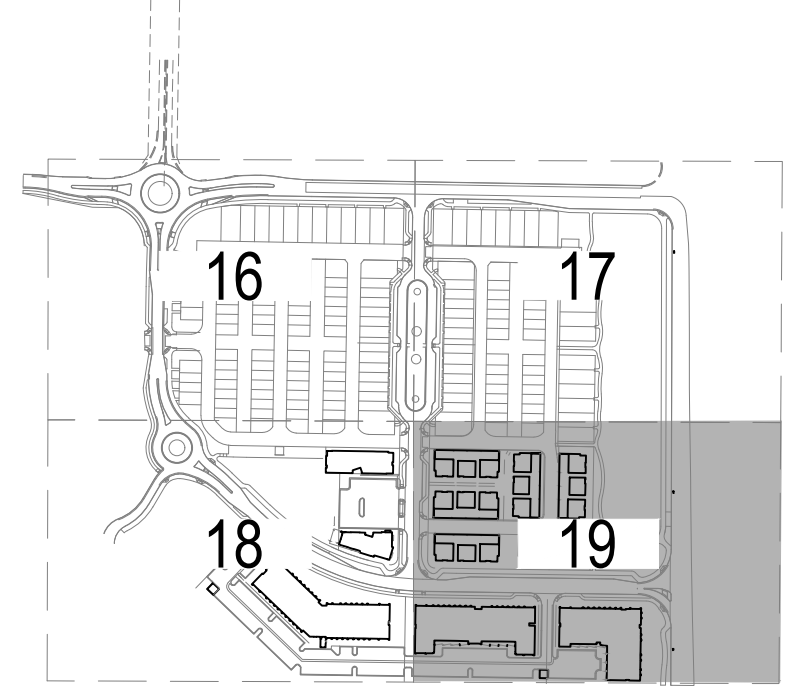
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CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

- CANOPY TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- COBBLE MULCH
- ROCK MULCH
- WOOD MULCH
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KEY MAP



WILLOUGHBY CORNER SITE PLAN- PHASE 1 LAFAYETTE, COLORADO

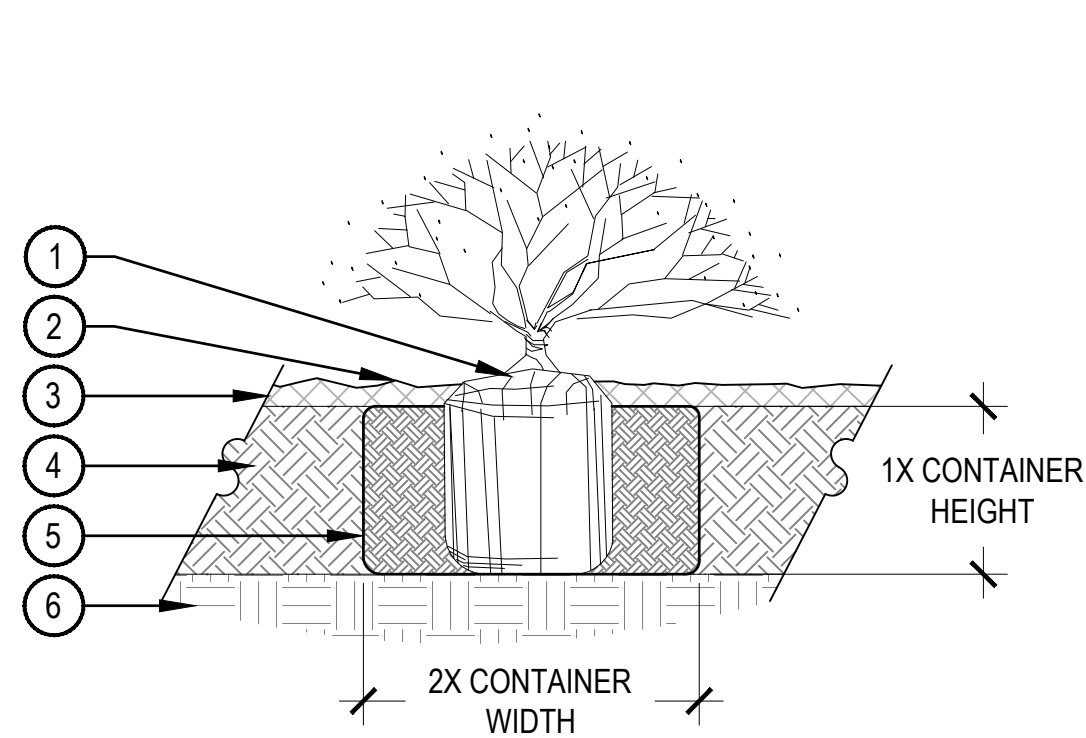
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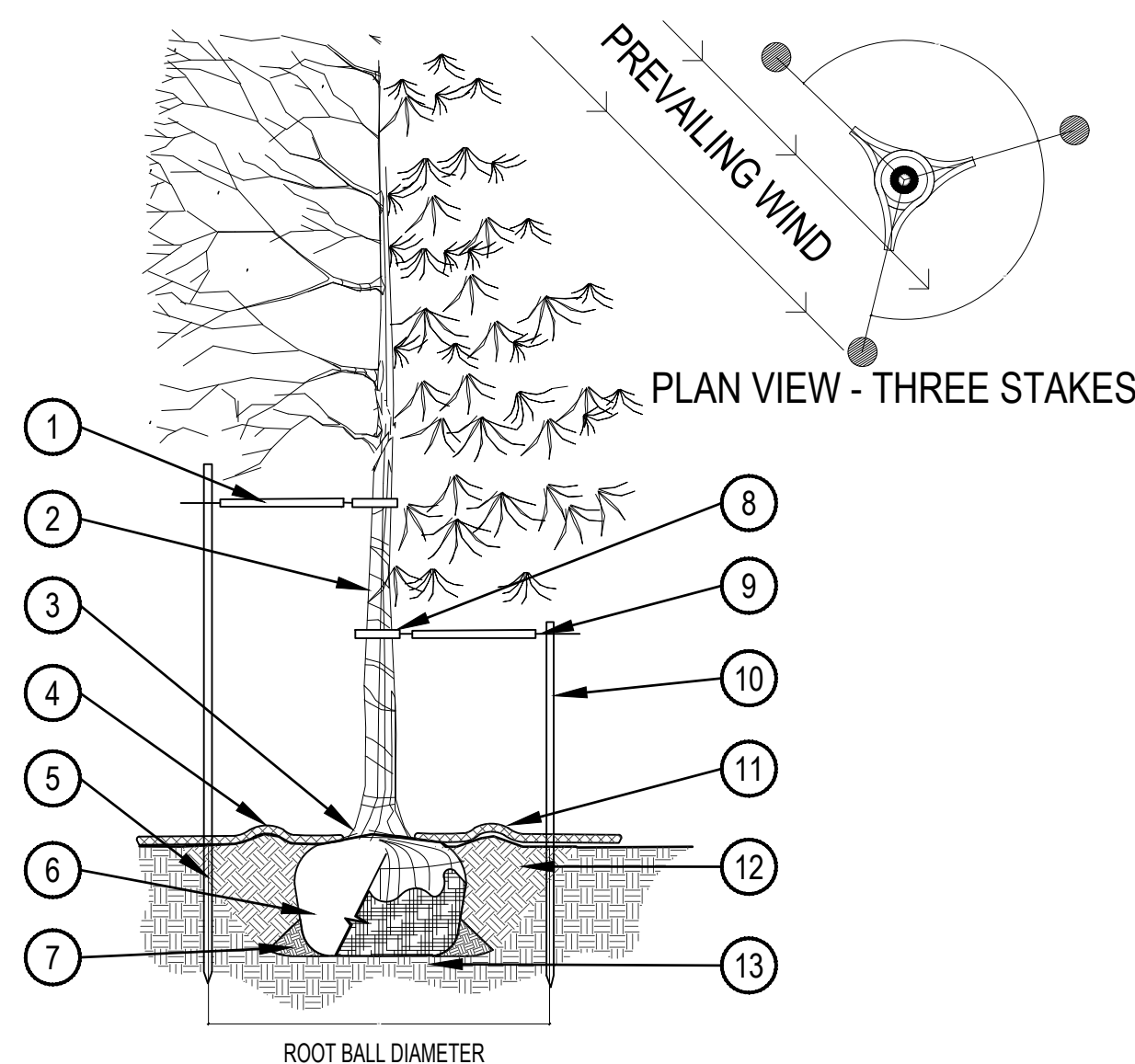
WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



- 1 SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- 2 FINISH GRADE (TOP OF MULCH)
- 3 SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- 4 TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- 5 BACKFILLED AMENDED SOIL
- 6 UNDISTURBED SOIL

- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

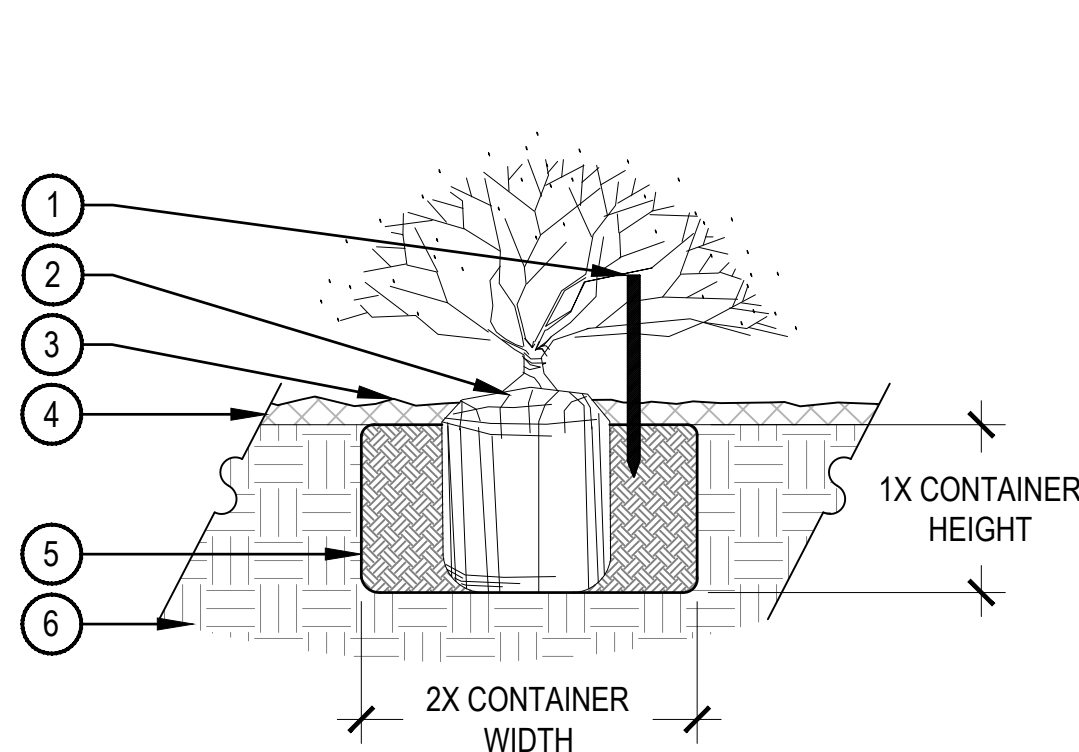


- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:
 - 1.1 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- 1 PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 2 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- 3 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1'-2" ABOVE FINAL GRADE.
- 4 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 5 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- 6 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- 7 PLACE SOIL AROUND ROOT BALL FIRMLY. DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- 8 GROMMETED NYLON STRAPS
- 9 GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 10 6 FT. STEEL T-POST (SEE SCHEDULE), ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- 11 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- 12 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 13 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

1 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"

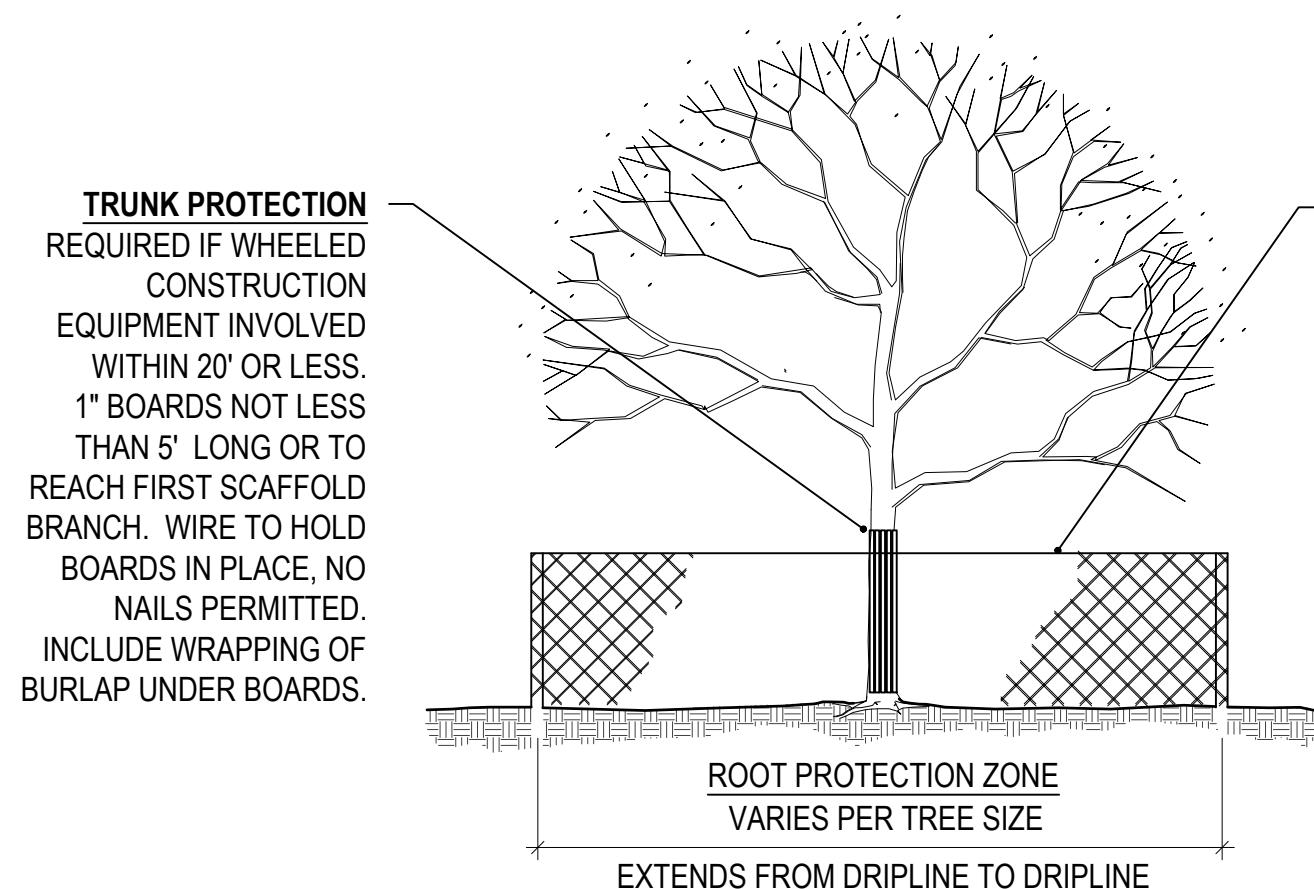


- 1 2'-6" WOODEN STAKE DRIVEN INTO THE GROUND NEXT TO ROOTBALL, 18" OF THE STAKE MUST BE VISIBLE
- 2 SET SHRUB ROOTBALL 1" HIGHER THAN FINISH GRADE
- 3 FINISH GRADE (TOP OF NATIVE SEED)
- 4 SPECIFIED NATIVE SEED
- 5 TILL SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8"
- 6 UNDISTURBED GRADE

- NOTES:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

3 SHRUB PLANTING IN NATIVE AREAS

SCALE: 1 1/2" = 1'-0"



BRANCH PROTECTION
PROTECT LOWER BRANCHES OF TREE CANOPY. PROVIDE CONSTRUCTION FENCING OR EQUAL AT DRIPLINE (MIN.)

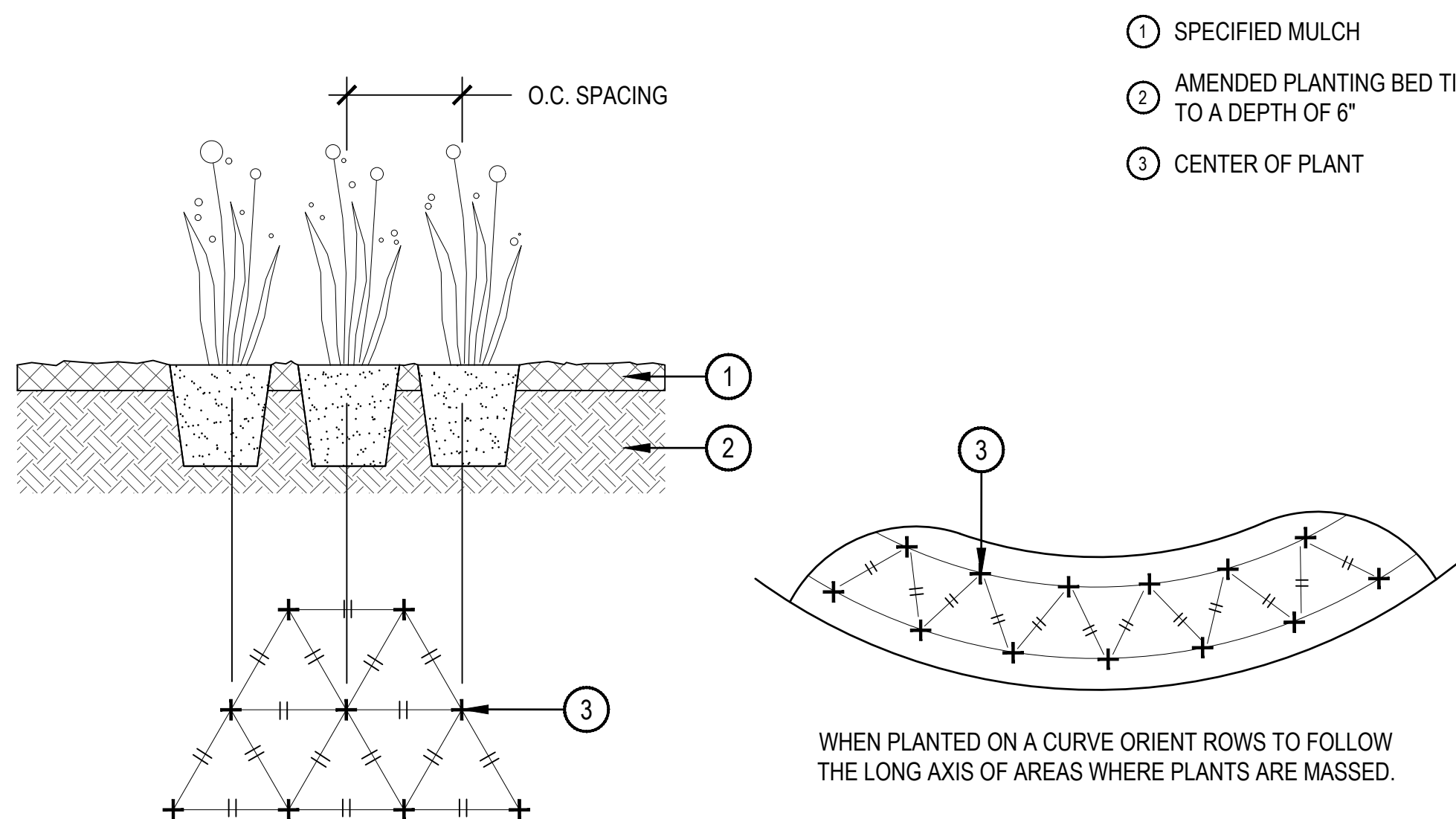
PLACE SIGNS:

KEEP OUT
TREE PROTECTION
AREA

EVERY 50' ATTACHED TO FENCING

2 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



- 1 SPECIFIED MULCH
- 2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- 3 CENTER OF PLANT

WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

4 PERENNIAL PLANT LAYOUT

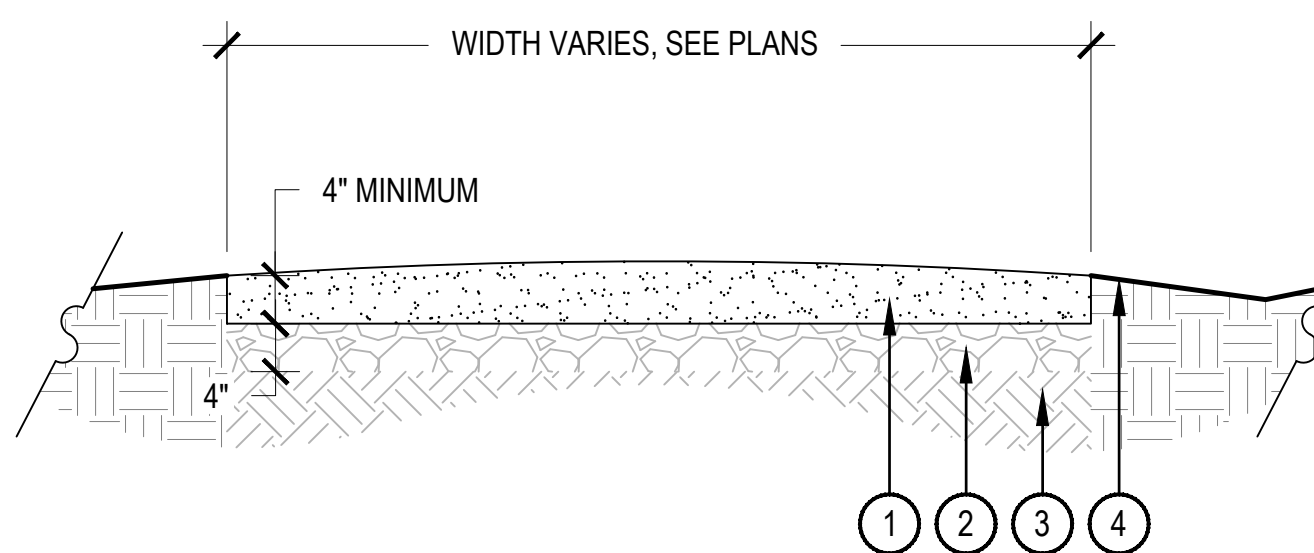
SCALE: 1" = 1'-0"

TREE PROTECTION NOTES

1. ALL TREES AND SHRUBS TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES AND SHRUBS TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
3. TO PREVENT ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN THE DRIP LINE OR WITHIN 15 FEET OF A TREE OR SHRUB TRUNK, WHICHEVER IS GREATER.
4. TREE AND SHRUB ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHENEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING. WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
7. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE.
9. FENCING MATERIAL SHALL ENCIRCLE ANY TREE OR SHRUB WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
10. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
11. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
12. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.
13. REFER TO PLANS FOR FENCE STAKING LOCATIONS.

5 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"



- 1 COMPACTED, STABILIZED CRUSHER FINES, REFER TO MATERIAL SCHEDULE, SHEET 14
- 2 AGGREGATE BASE
- 3 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 4 SLOPE ADJACENT GRADE AWAY FROM TRAIL

- NOTES:
1. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
 2. USE A SMALL 4" RIDING ROLLER TO COMPACT TRAIL IN (2) 2" LIFTS.
 3. CROWN OF 2% IN FLAT AREAS AS SHOWN.
 4. CROSS SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
 5. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE.

6 TREE AND SHRUB PROTECTION

SCALE: 1/8" = 1'-0"

7 CRUSHER FINES TRAIL

SCALE: 3/4" = 1'-0"

WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

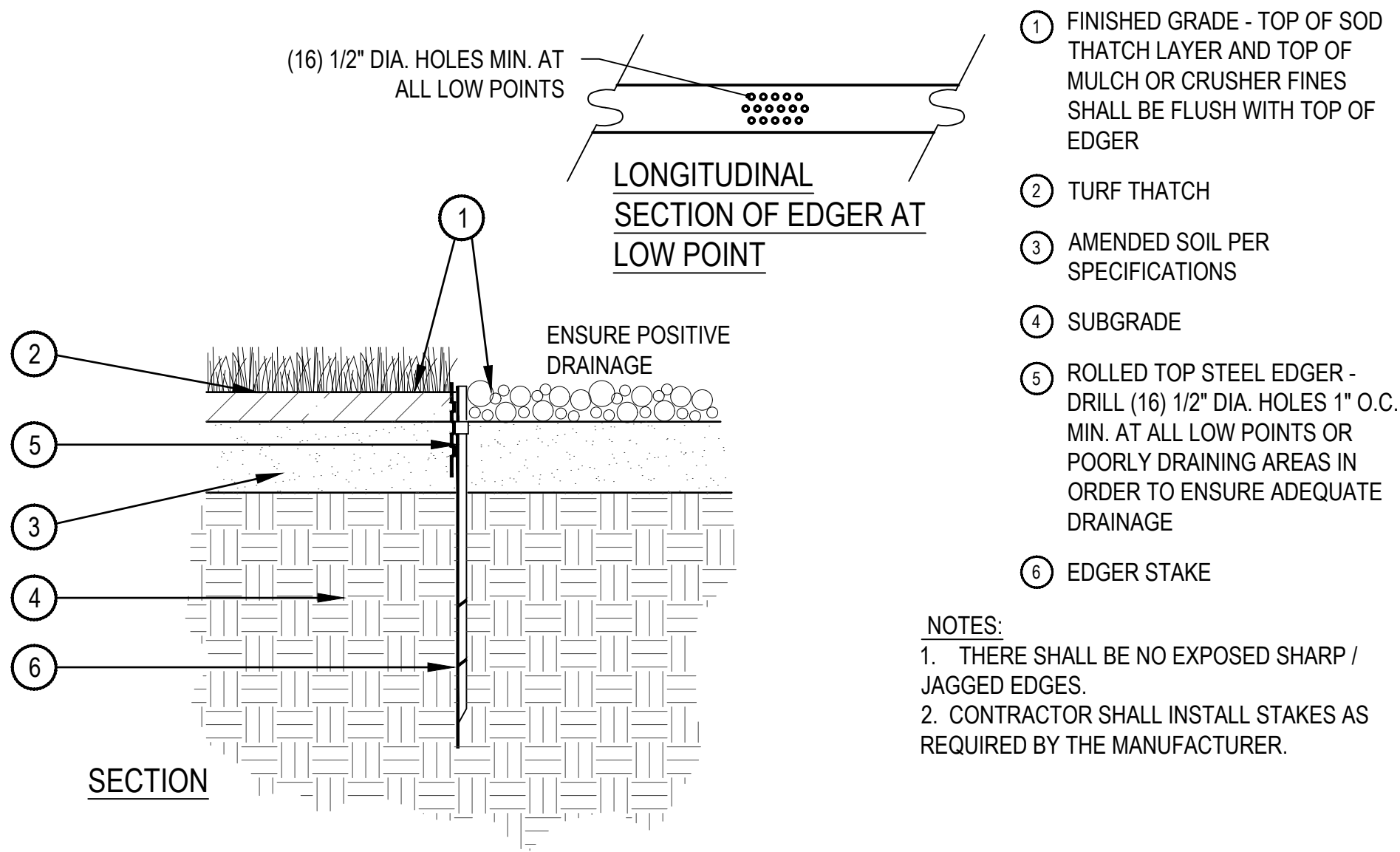
OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
LANDSCAPE
DETAILS

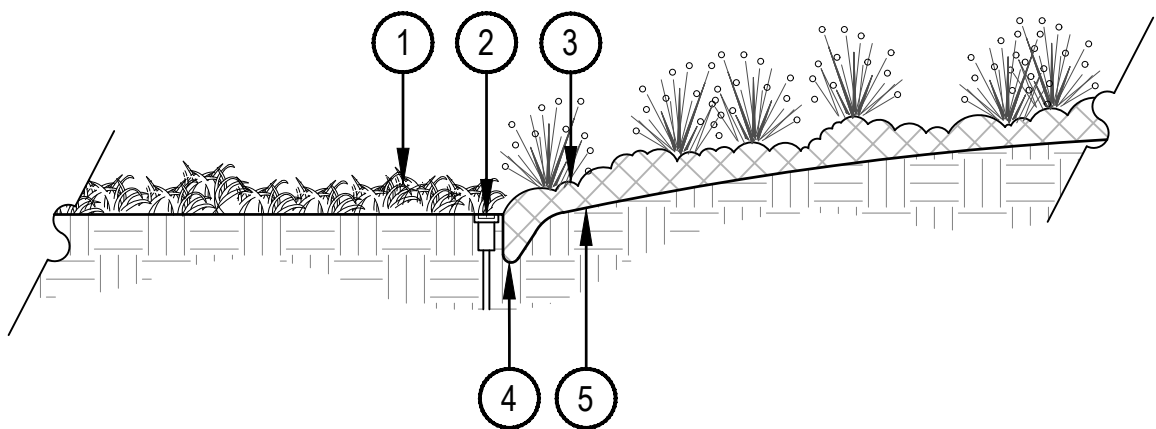
WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



1 STEEL EDGER DETAIL

SCALE: 1" = 1'-0"



2 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

- 1 TURFGRASS OR DYLAND SEED
- 2 IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- 3 PLANTING BED
- 4 VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE
- 5 SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3"-4" DEEP

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

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WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION: THERE IS TWO (2) POINTS OF CONNECTION ON THIS PROJECT.
POC #1 : X" DEDICATED IRRIGATION WATER METER LOCATED AT (EDIT LOCATION HERE).
 - CONTRACTOR IS TO LOCATE AND CONNECT DOWNSTREAM OF THE DEDICATED POTABLE IRRIGATION WATER METER (PROVIDED BY OTHERS) WITH TYPE K COPPER AT A DEPTH OF 48" OR PER LOCAL CODE, WHICHEVER IS GREATER. EXTEND COPPER TO BACKFLOW PREVENTION UNIT. EXTEND COPPER TUBING MINIMUM 30" HORIZONTAL FROM BACKFLOW PREVENTER AND INSTALL ONE MANUAL DRAIN, TRANSITION TO AND EXTEND CLASS 200 PVC MAINLINE TO THE 1" QUICK COUPLER, MASTER VALVE, FLOW SENSOR, GATE VALVE, AND EXTEND MAINLINE TO VALVES AS SHOWN.
 - ALL PIPING FROM THE DEDICATED IRRIGATION POTABLE METER THROUGH DRAIN VALVE DOWNSTREAM OF THE BACKFLOW PREVENTION UNIT SHALL BE THE SAME SIZE AS THE METER UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF BACKFLOW PREVENTION UNIT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTROLLER LOCATION: THERE IS TWO (2) CONTROLLERS ON THIS PROJECT.
CONTROLLER A : PEDESTAL MOUNTED CONTROLLER LOCATED (EDIT LOCATION HERE).
 - CONTROLLER SHALL BE PROGRAMMED TO RUN MULTIPLE VALVES AT ONE TIME WITH A MAXIMUM TOTAL OF TBD GPM.
 - CONTROLLER, TO BE MOUNTED PER DETAILS AND MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND ELECTRICAL PLANS FOR POWER SERVICE. ALL ELECTRICAL EQUIPMENT AND POWER CONNECTION INSTALLATION SHALL CONFORM TO ALL LOCAL CODES. INSTALL A LINE VOLTAGE SURGE DEVICE (INTERMATIC AG2401C3/ OR SQUARE D SDSA1175) FOR 120V IN A JUNCTION BOX PRIOR TO CONTROLLER.
 - RAIN/FREEZE SENSOR: MOUNT THE RAIN SENSOR ON BUILDING EAVE / POLE IN PROXIMITY TO THE CONTROLLER. THE SENSOR SHALL BE MOUNTED IN A LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 200' FROM WIRELESS RECEIVER. MOUNT WIRELESS RECEIVER ON OR ADJACENT TO THE IRRIGATION CONTROLLER.
CONTROLLER B : PEDESTAL MOUNTED CONTROLLER LOCATED (EDIT LOCATION HERE).
 - CONTROLLER SHALL BE PROGRAMMED TO RUN MULTIPLE VALVES AT ONE TIME WITH A MAXIMUM TOTAL OF TBD GPM.
 - CONTROLLER, TO BE MOUNTED PER DETAILS AND MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND ELECTRICAL PLANS FOR POWER SERVICE. ALL ELECTRICAL EQUIPMENT AND POWER CONNECTION INSTALLATION SHALL CONFORM TO ALL LOCAL CODES. INSTALL A LINE VOLTAGE SURGE DEVICE (INTERMATIC AG2401C3/ OR SQUARE D SDSA1175) FOR 120V IN A JUNCTION BOX PRIOR TO CONTROLLER.
 - RAIN/FREEZE SENSOR: MOUNT THE RAIN SENSOR ON BUILDING EAVE / POLE IN PROXIMITY TO THE CONTROLLER. THE SENSOR SHALL BE MOUNTED IN A LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 200' FROM WIRELESS RECEIVER. MOUNT WIRELESS RECEIVER ON OR ADJACENT TO THE IRRIGATION CONTROLLER.
- SYSTEM PRESSURE: THE SYSTEM HAS BEEN DESIGNED PER THE FOLLOWING SPECIFICATIONS: REQUIRED MINIMUM STATIC PRESSURE OF TBD PSI AND MAXIMUM SAFE VELOCITY OF 5 FPS IN ANY PVC PIPE AND 7.5 FPS IN ANY COPPER PIPE.
 - PER (WATER PURVEYOR/CITY WATER) THE STATIC PRESSURE ON SITE IS APPROXIMATELY XX PSI.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY OWNERS REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.
 - FLOW SENSOR: SENSOR REQUIRES A MINIMUM FLOW FOR PROPER READINGS. MULTIPLE ZONES MAY BE REQUIRED TO RUN SIMULTANEOUSLY TO ACHIEVE THE MINIMUM FLOWS REQUIRED. CONTRACTOR TO SET 'K' VALUES PER MANUFACTURER.
- FLOW SENSOR TBD REQUIRES A MINIMUM FLOW OF TBD GPM.
- COMMUNICATION: IT IS RECOMMENDED THAT THE IRRIGATION CONTROLLER BE CONNECTED TO A WATER MANAGEMENT CONTROL SOFTWARE FOR OPTIMUM FUNCTION OF THE IRRIGATION SYSTEM. COORDINATE WITH OWNER'S REPRESENTATIVE AND CONTACT THE LOCAL CONTROLLER MANUFACTURER REPRESENTATIVE OR AUTHORIZED VENDOR PRIOR TO ORDERING CONTROLLER FOR COMMUNICATION AND CONNECTIVITY OPTIONS.

TWO WIRE NOTES

- GROUNDING FOR THE IRRIGATION CONTROLLER AND DECODERS ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT WWW.ASIC.ORG. FOR ADDITIONAL TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT THE MANUFACTURER.
- DO NOT LOOP TWO WIRE PATH. STAR PATTERN FROM CONTROLLER FOR EACH BRANCH OF MAINLINE.
- CONTRACTOR IS RESPONSIBLE FOR GROUNDING THE TWO-WIRE PATH AT THE FOLLOWING LOCATIONS, BUT ARE NOT LIMITED TO:
 - CONTROLLER TO BE GROUNDED INDEPENDENTLY FROM BUILDING.
 - GROUND 1ST DECODER ON WIRE PATH FROM CONTROLLER.
 - GROUND EVERY 8TH DECODER OR EVERY 500 FEET BETWEEN DECODERS, WHICH EVER LENGTH IS SMALLER.
 - GROUND EVERY END OF WIRE PATH.
- THE TWO-WIRE CONTROLLER REQUIRES EACH CONTROL VALVE AND SENSOR TO HAVE A DECODER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE PROPER DECODERS, SURGE SUPPRESSION AND GROUNDING. THE RAIN SENSOR AND FLOW SENSOR REQUIRE A SENSOR DECODER.
- QTY OF STATIONS (VALVES) PER MANIFOLD REQUIRED DECODER
 - SINGLE STATION ICD-100 (HUNTER)
 - FLOW SENSOR ICD-SEN (HUNTER)
- CONTROLLER TWO-WIRE PATH SHALL BE MANUFACTURER'S APPROVED WIRE OR APPROVED EQUAL.
- CONTRACTOR SHALL USE UL APPROVED WIRE STRIPPER AND WATERPROOF CONNECTIONS (DBRY OR APPROVED EQUAL) AT ALL SPLICES AND CONNECTIONS POINTS.
- PROVIDE 30" MINIMUM TWO WIRE PATH IN EACH VALVE BOX FOR MAINTENANCE.
- CONTRACTOR SHALL INCLUDE TWO-WIRE RUN PATHS ON AS-BUILT DRAWINGS.


SLEEVING COORDINATION NOTES

- INSTALLATION OF IRRIGATION SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF CONSTRUCTION.
- SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 12" BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- EACH PIPE SHALL BE IN A SEPARATE SLEEVE. WIRES SHALL BE IN A SEPARATE PIPE UNDER ALL PAVED SURFACES.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW.

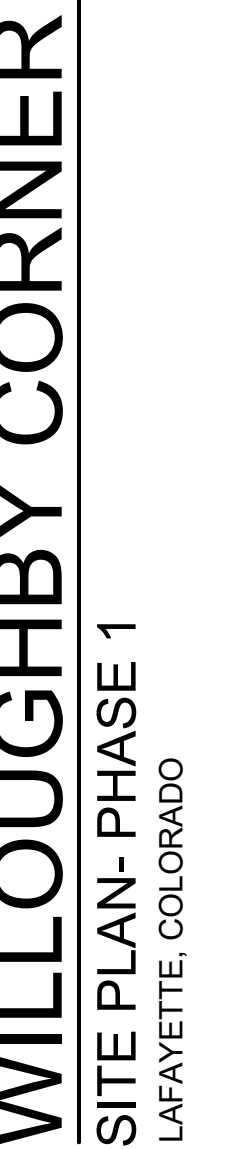
PIPING	REQUIRED SLEEVE SIZE
MAINLINE PIPING	X" CLASS 200 PVC
LATERAL PIPING	2X NOMINAL DIAMETER OF LATERAL
CONTROL WIRES	2" CLASS 200 PVC

IRRIGATION GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL UTILITY PLAN, ARCHITECTURE PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS AND SPECIFICATIONS THAT AFFECT THIS WORK PRIOR TO START OF WORK. IF THE AND CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND PAYING FOR CERTIFICATION OF THE BACKFLOW PREVENTER BY A STATE CERTIFIED INSPECTOR. THE CONTRACTOR SHALL PROVIDE CERTIFICATES TO OWNER'S REPRESENTATIVE PRIOR TO PROJECT ACCEPTANCE.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN LANDSCAPE AREAS AND WITHIN THE PROJECT LIMITS. EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHIC CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO ENSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- ALL IRRIGATION DISTRIBUTION LINES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO, MAINLINE, LATERALS, SPRAY HEADS, DRIP EMITTERS SHALL BE KEPT A MINIMUM DISTANCE OF 6' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS, OR AS STIPULATED IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER. EQUIPMENT MAY BE SHOWN IN THIS AREA FOR GRAPHIC CLARITY. COORDINATE ALL REQUIRED SETBACKS WITH OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
- EACH VALVE SHALL BE INSTALLED IN A SEPARATE VALVE BOX AS DETAILED. ALL VALVE BOXES AND LIDS SHALL BE COMMERCIAL GRADE, PLASTIC WITH SELF LOCKING COVERS. LID COLOR TO BE GREEN. INSTALL FLUSH TO FINISH GRADE AND PER CONSTRUCTION DETAILS. DO NOT INSTALL IN PAVED AREAS OR IN BOTTOMS OF DRAINAGE SWALES/BASINS.
- CONTRACTOR SHALL INSTALL DETECTABLE MARKING TAPE OR #14g DIRECT BURY TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER ROUTING OF IRRIGATION PIPING. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL MARK THE LOCATION OF THE MAINLINE, CONTROL VALVES, GATE VALVES AND HEAD LAYOUT OF A REPRESENTATIVE SPRAY ZONE. SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL SCH. 40 BALL WITH OPERATIONAL INDICATOR AT ENDS OF ALL DRIP LATERALS AS DETAILED. FLUSH ALL LATERALS THOROUGHLY BEFORE INSTALLING EMITTERS AND BUBBLERS.
- CONTRACTOR SHALL FINE TUNE AND ADJUST NOZZLE DIRECTION AND RADIUS TO REDUCE OVERSPRAY ONTO PAVING OR HARD SURFACES.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER IN 10" VALVE BOX AT THE END OF ALL BRANCHES OF THE MAINLINE, OR AS SHOWN ON PLANS, FOR WINTERIZATION AND FLUSHING OF MAINLINE.
- THE CONTRACTOR SHALL PERFORM A PRESSURE TEST ON ALL MAINLINES. CONTRACTOR SHALL PRESSURIZE MAINLINES TO 120 PSI AND MAINTAIN PRESSURE AT 120 PSI FOR A MINIMUM CONTINUOUS PERIOD OF TWO (2) HOURS TO ACHIEVE FINAL ACCEPTANCE.
- THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE DURING A THREE(3) NIGHT PER WEEK, SIXTEEN(16) HOURS PER NIGHT WATERING WINDOW. DRIP IRRIGATION ZONES MAY BE ALLOWED TO RUN ON A SEPARATE SCHEDULE FROM THIS WATER WINDOW DEPENDING JURISDICTION. LANDSCAPE ESTABLISHMENT WILL REQUIRE INCREASED IRRIGATION WATER FOR DURATION OF THE ESTABLISHMENT PERIOD AND MAY REQUIRE TWICE THE AMOUNT OF WATER AS ESTABLISHED PLANT MATERIAL. THE CONTRACTOR SHALL COORDINATE WATERING SCHEDULES AND APPLICATION RATES WITH THE OWNER'S REPRESENTATIVE PRIOR TO FINAL ACCEPTANCE.
- THE DESIGN IS BASED ON THE FOLLOWING PROJECTED PEAK SEASON WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND VARIABLE WEATHER CONDITIONS.
 - FESCUE/BLUEGRASS BLEND TURF 1.75" PER WEEK PEAK SEASON
 - TREE, SHRUB, AND PERENNIAL PLANT MATERIAL 1.00" PER WEEK PEAK SEASON
 - NATIVE DRAUGHT TOLERANT SEED MIX 0.75" PER WEEK PEAK SEASON
- THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 15TH AND END ON OCTOBER 15TH TO ENSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
 - CHECK HEADS FOR COVERAGE AND LEAKAGE.
 - CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
 - VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
 - CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.
 - PERIODICALLY VERIFY THE THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
 - WINTERIZATION AND SPRING START UP PROCEDURES.

IRRIGATION SCHEDULE						
SYMBOL		DESCRIPTION	MODEL NO. DESCRIPTION		DETAIL # AND SHEET	
		IRRIGATION METER	TBD" DEDICATED IRRIGATION METER REFER TO CIVIL, UTILITY, AND WATER PLANS		NA NA	
		IRRIGATION CONTROLLER	TBD MODEL 120VAC POWER REQUIRED - SEE PLANS FOR LOCATION(S)		TBD TBD	
		RAIN SENSOR	HUNTER WSS-SEN OR SOLAR-SYNC-SEN REFER TO CONTROLLER NOTES		TBD TBD	
		BACKFLOW PREVENTER	FEBCO TBD" 825YA SEE ENCLOSURE SPECIFICATIONS BELOW		TBD TBD	
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK GS-TBD LIFT OFF ENCLOSURE WITH FROSTGUARD BLANKET, POWDER COATED FOREST GREEN		TBD TBD		
	MANUAL DRAIN VALVE	MATCO-NORCA 3/4" 201X INSTALLED IN AEP 910L-1G2G VALVE BOX		TBD TBD		
	QUICK COUPLER	RAIN BIRD 44LRC INSTALLED IN AEP 910L-1G2G VALVE BOX		TBD TBD		
	MASTER VALVE	HUNTER IBV-TBD SERIES INSTALLED IN AEP 1015-1G2G VALVE BOX		TBD TBD		
	FLOW SENSOR	FLOWMEC QS-200-XX WITH COMMUNICATION CABLE BACK TO CONTROLLER OR ICD-SEN SENSOR DECODER, INSTALLED IN AEP 1015-1G2G VALVE BOX		TBD TBD		
	ISOLATION GATE VALVE	MATCO-NORCA 514TX (2.5" AND SMALLER) MATCH LINE SIZE, INSTALLED IN AEP 910L-1G2G VALVE BOX		TBD TBD		
	TURF VALVE ASSEMBLY	HUNTER ICV-G SERIES WITH SCH 40 BALL VALVE, AND ICD-100 / EZ-1 DECODER INSTALLED IN AEP 1015-1G2G VALVE BOX, SIZED PER PLAN		TBD TBD		
	DRIP VALVE ASSEMBLY	HUNTER ICZ-101-LF WITH SCH 40 BALL VALVE, AND ICD-100 / EZ-1 DECODER INSTALLED IN AEP 1320-1G2G VALVE BOX, SIZED PER PLAN		TBD TBD		
	GROUNDING / LINE SURGE SUPPRESSION	COPPER-CLAD GROUNDING ROD WITH WATERPROOF WIRE CONNECTORS AND ICD-100 SURGE ARRESTING DECODER, INSTALLED IN AEP 910L-1G2G VALVE BOX.		TBD TBD		
	TURF ROTARY	HUNTER PROS-06-PRS40-CV WITH HUNTER MP SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	TURF ROTARY (SPECIALTY)	HUNTER PROS-06-PRS40-CV WITH HUNTER MP SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	TURF SPRAY (FIXED)	HUNTER PROS-06-PRS30-CV WITH PRO-SPRAY FIXED SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	TURF SPRAY (ADJUSTABLE)	HUNTER PROS-06-PRS30-CV W/ PRO ADJUSTABLE SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	NATIVE ROTOR	HUNTER I-20-12 NOZZLE PER PLAN		TBD TBD		
	NATIVE SEED ROTARY	HUNTER PROS-12-PRS40-CV WITH HUNTER MP SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	NATIVE SEED ROTARY (SPECIALTY)	HUNTER PROS-12-PRS40-CV WITH HUNTER MP SERIES NOZZLE NOZZLE PER PLAN		TBD TBD		
	TREES IN NATIVE	(2) HUNTER PROS-04-PRS30-CV WITH PCN-XX BUBBLER OR RZWS-18-XX-CB ASSEMBLIES PER TREE		TBD TBD		
	MAINLINE CAP	FUTURE CONNECTION SCH 40 PVC CAP AND 5-FT OF CONTROL WIRE INSTALLED IN AEP 910L-1G2G VALVE BOX		TBD TBD		
	SLEEVING	CLASS 200 PVC REFER TO SLEEVING NOTES		TBD TBD		
	SERVICE LINE	TYPE K COPPER SIZE: MATCH POC UNLESS OTHERWISE NOTED		TBD TBD		
	PVC MAINLINE	CLASS 200 PVC BE/RT SIZE: TBD" UNLESS OTHERWISE NOTED		TBD TBD		
	PVC TURF LATERAL	CLASS 200 PVC BE SIZE: 1" MINIMUM UNLESS OTHERWISE NOTED		TBD TBD		
	PVC TREE LATERAL	CLASS 200 PVC SIZE: 1" UNLESS OTHERWISE NOTED		TBD TBD		
	DRIP LATERAL	UV RESISTANT POLYETHYLENE SIZE: 3/4" MINIMUM UNLESS OTHERWISE NOTED		TBD TBD		
	FLUSH END CAP	HOSE END FLUSH CAP & OPERATIONAL INDICATOR INSTALLED IN AEP 910L-1G2G VALVE BOX		TBD TBD		
VALVE CALLOUT			EMITTER SCHEDULE			
			PLANT TYPE	EMITTER	QTY.	TOTAL GPH
			PERENNIAL / GRASSES	0.5 GPH	TWO EACH	1.0 GPH
			DECIDUOUS SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
			EVERGREEN SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
			DECIDUOUS TREE	1.0 GPH	EIGHT EACH	8.0 GPH
			EVERGREEN TREE	1.0 GPH	EIGHT EACH	8.0 GPH
			TREES IN NATIVE	ROOT ZONE WATERING / TREE RING ASSEMBLY		
EMITTER NOTES						
1. ALL PLANT MATERIAL SHALL BE IRRIGATED WITH RAIN BIRD XB SERIES PRESSURE COMPENSATING EMITTERS.						
2. EMITTER SCHEDULE IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL ADJUST EMITTER AND NUMBER OF EMITTERS BASED ON THE NEEDS OF INDIVIDUAL PLANTS OR PLANT HYDROZONES.						
3. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.						
4. RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING EMISSION POINTS.						
5. REFER TO DRIP IRRIGATION DETAILS X-X, SHEET LI-XXX						

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DATE: 06.17.22 - SITE PLAN 01

SHEET TITLE:
OVERALL
IRRIGATION PLAN

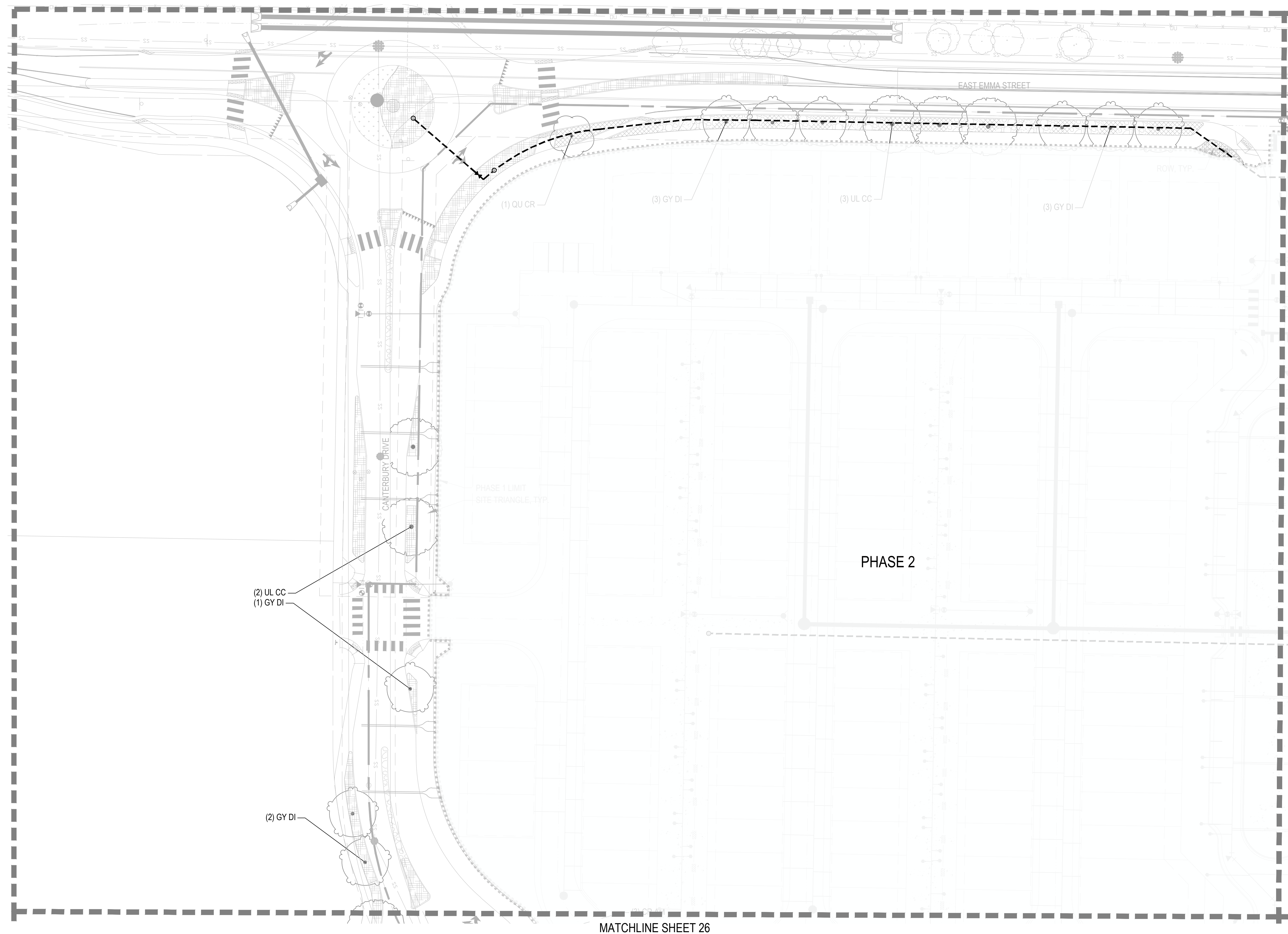
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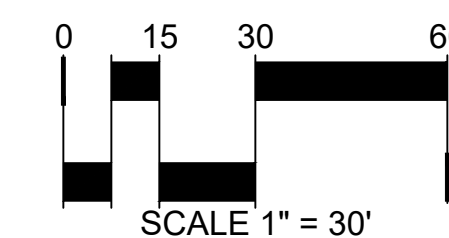
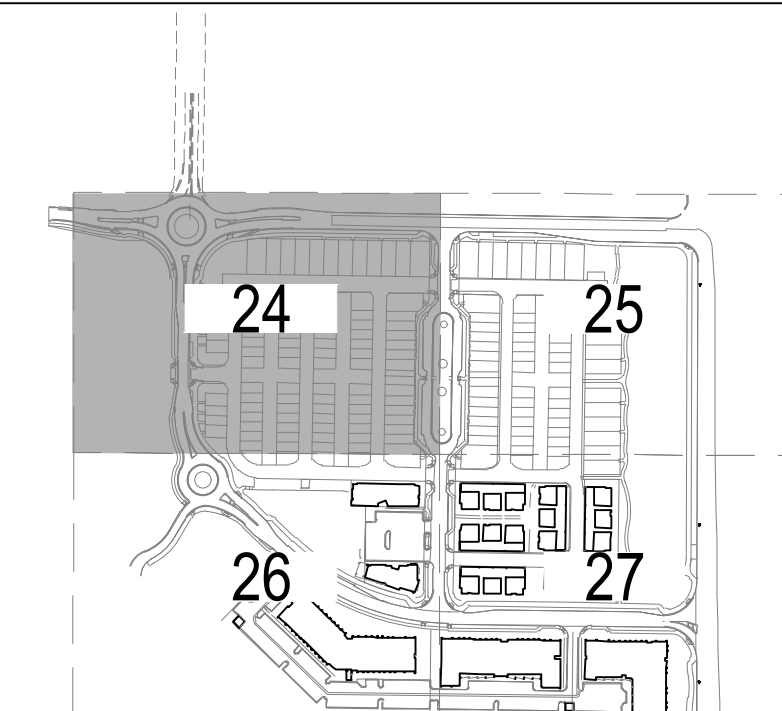
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SHEET TITLE:
IRRIGATION
PLAN

WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



KEY MAP



WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

WILLOUGHBY CORNER

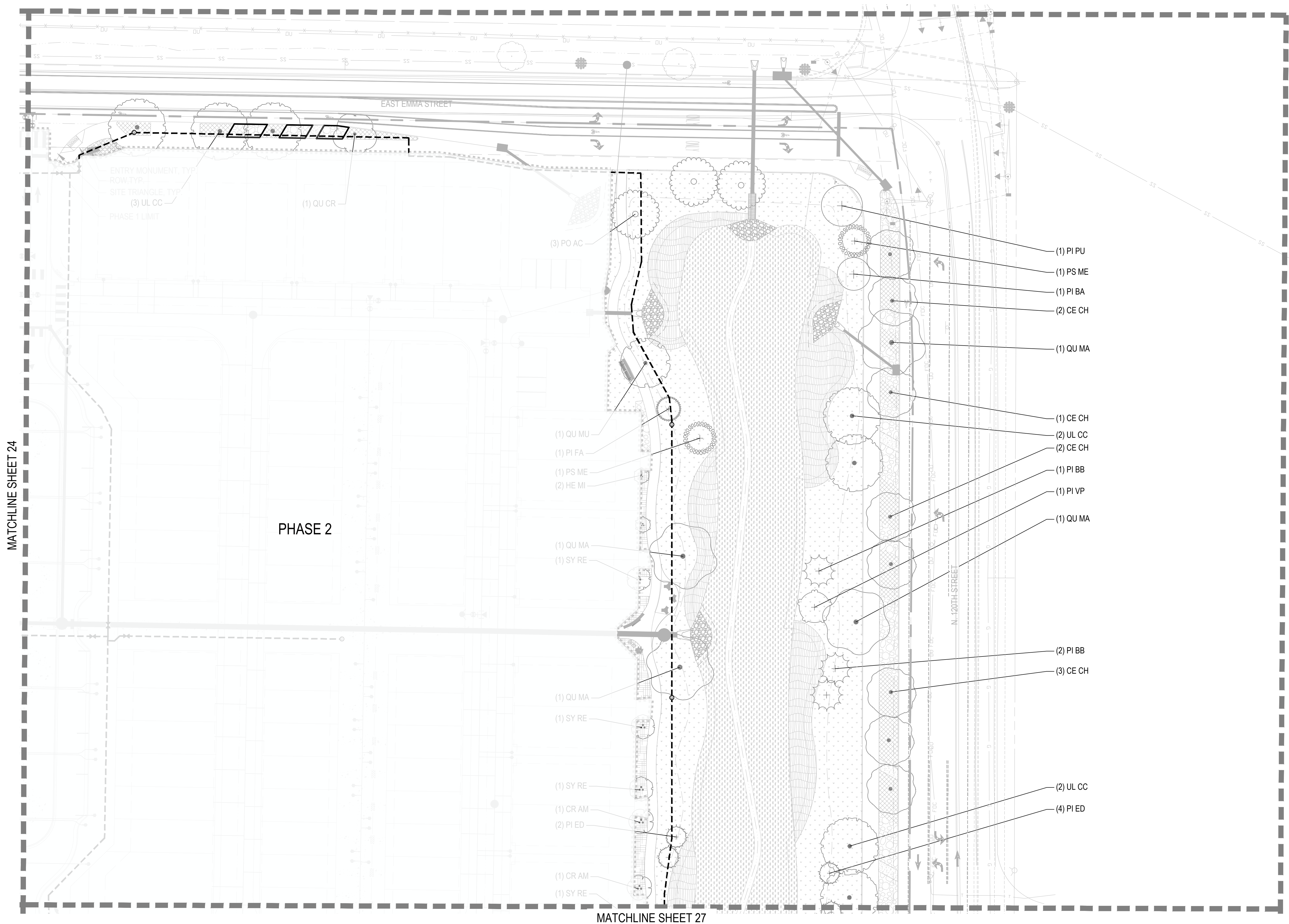
SITE PLAN - PHASE 1

LAFAYETTE, COLORADO

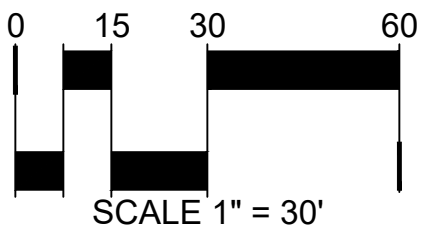
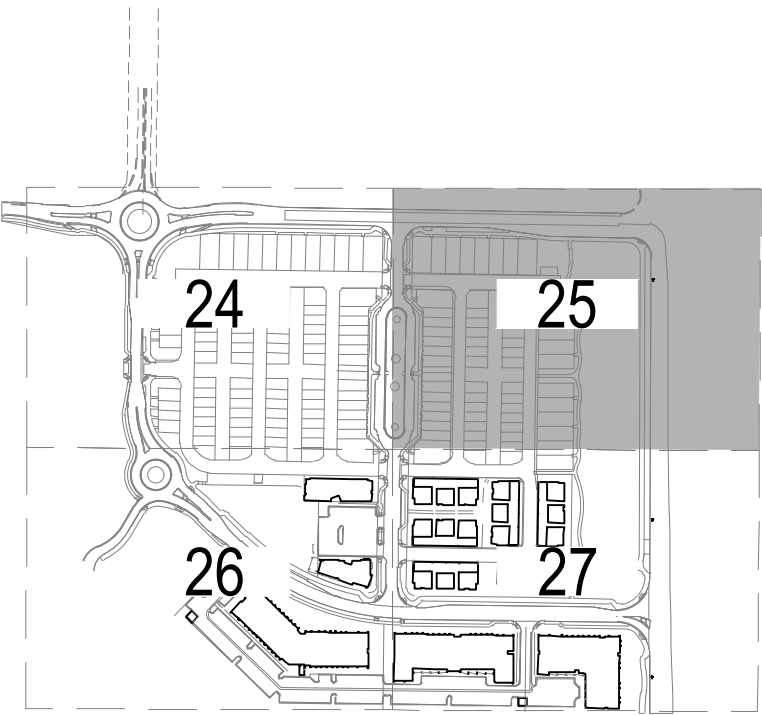
OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
IRRIGATION
PLAN



KEY MAP



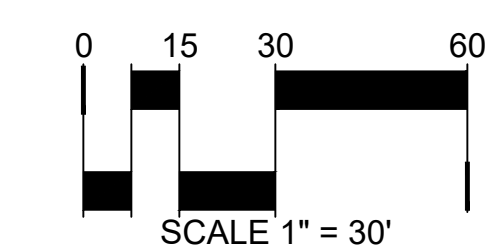
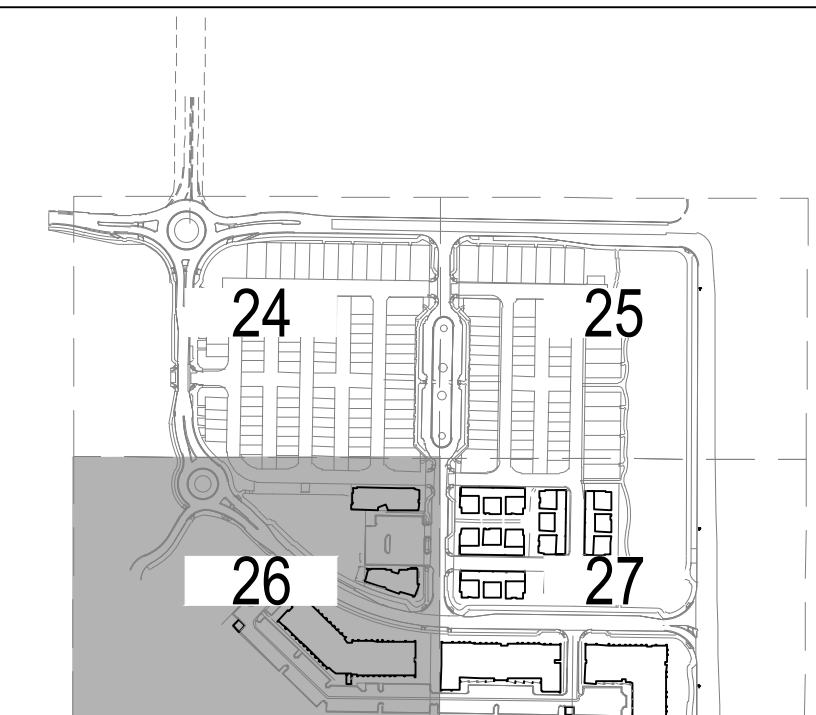
WILLOUGHBY CORNER

SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
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3400 BROADWAY
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DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
IRRIGATION
PLAN



CHECKED BY: XX
DRAWN BY: XX

WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

WILLOUGHBY CORNER

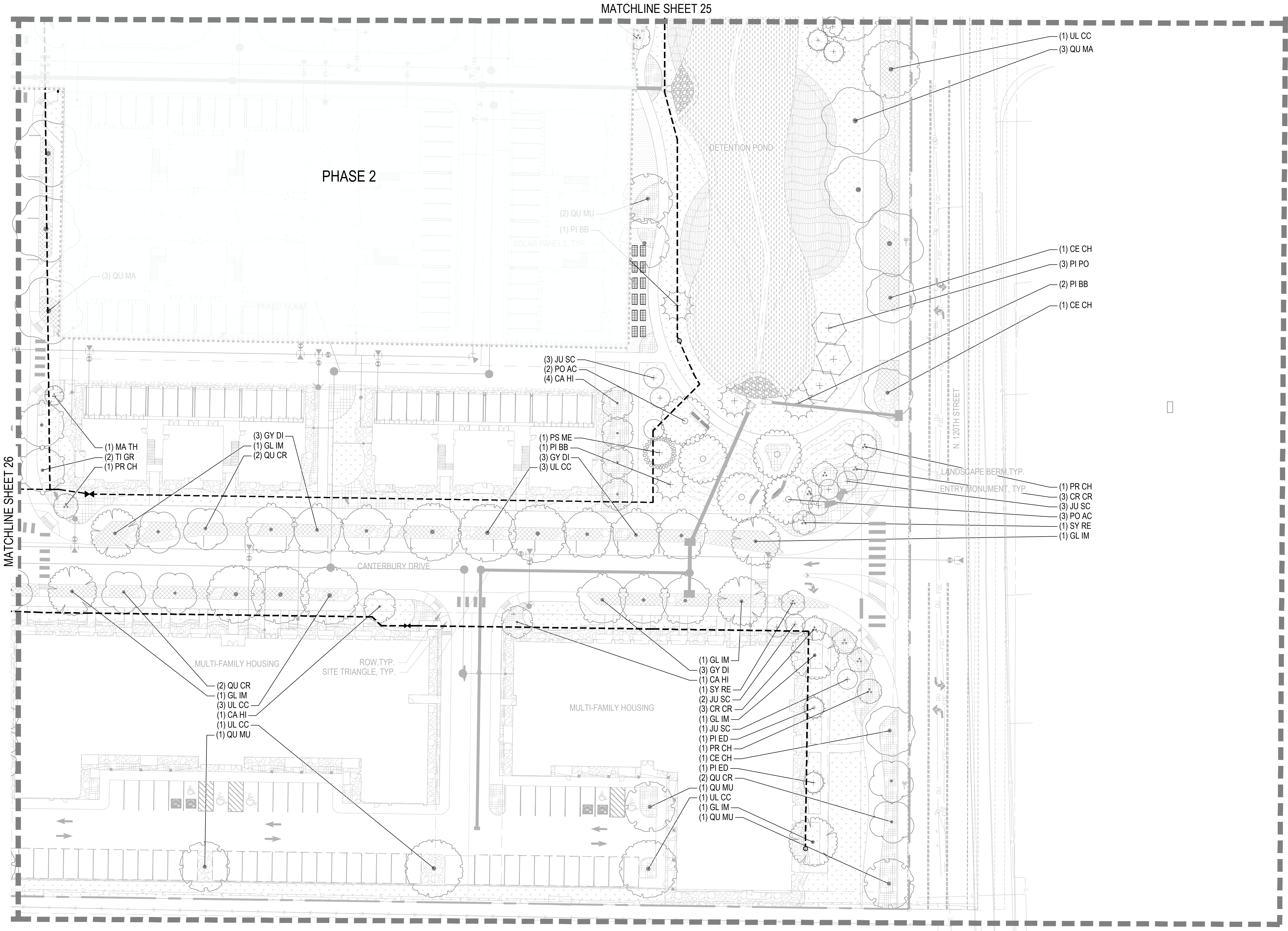
SITE PLAN - PHASE 1

LAFAYETTE, COLORADO

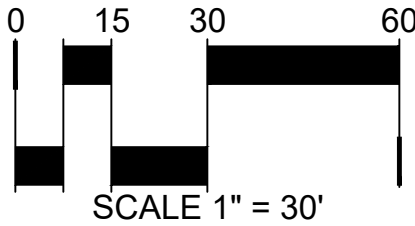
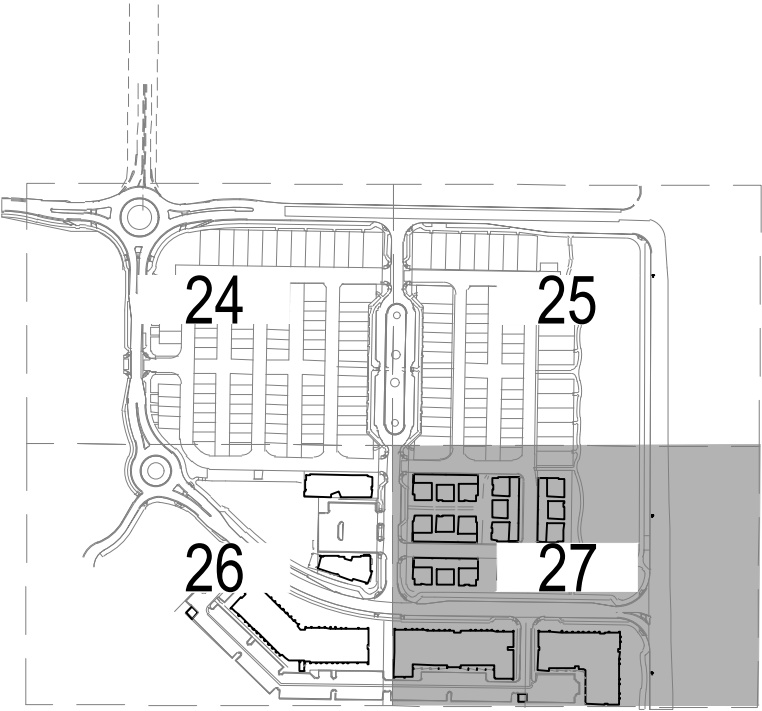
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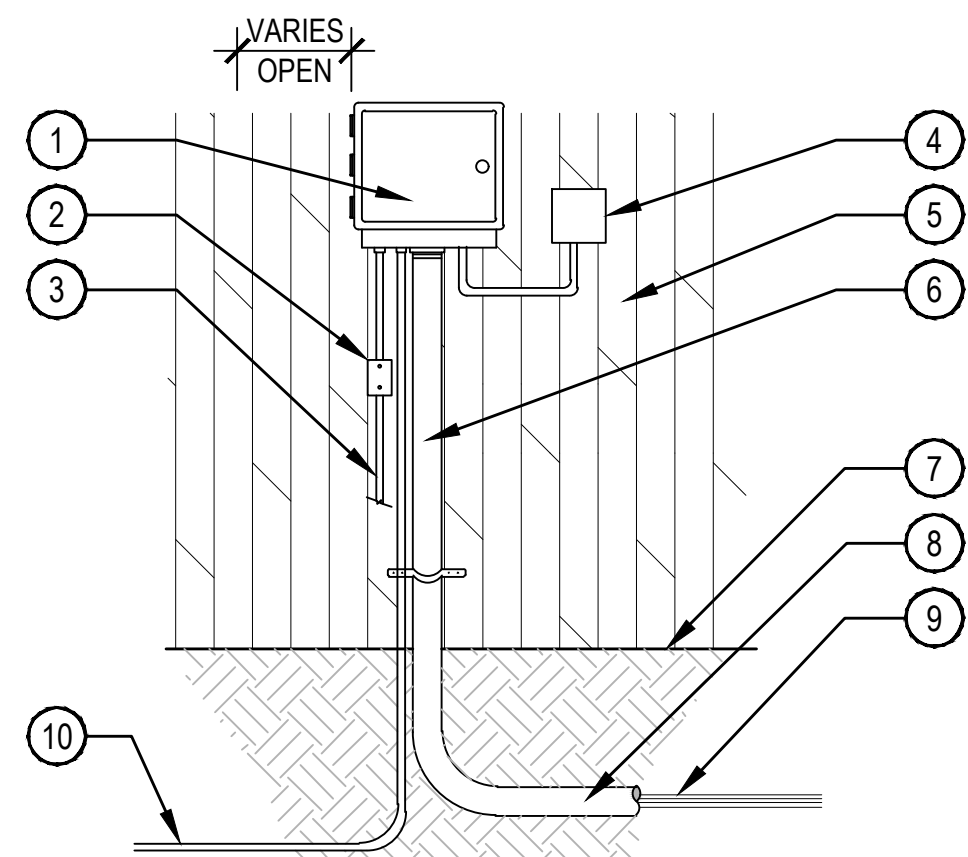


KEY MAP



WILLOUGHBY CORNER SITE PLAN - PHASE 1

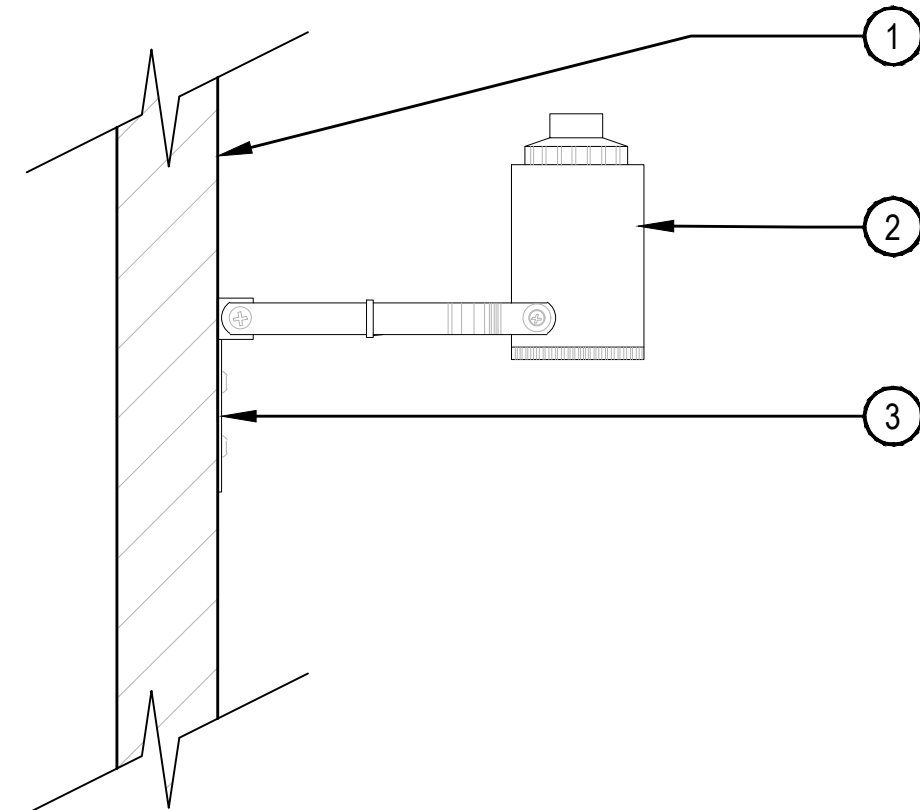
LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



- NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 4. PROVIDE LOCK FOR ENCLOSURE.

1 CONTROLLER WALL MOUNT EXTERIOR

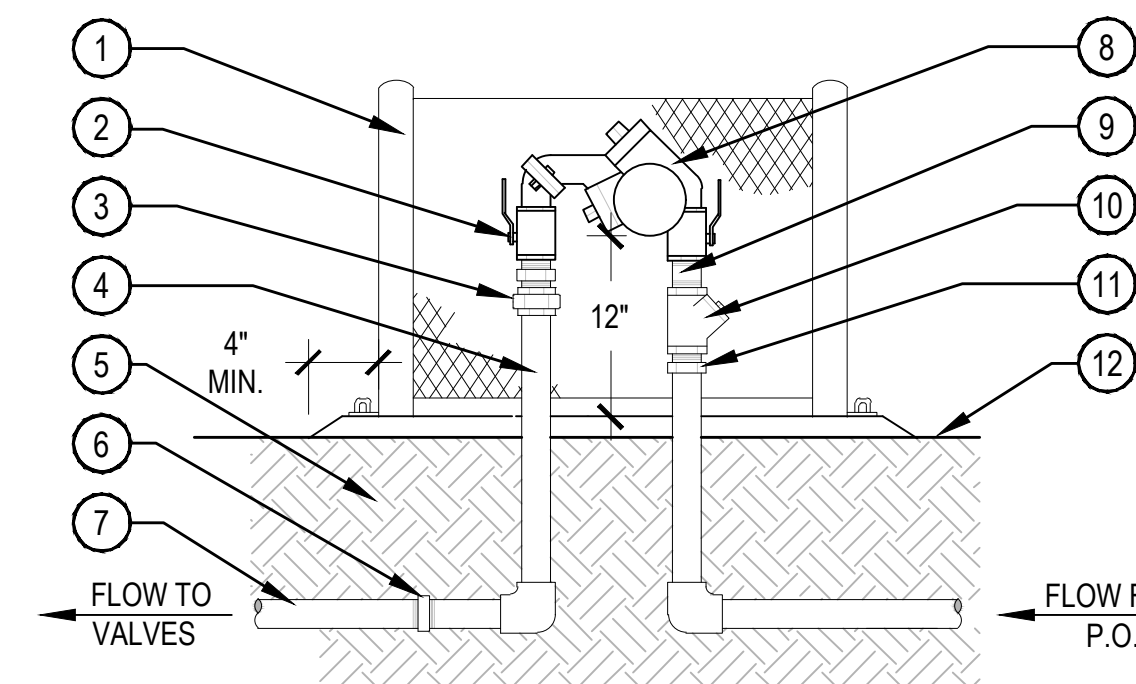
NTS



- NOTE:
1. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE DETERMINED BY OWNER.
 3. SENSOR SHOULD NOT BE MOUNTED UNDER TREES, IN AREAS AFFECTED BY SPRINKLER SYSTEM OR UNDER EAVE OF HOUSE.

2 RAIN SENSOR SURFACE MOUNT

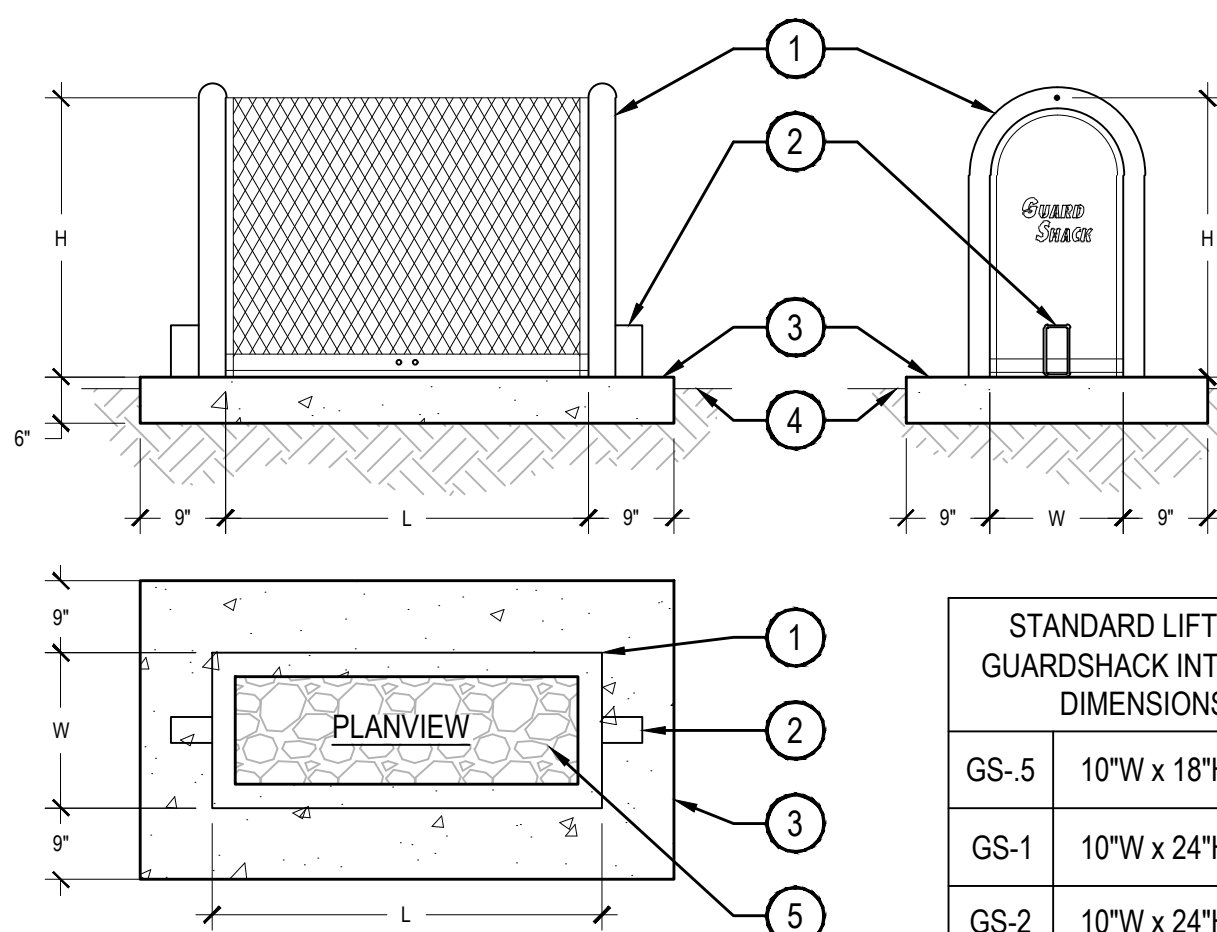
NTS



- NOTE:
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER.

3 BACKFLOW FEBCO 825YA

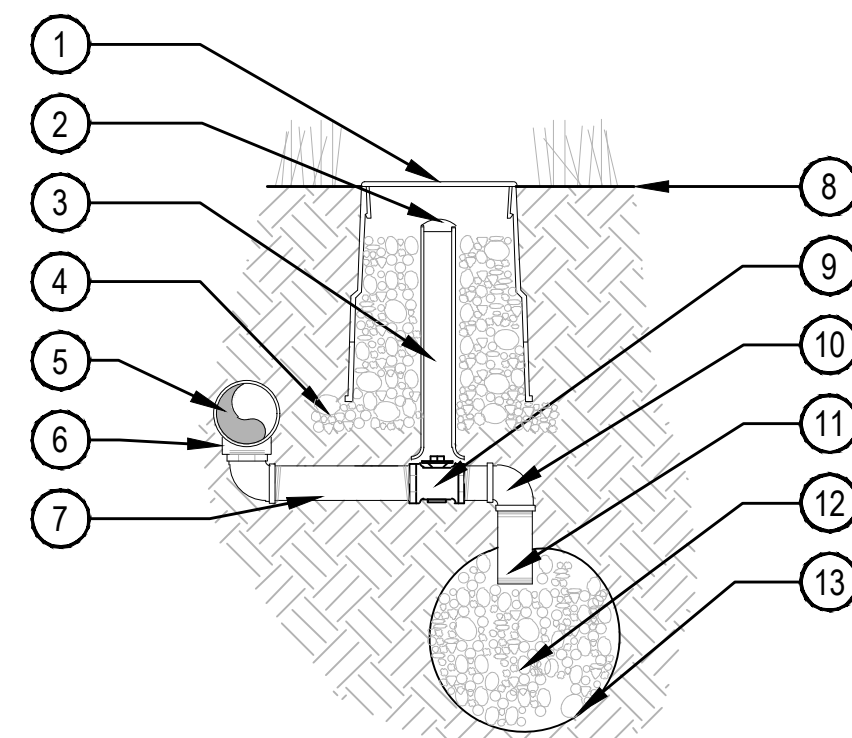
NTS



- NOTE:
1. INSTALL GUARDSHACK LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040, PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005
 4. PROVIDE KEYED PADLOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

4 BACKFLOW ENCLOSURE LIFT-OFF

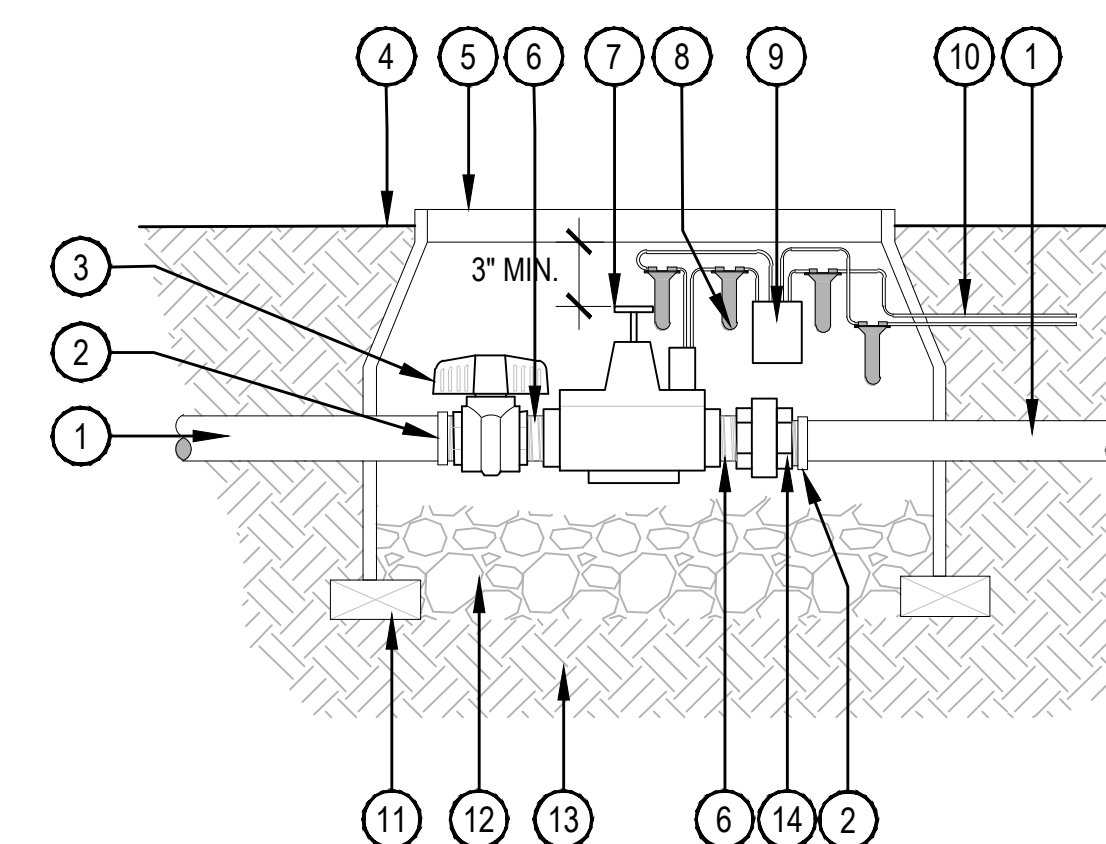
SCLAE: NTS



- NOTE:
1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

5 MANUAL DRAIN VALVE

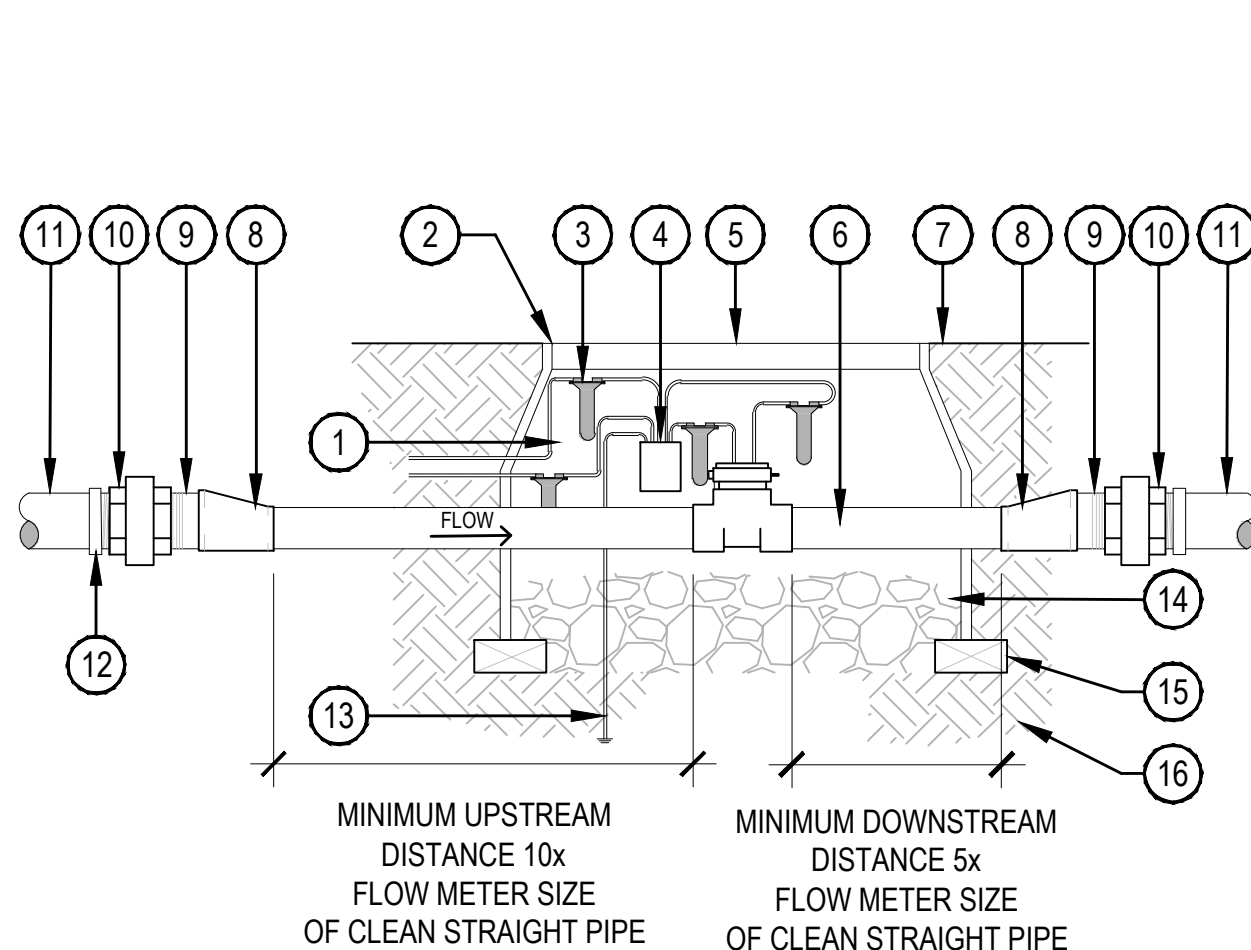
SCALE: NTS



- NOTE:
1. INSTALL MASTER VALVE AND DECODER PER MANUFACTURER'S SPECIFICATIONS FOR WIRING AND GROUNDING.

6 MASTER VALVE

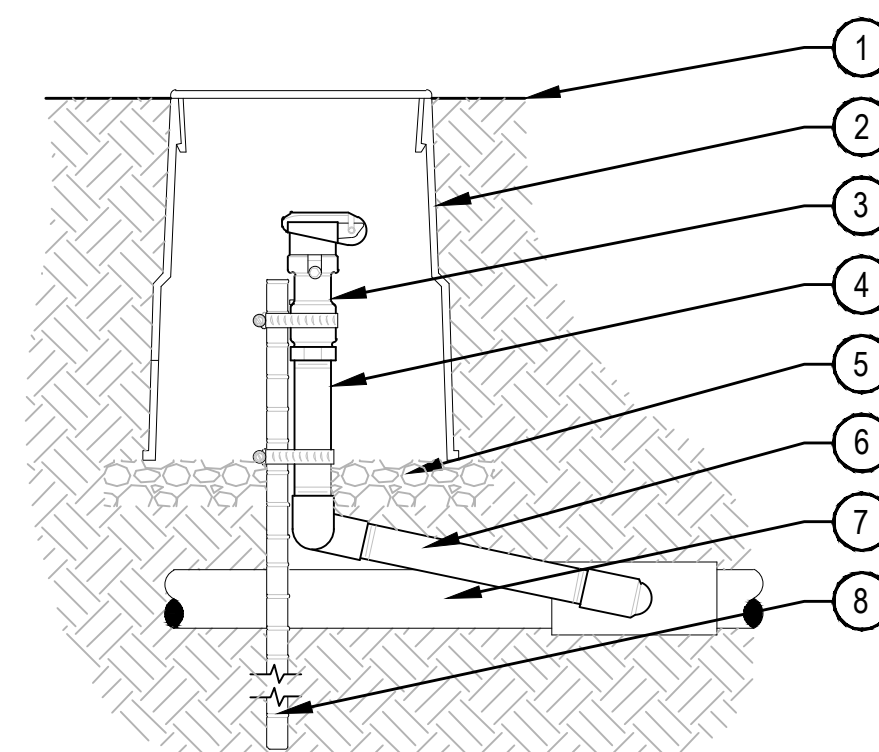
SCALE: NTS



- NOTE:
1. INSTALL FLOW SENSOR AND SENSOR DECODER PER MANUFACTURER'S SPECIFICATIONS FOR WIRING AND GROUNDING.

7 FLOW SENSOR DECODER

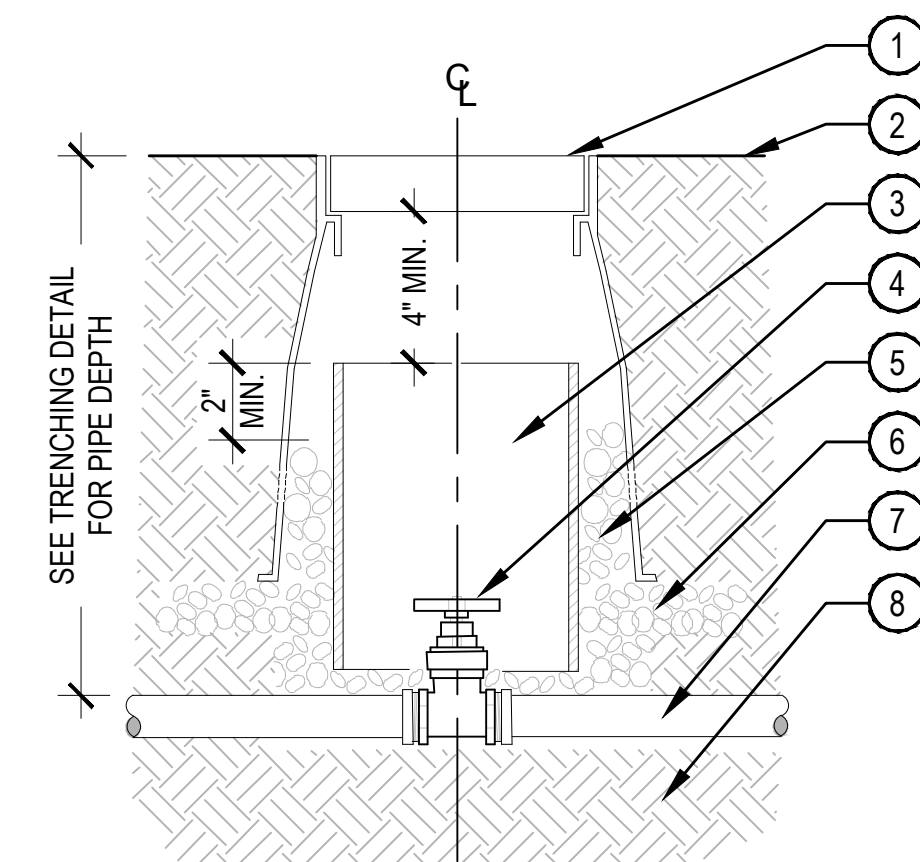
SCALE: NTS



- NOTES:
1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX.
 2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
 3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER.
 4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUB-GRADE.
 5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

8 QUICK COUPLER

SCALE: NTS



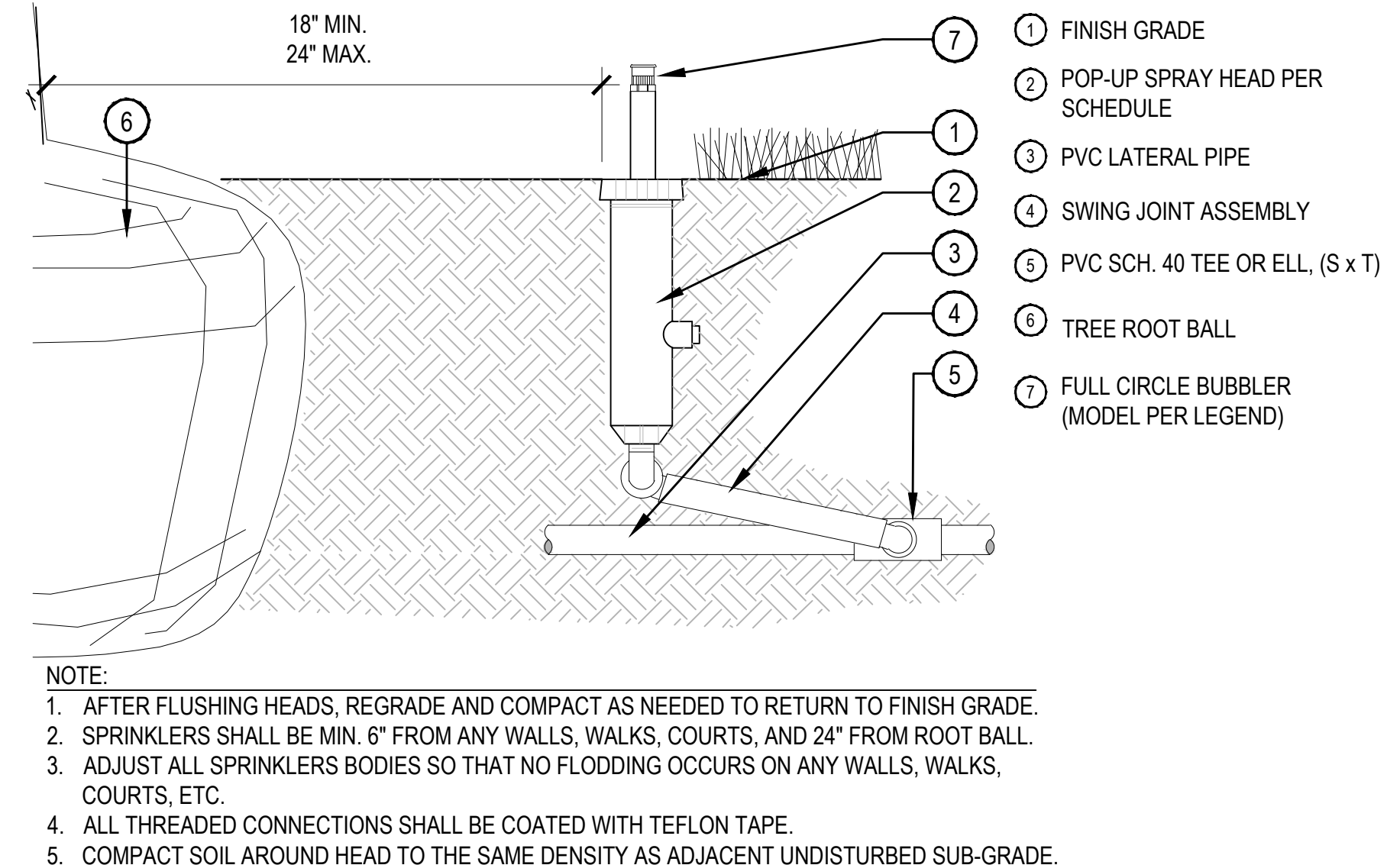
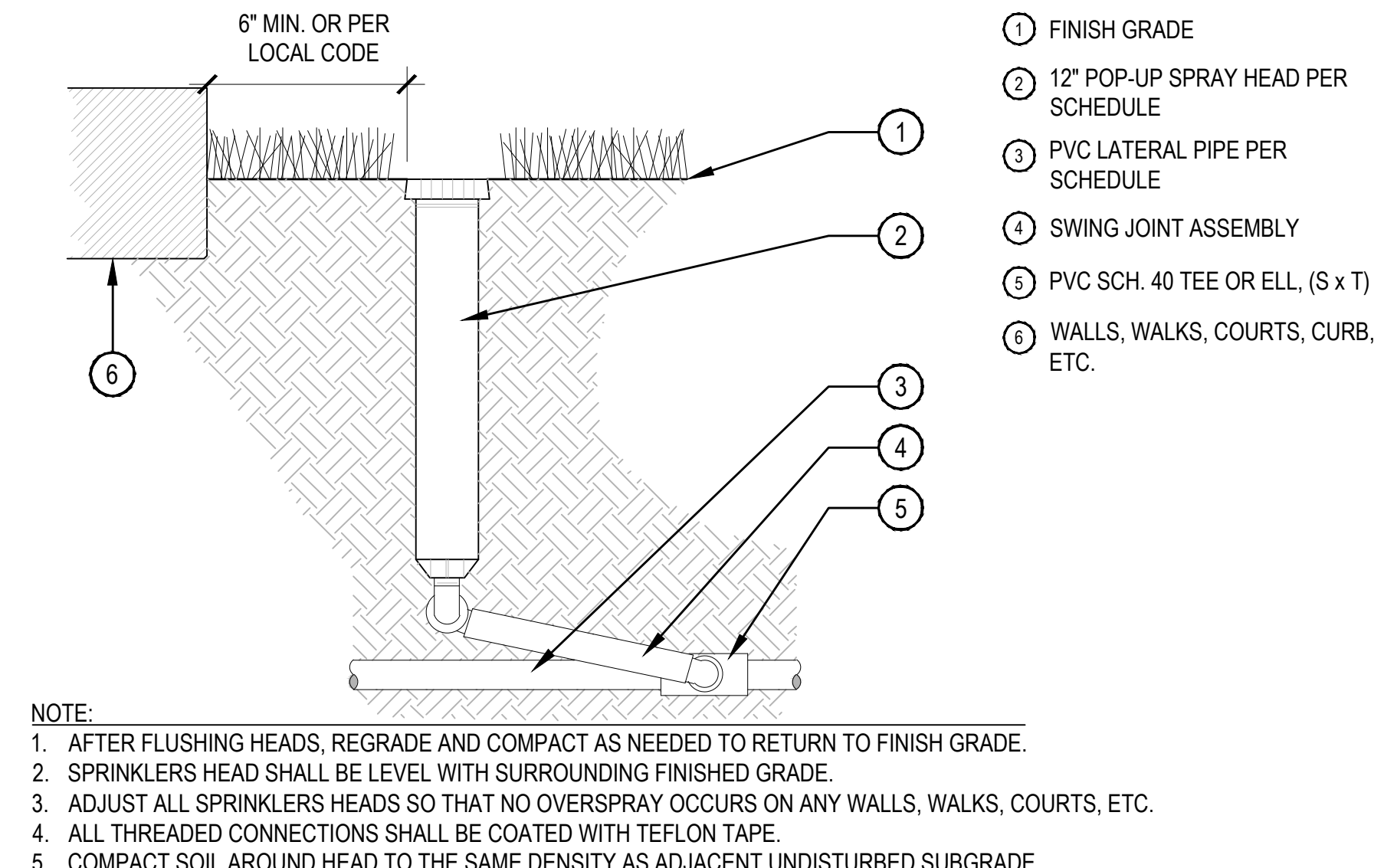
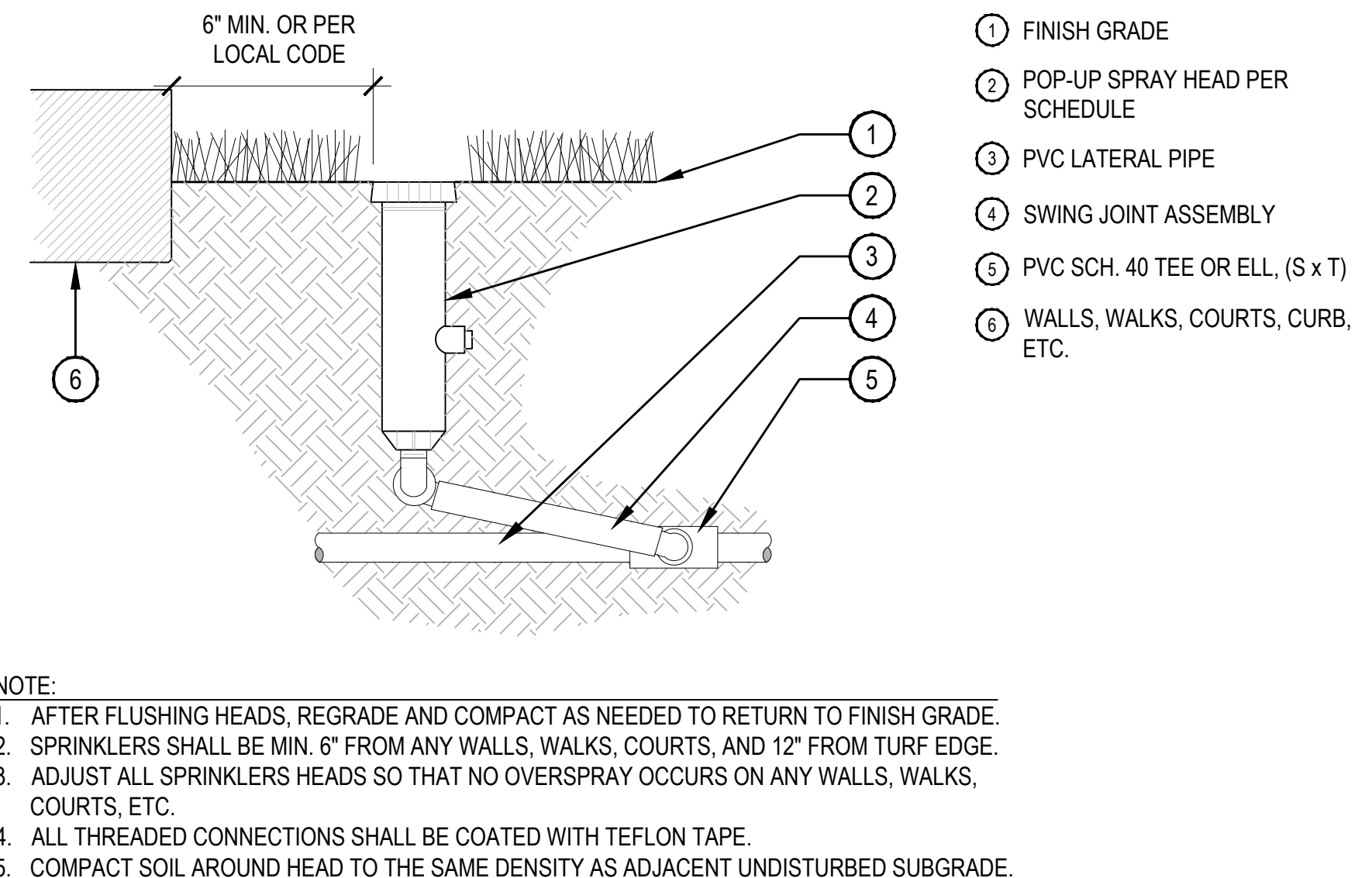
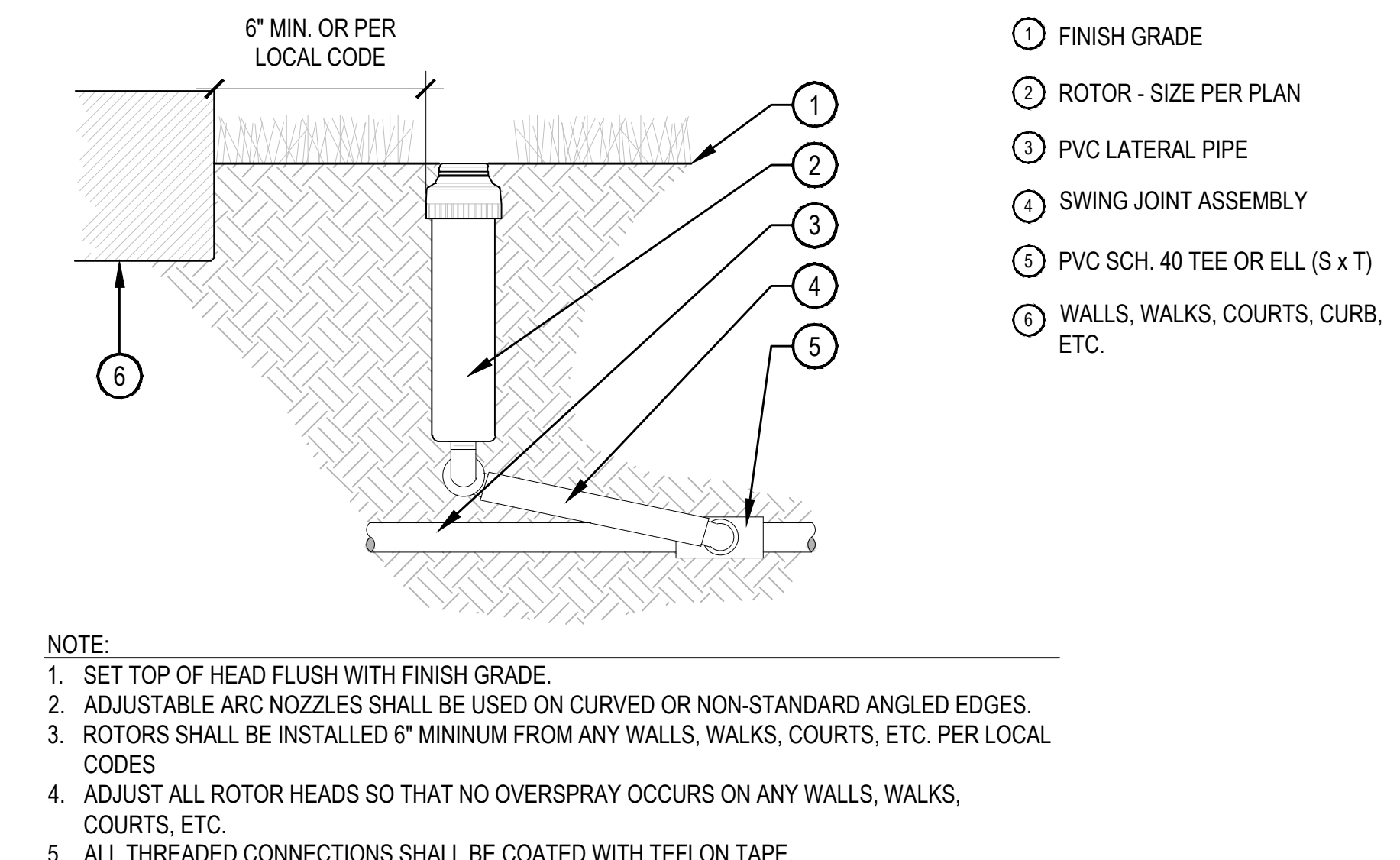
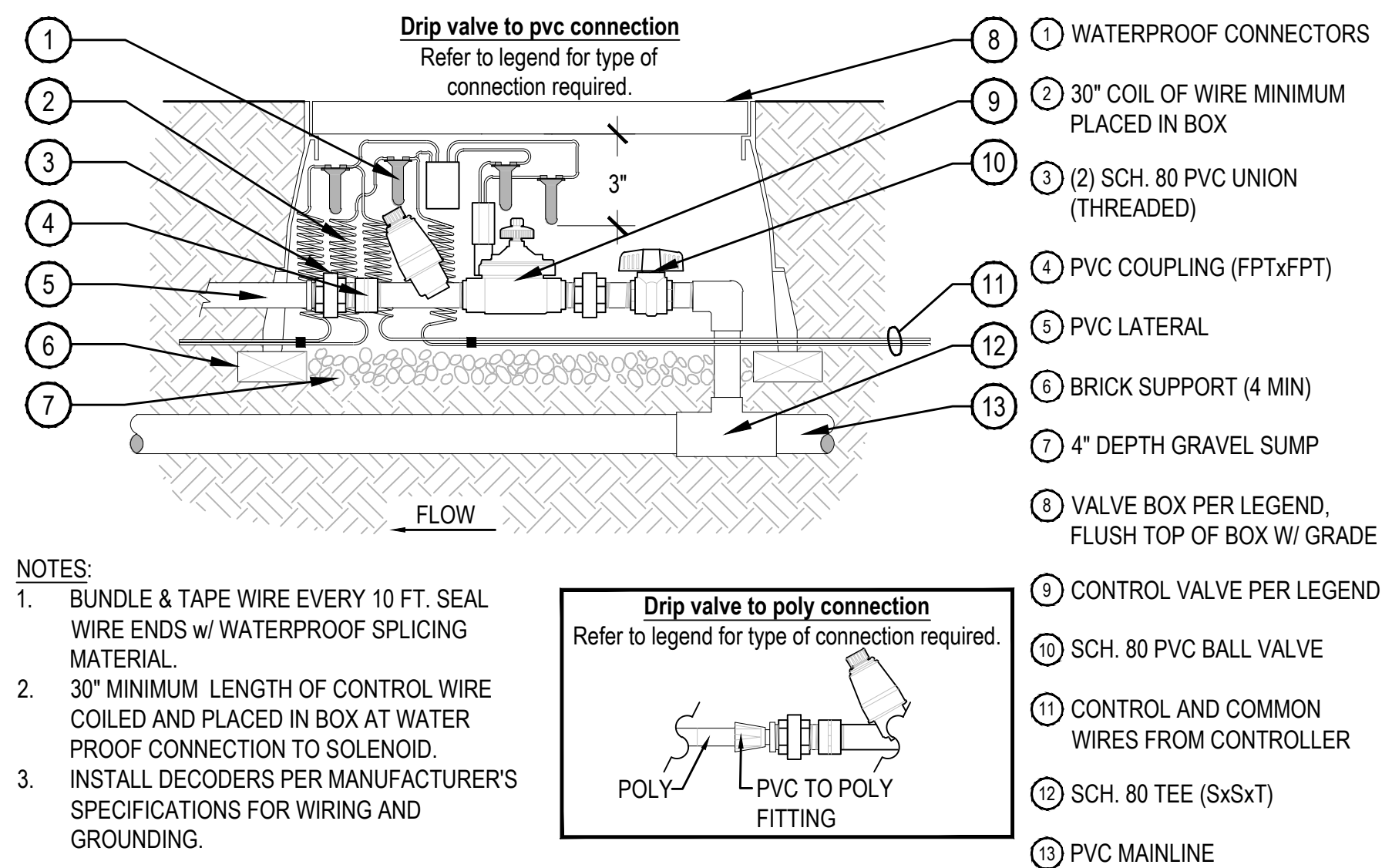
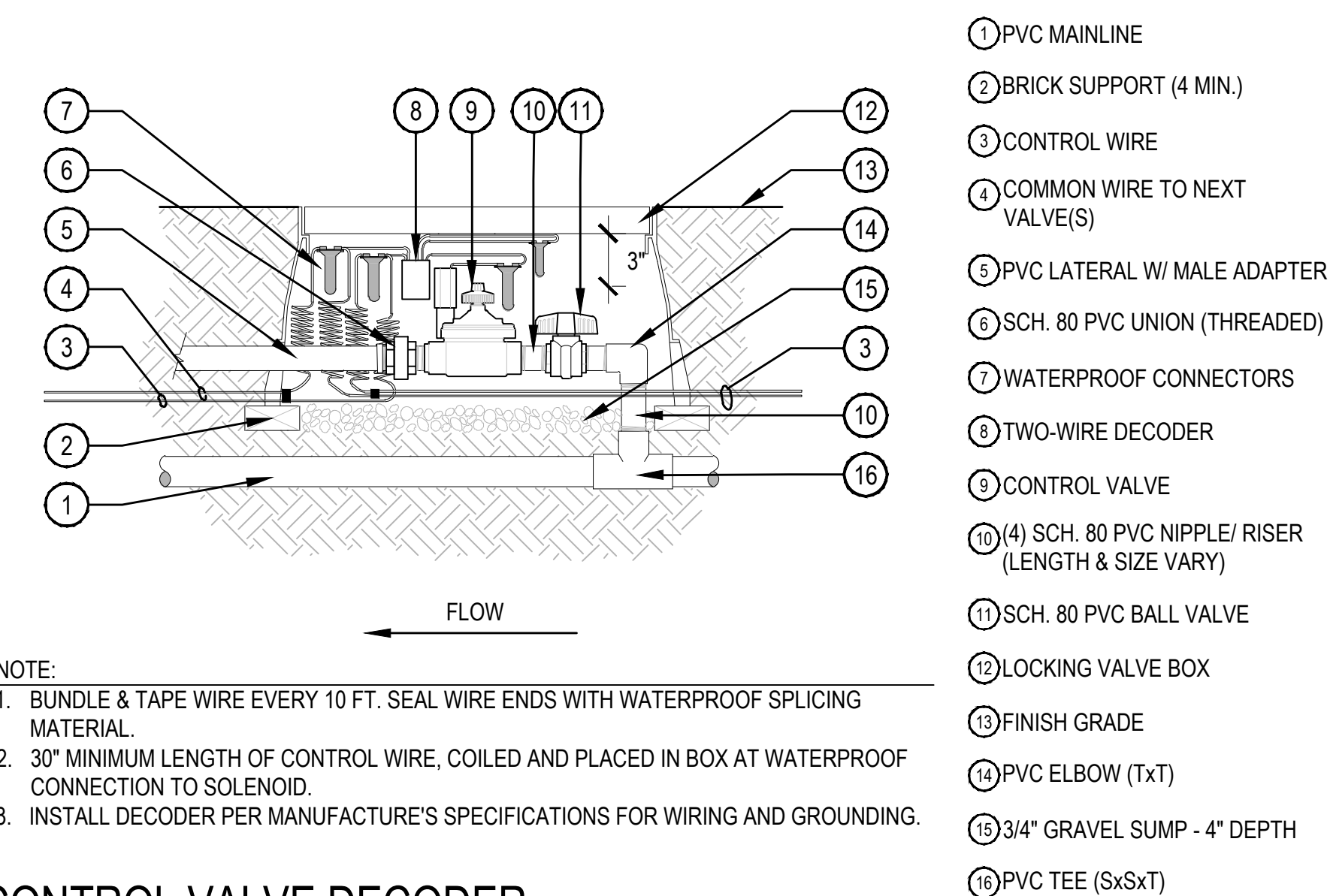
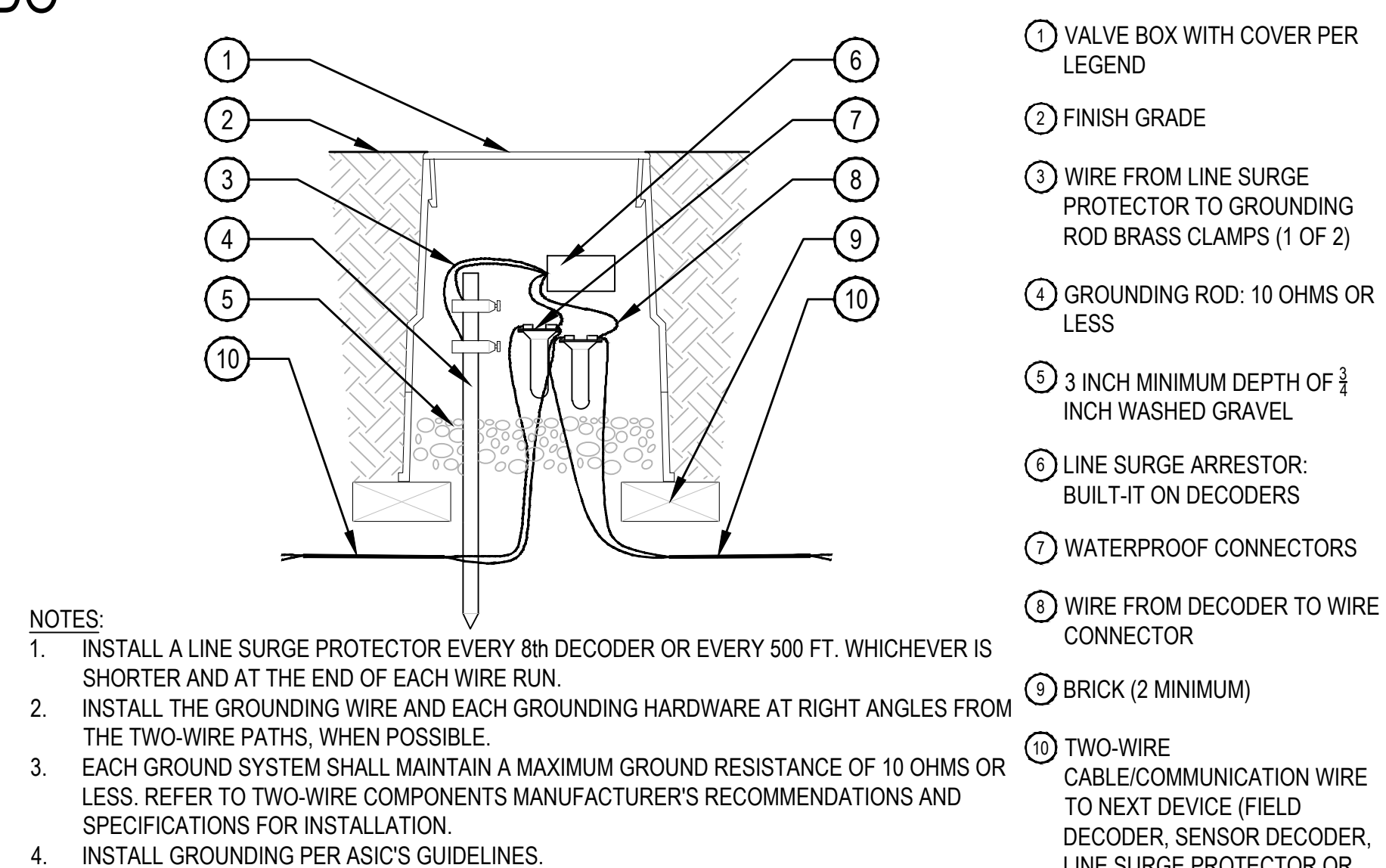
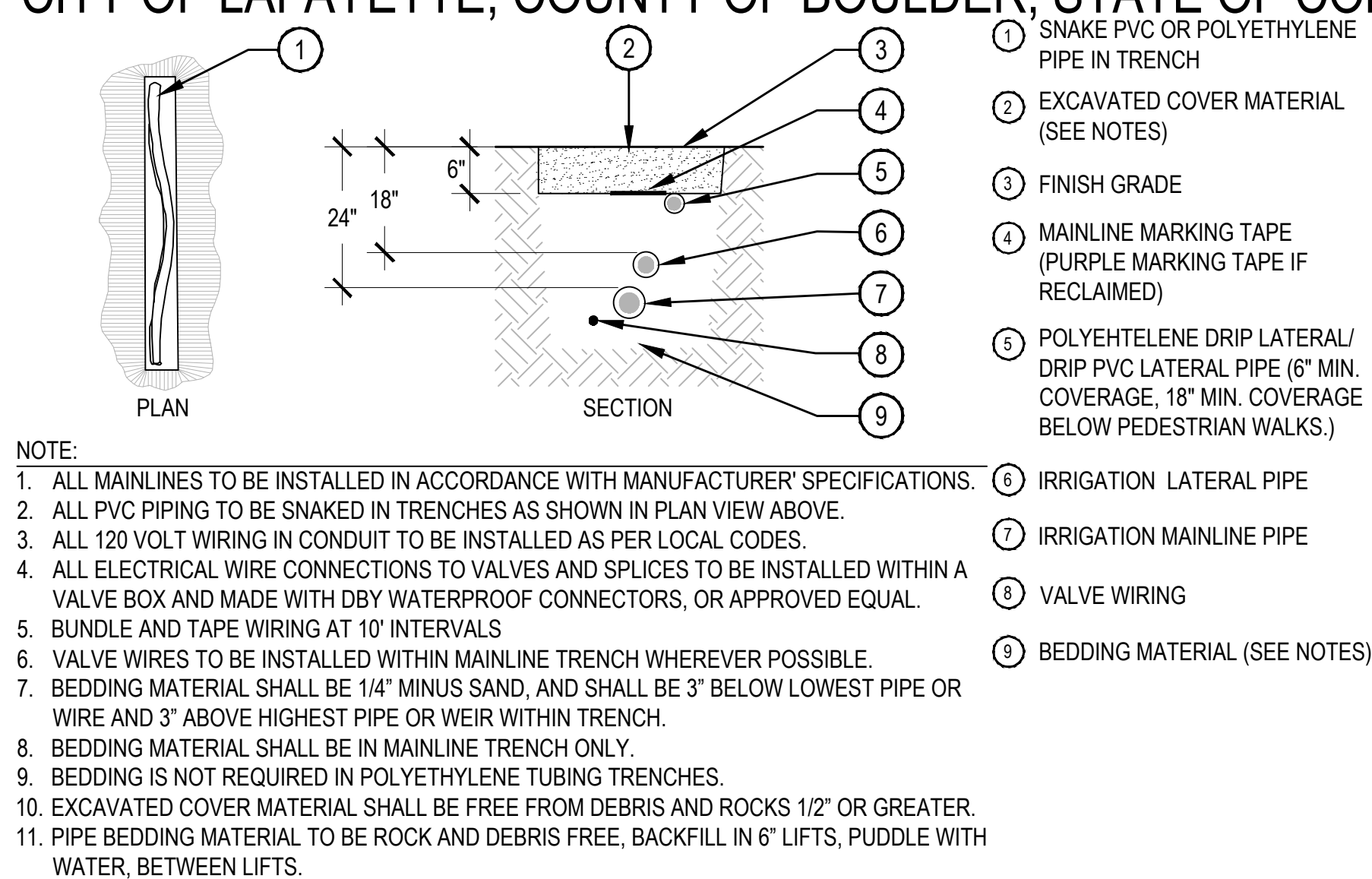
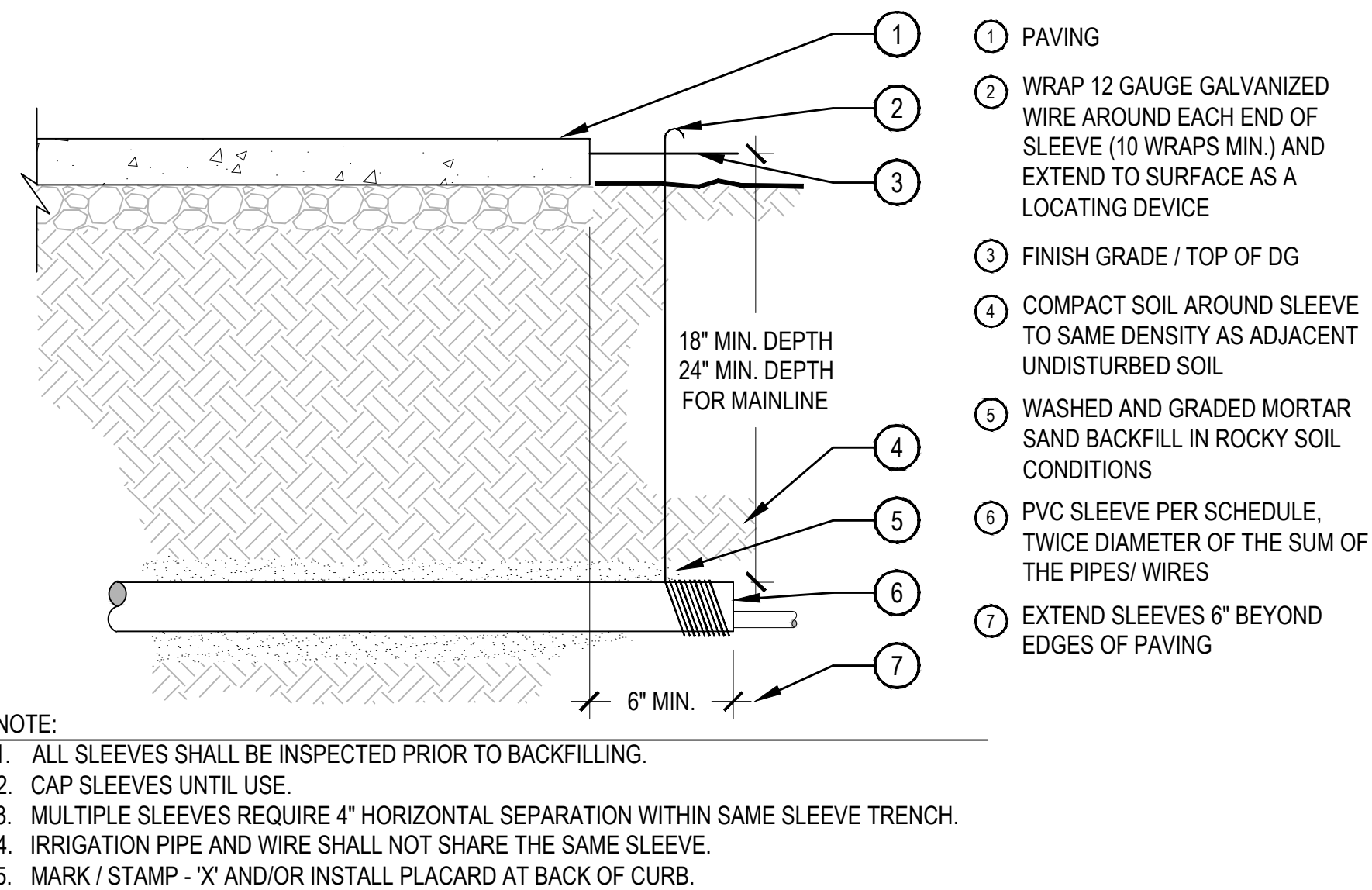
- NOTE:
1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

9 GATE VALVE 3" AND SMALLER

SCALE: NTS

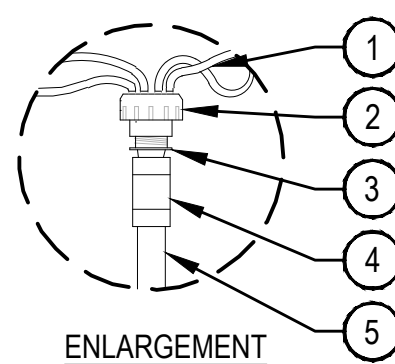
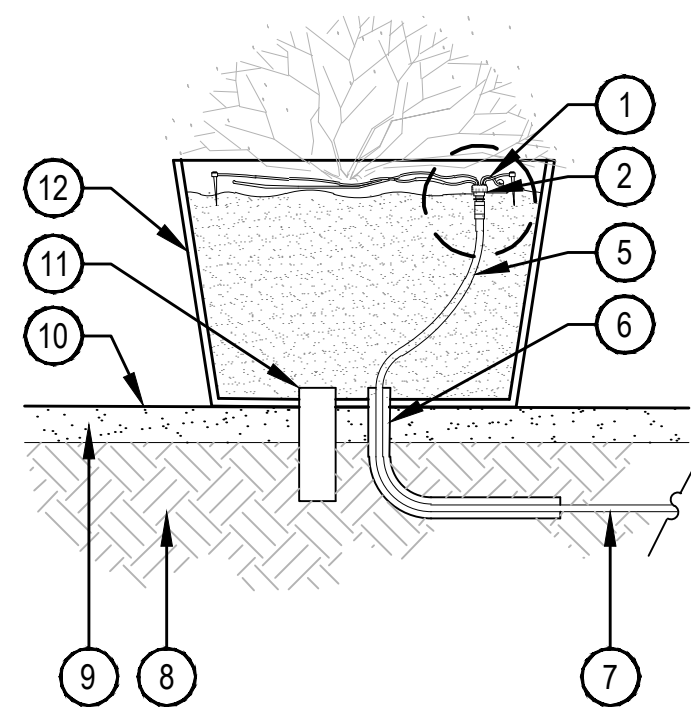
WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



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LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



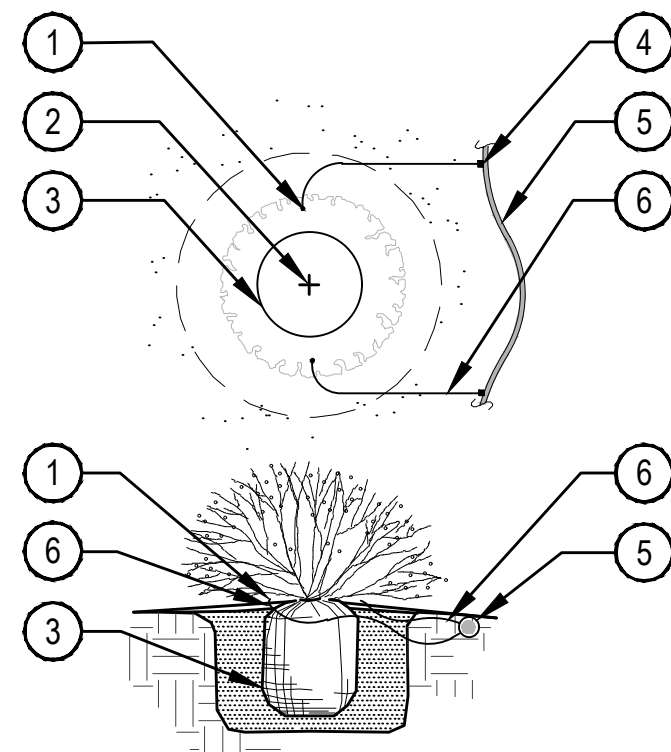
- 1/4" DISTRIBUTION TUBING W/ STAKE (RAIN BIRD TS-025)
- MULTI-OUTLET EMITTER
- 1/2" RAIN BIRD MDCF-50MPT DRIP MALE ADAPTER FITTING
- RAIN BIRD MDCF-COUP DRIP COUPLING FITTING
- 1/2" RAIN BIRD XF SERIES BLANK TUBING
- 1-1/2" CONDUIT SLEEVING - CONTRACTOR TO SEAL POT OPENING AROUND SLEEVING
- BLANK TUBING TO VALVE
- COMPACTED SUB GRADE
- PAVING PER LANDSCAPE PLANS
- FINISH GRADE
- DRAINAGE PER LANDSCAPE PLANS
- PLANTER PER LANDSCAPE PLANS

NOTES:

- CONTRACTOR SHALL ALLOCATE ADDITIONAL LENGTH IN BLANK TUBING WITHIN PLANTER FOR MAINTENANCE PURPOSES.
- CONDUIT SLEEVING TO EXTEND 2 FEET FROM PLANTER BOX.

1 MULTI-OUTLET EMITTER IN RAISED PLANTERS

NTS



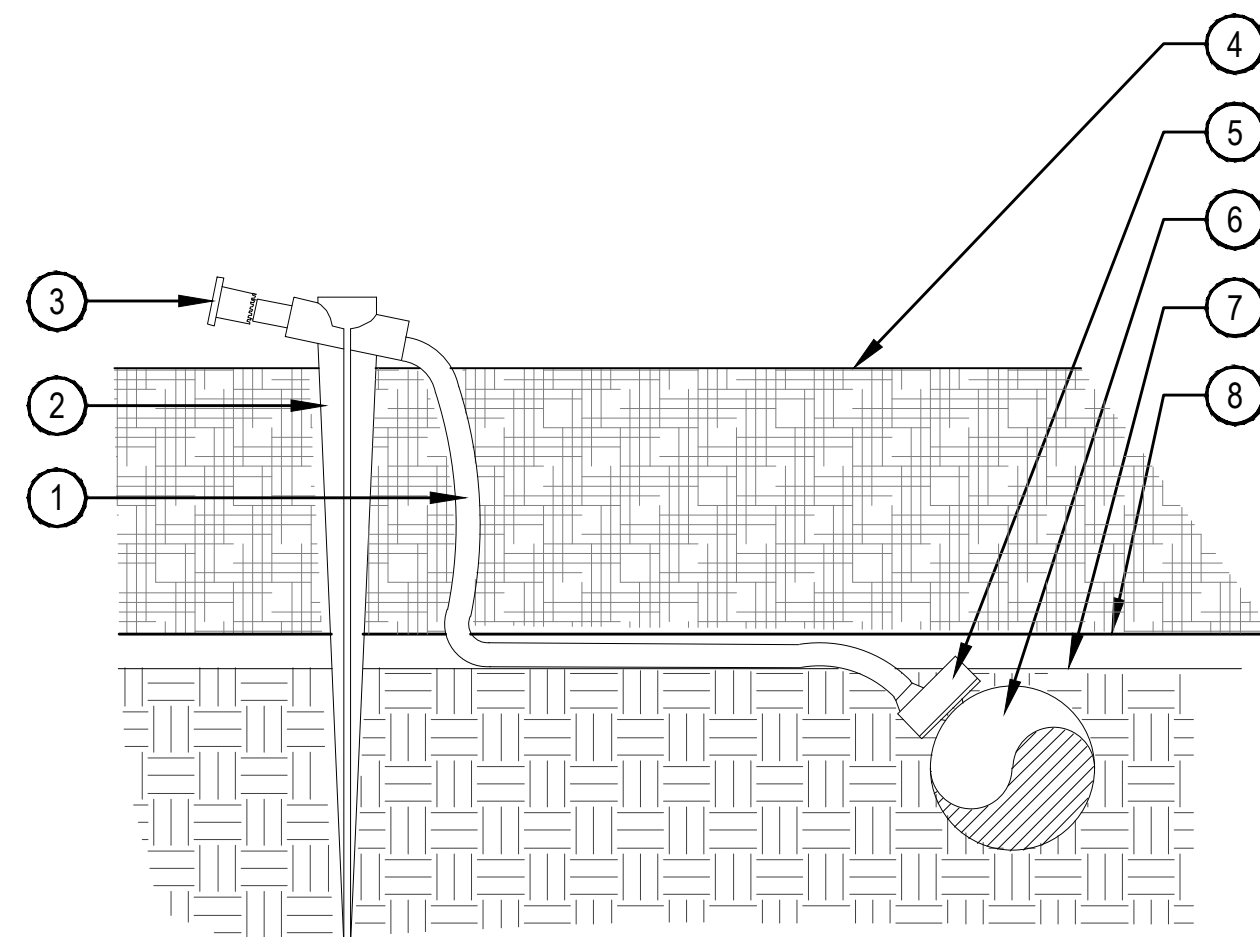
- DIFFUSER CAP W/ DRIP STAKE
- PLANT CENTER
- PLANT ROOTBALL
- SINGLE OUTLET EMITTER
- 3/4" POLYETHYLENE DRIP TUBING
- 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

NOTE:

- EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
- FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
- IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
- EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE.
- DRIP VALVE ZONES (HYDROZONES) ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS AND SUN EXPOSURE.
- CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.

4 SINGLE OUTLET EMITTER PLACEMENT

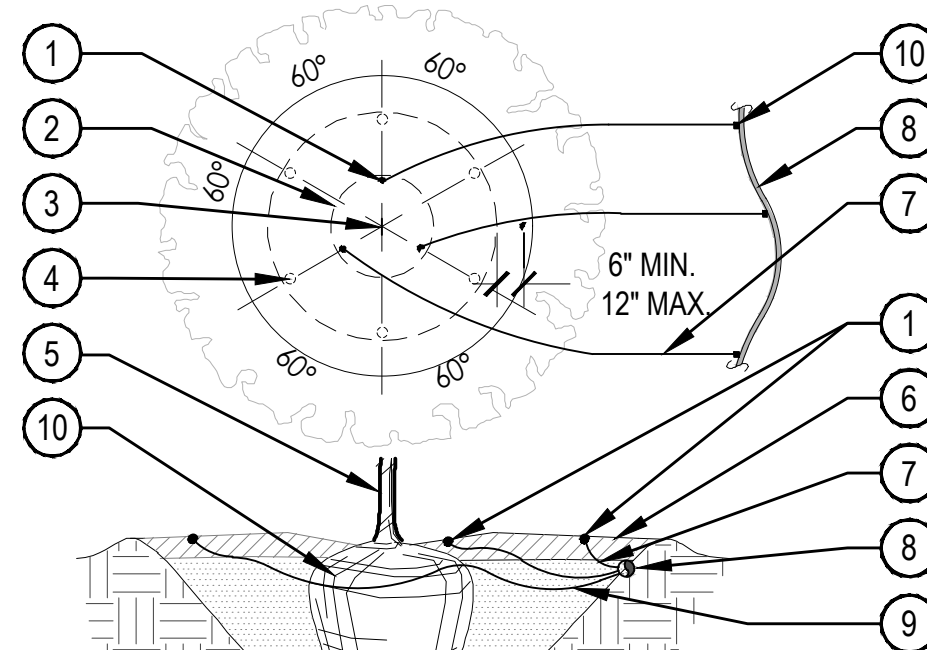
SCALE: NTS



- 1/4" DISTRIBUTION TUBING. RUN TUBING UNDER WEED BARRIER FABRIC TO PLANT. LENGTH NOT TO EXCEED 8'
- UNIVERSAL 1/4" STAKE
- DIFFUSER CAP
- TOP OF MULCH
- PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE. INSTALL EMITTER AT 45° TO 60° ANGLE
- 3/4" POLYETHYLENE TUBING SET WITH TOP OF TUBING FLUSH WITH FINISH GRADE OF SOIL
- FINISH GRADE OF SOIL
- WEED BARRIER FABRIC

2 SINGLE OUTLET EMITTER

SCALE: NTS



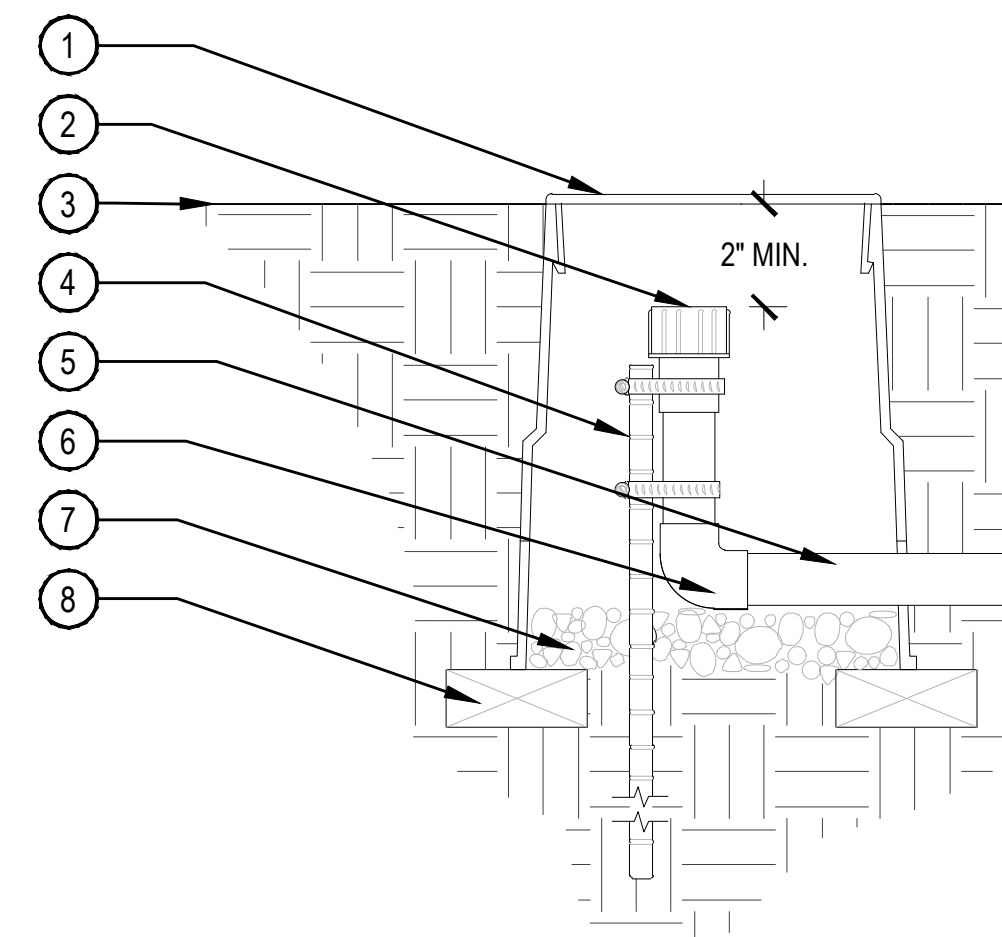
- EMISSION POINT. DIFFUSER CAP W/ DRIP STAKE (TYP.)
- PLANT ROOT BALL (TYP.)
- PLANT CENTER (TYP.)
- SECOND EMISSION POINTS SEE NOTE 3 BELOW
- TREE TRUNK
- MULCH LAYER
- 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- 3/4" POLYETHYLENE DRIP TUBING
- SINGLE OUTLET EMITTER
- ROOTBALL

NOTE:

- MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
- ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
- SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
- THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

5 TREE EMITTER PLACEMENT

SCALE: NTS



- LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- HOSE END SELF FLUSH CAP
- FINISH GRADE
- 24" #4 REBAR TO HOLD END CAP IN PLACE W/ (2) STAINLESS STEEL CLAMPS
- POLYETHYLENE LATERAL
- ELBOW COMPRESSION FITTING
- 3/4" GRAVEL SUMP- 4" DEPTH
- BRICK (2 REQUIRED MIN.)

NOTE:

- COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
- SECURE STAKE TO FLUSH END CAP WITH A MIN. OF TWO S.S. CLAMPS.

3 DRIP FLUSH END CAP

SCALE: NTS

WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

MATERIAL	DESCRIPTION
B-1	BRICK VENEER, LIGHT COLORED
B-2	BRICK VENEER, DARK COLORED
B-3	BRICK VENEER, CHARCOAL
MT-1	METAL PANEL
P-1	FIBER CEMENT PANEL BOARD SIDING, ACCENT COLOR
P-2	FIBER CEMENT BOARD & BATTEN SIDING
P-3	FIBER CEMENT 6" LAP SIDING
P-4	FIBER CEMENT VERTICAL WOOD GRAIN
P-5	FIBER CEMENT SHINGLE WALL PANEL
P-6	FIBER CEMENT 10" LAP SIDING BOARD
P-7	FIBER CEMENT PANEL BOARD SIDING
P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF



WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

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AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
SENIOR BLDG
ELEVATIONS



WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
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RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF



1 NORTH ELEVATION OVERALL
1/16" = 1'-0"



3 NORTH ELEVATION EAST WING
1/8" = 1'-0"



2 NORTH ELEVATION WEST WING
1/8" = 1'-0"

WILLOUGHBY CORNER
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LAFAYETTE, COLORADO

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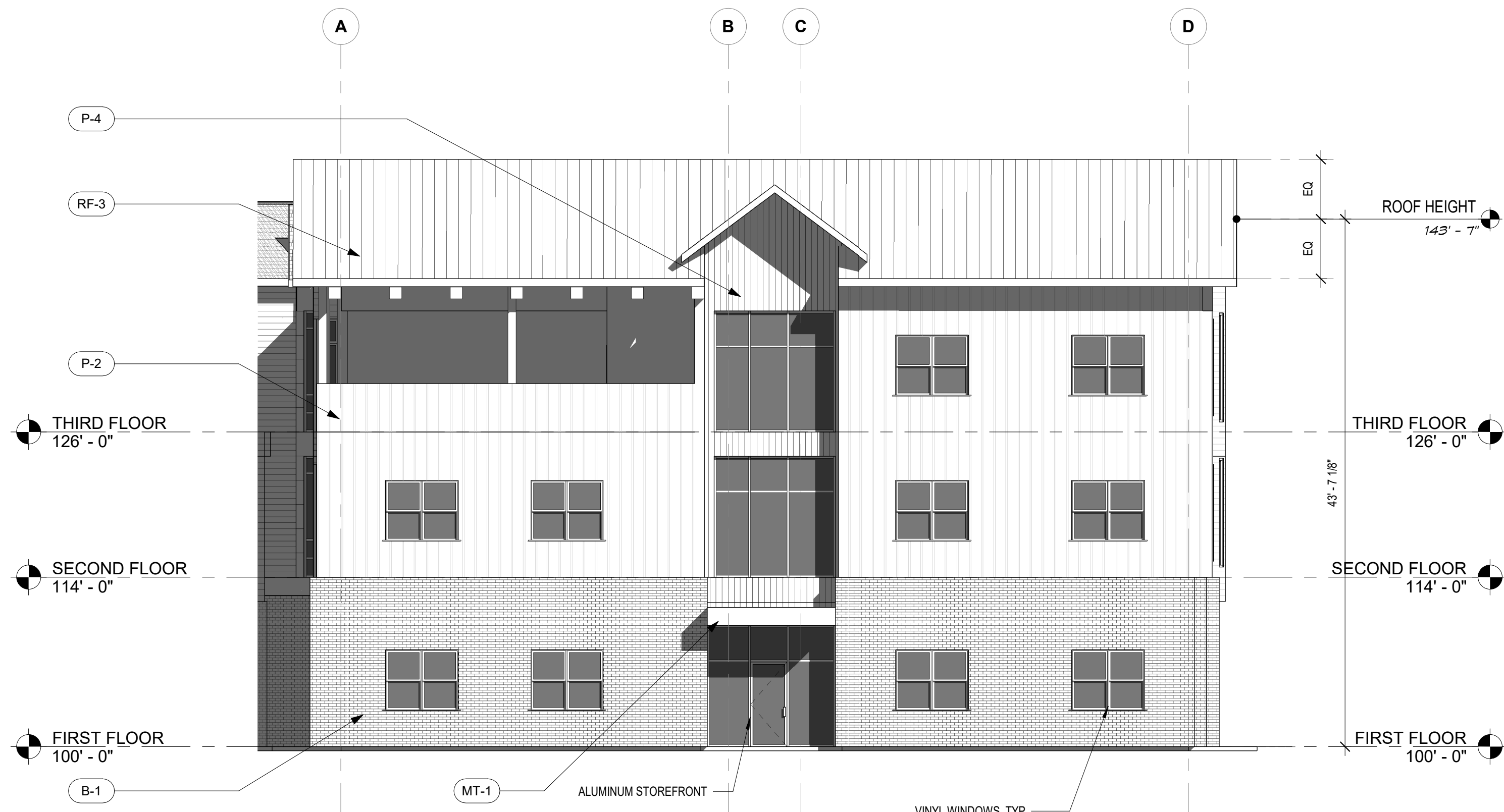
1 EAST ELEVATION OVERALL
1/16" = 1'-0"



2 WEST ELEVATION OVERALL
1/16" = 1'-0"



3 EAST ELEVATION EAST WING END
1/8" = 1'-0"



4 NW ELEVATION WEST WING END
1/8" = 1'-0"

WILLOUGHBY CORNER
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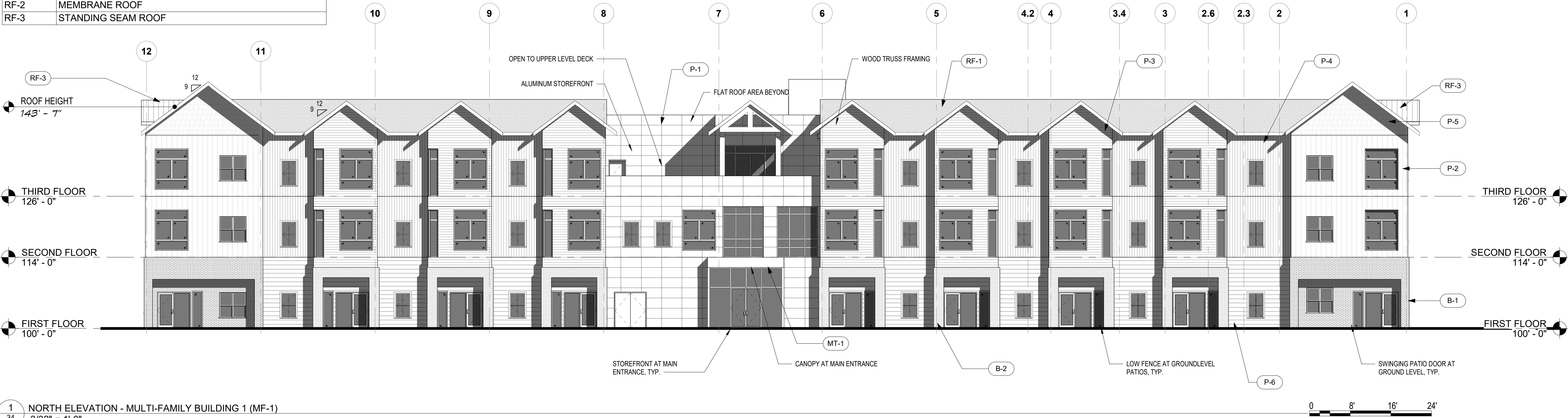
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ELEVATIONS



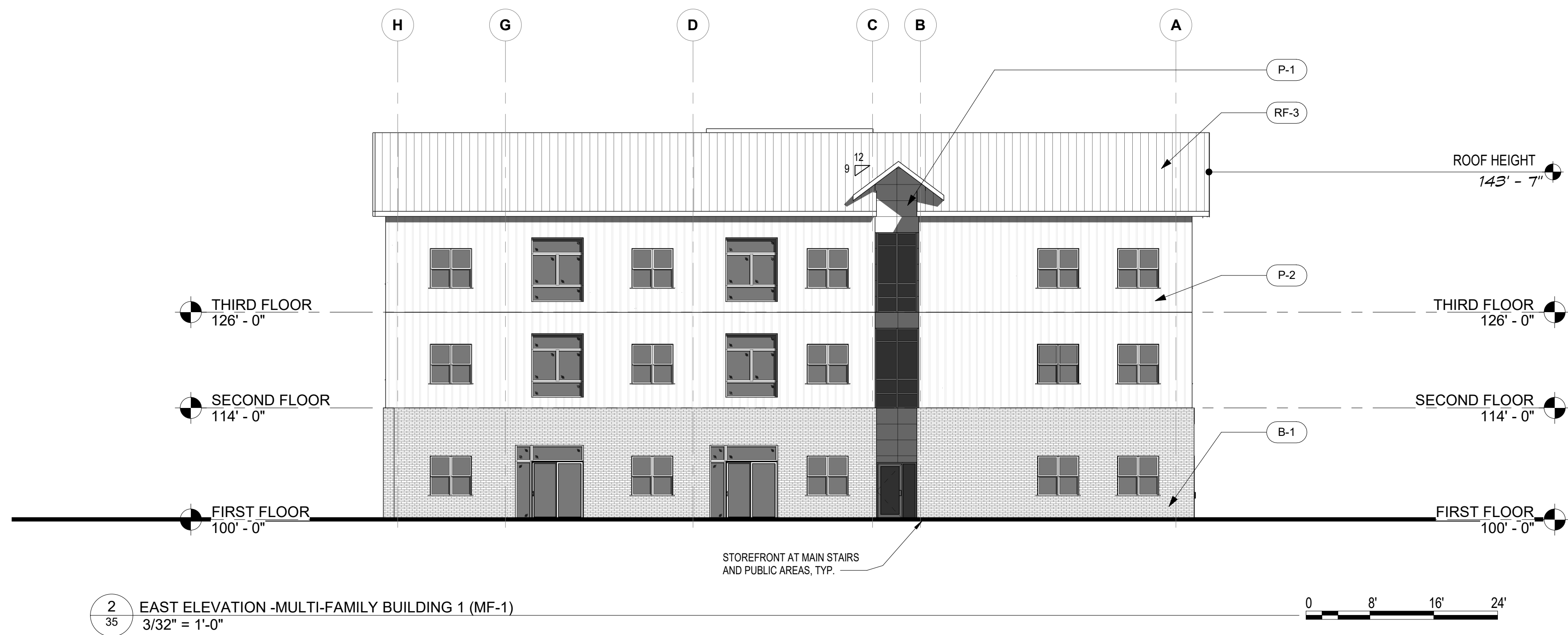
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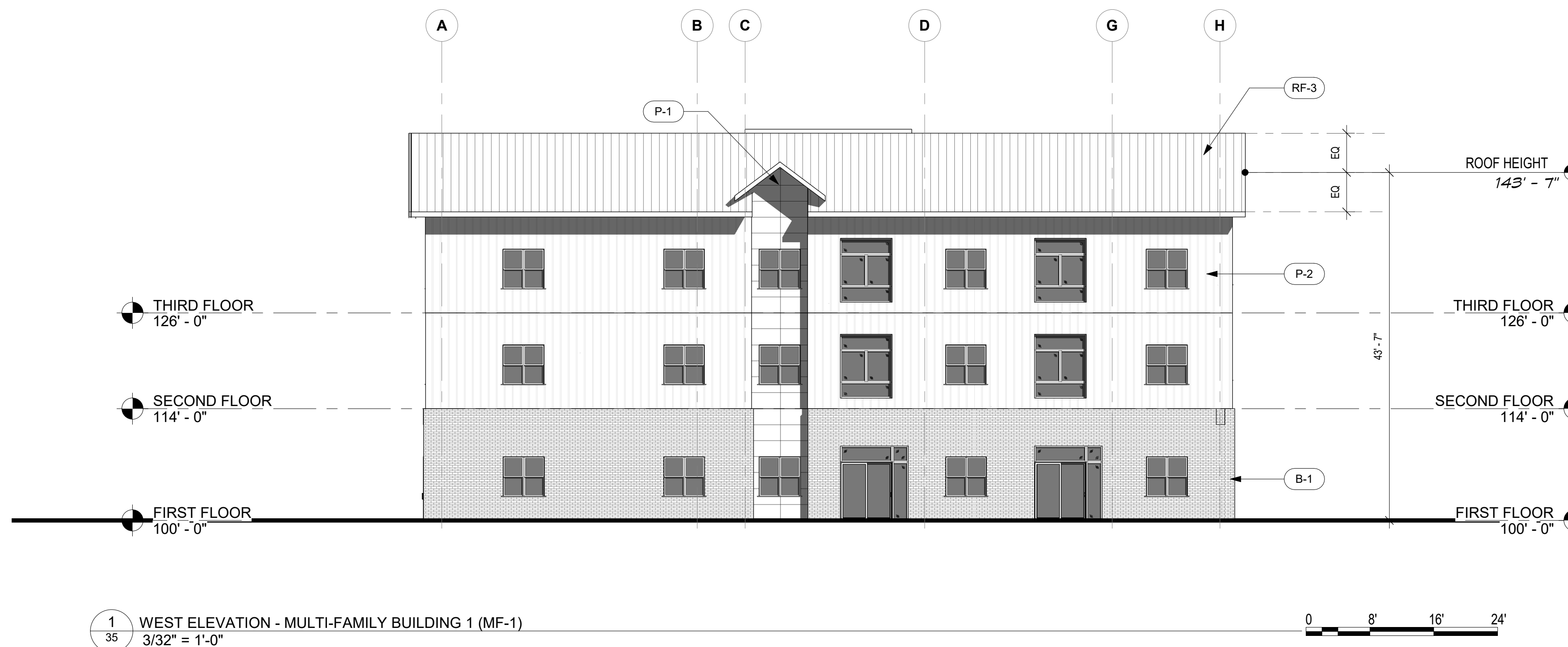
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WILLOUGHBY CORNER
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2 EAST ELEVATION - MULTI-FAMILY BUILDING 1 (MF-1)
3/32" = 1'-0"



1 WEST ELEVATION - MULTI-FAMILY BUILDING 1 (MF-1)
3/32" = 1'-0"

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B-1	BRICK VENEER, LIGHT COLORED
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MT-1	METAL PANEL
P-1	FIBER CEMENT PANEL BOARD SIDING, ACCENT COLOR
P-2	FIBER CEMENT BOARD & BATTEN SIDING
P-3	FIBER CEMENT 6" LAP SIDING
P-4	FIBER CEMENT VERTICAL WOOD GRAIN
P-5	FIBER CEMENT SHINGLE WALL PANEL
P-6	FIBER CEMENT 10" LAP SIDING
P-7	FIBER CEMENT PANEL BOARD SIDING
P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF

WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
MF1 BUILDING
ELEVATIONS



MATERIAL	DESCRIPTION
B-1	BRICK VENEER, LIGHT COLORED
B-2	BRICK VENEER, DARK COLORED
B-3	BRICK VENEER, CHARCOAL
MT-1	METAL PANEL
P-1	FIBER CEMENT PANEL BOARD SIDING, ACCENT COLOR
P-2	FIBER CEMENT BOARD & BATTEN SIDING
P-3	FIBER CEMENT 6" LAP SIDING
P-4	FIBER CEMENT VERTICAL WOOD GRAIN
P-5	FIBER CEMENT SHINGLE WALL PANEL
P-6	FIBER CEMENT 10" LAP SIDING BOARD
P-7	FIBER CEMENT PANEL BOARD SIDING
P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF

WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



WILLOUGHBY CORNER

SITE PLAN - PHASE 1

LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

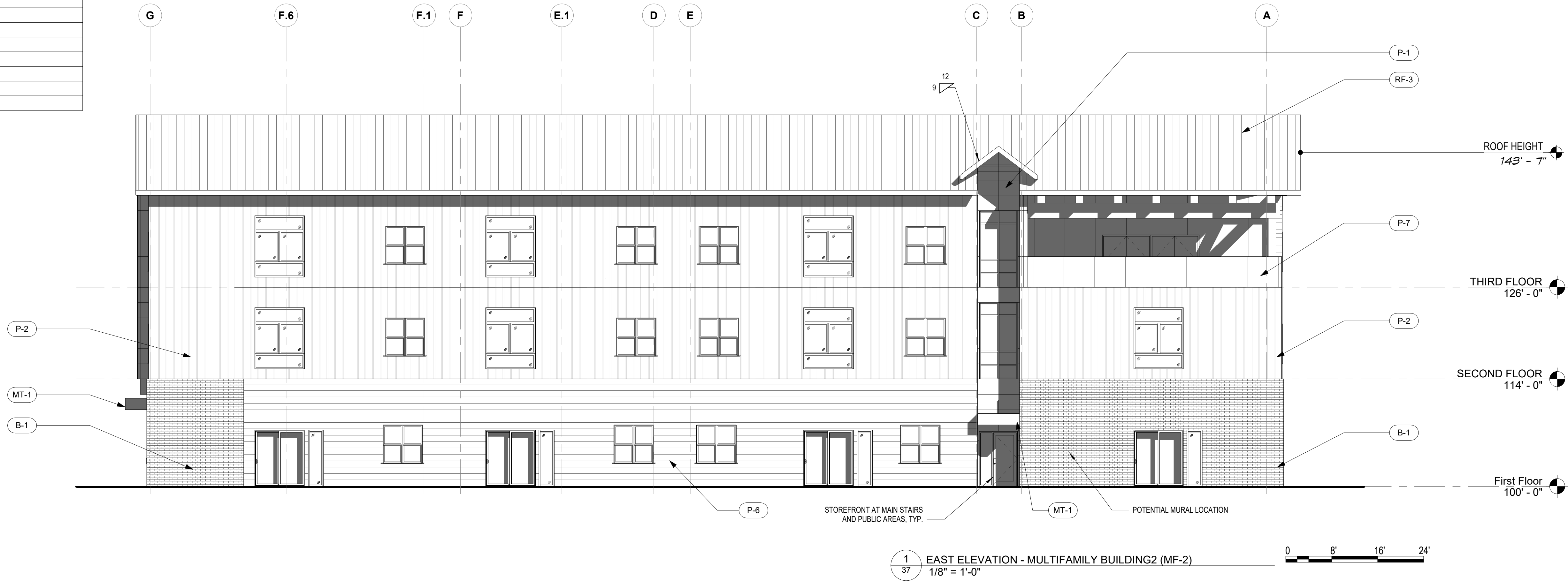
SHEET TITLE:
MF2 BUILDING
ELEVATIONS



WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

MATERIAL	DESCRIPTION
B-1	BRICK VENEER, LIGHT COLORED
B-2	BRICK VENEER, DARK COLORED
B-3	BRICK VENEER, CHARCOAL
MT-1	METAL PANEL
P-1	FIBER CEMENT PANEL BOARD SIDING, ACCENT COLOR
P-2	FIBER CEMENT BOARD & BATTEN SIDING
P-3	FIBER CEMENT 6" LAP SIDING
P-4	FIBER CEMENT VERTICAL WOOD GRAIN
P-5	FIBER CEMENT SHINGLE WALL PANEL
P-6	FIBER CEMENT 10" LAP SIDING BOARD
P-7	FIBER CEMENT PANEL BOARD SIDING
P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF



WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

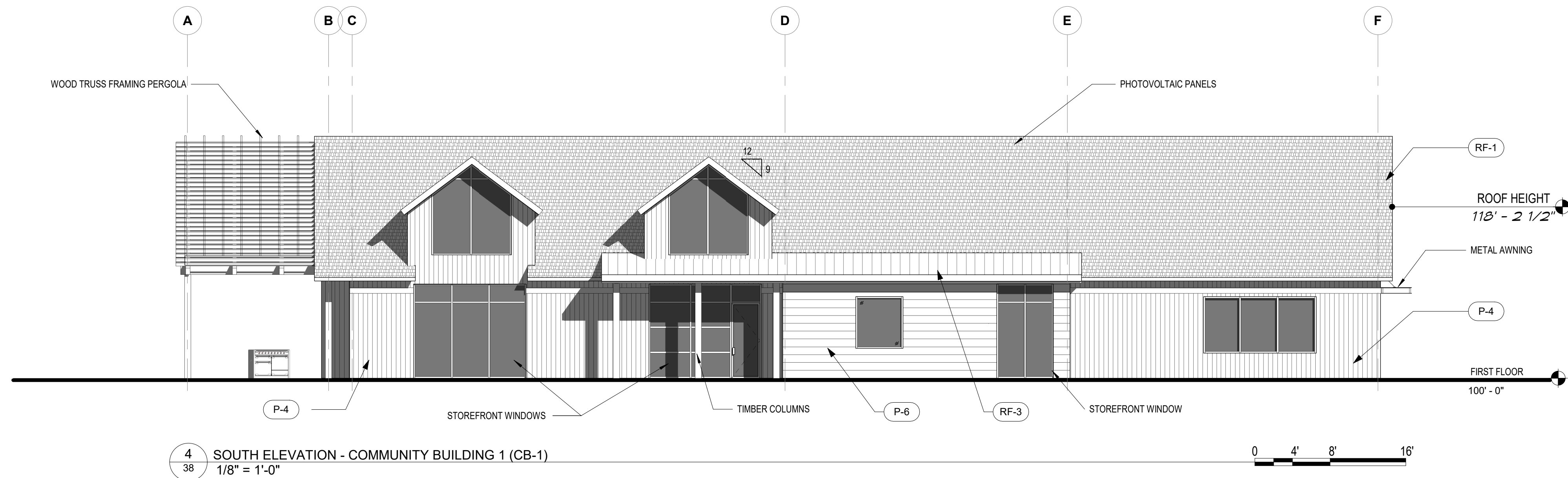
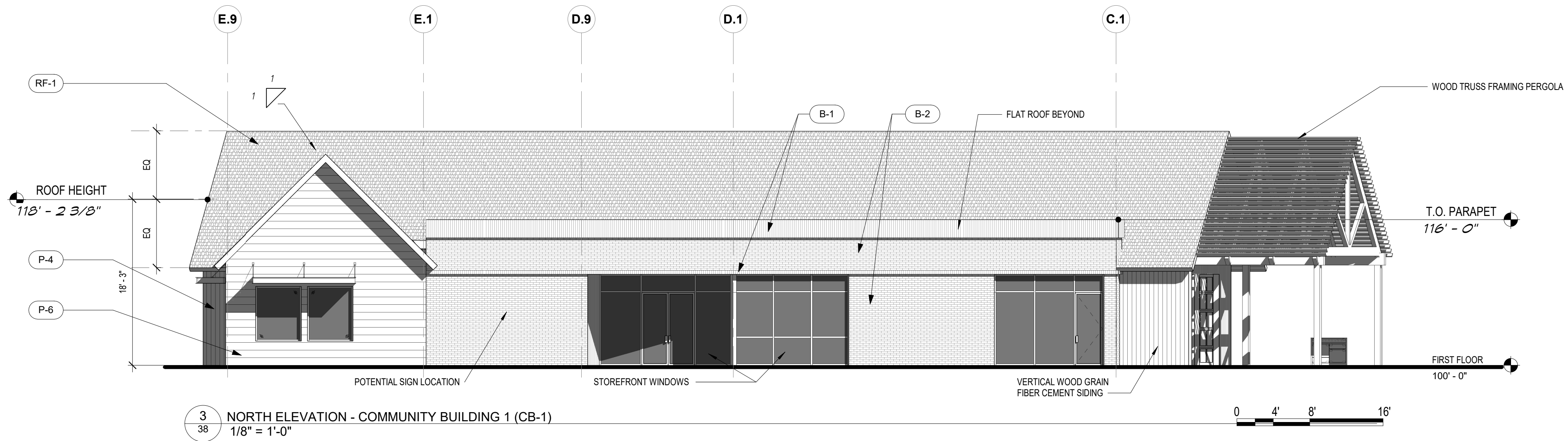
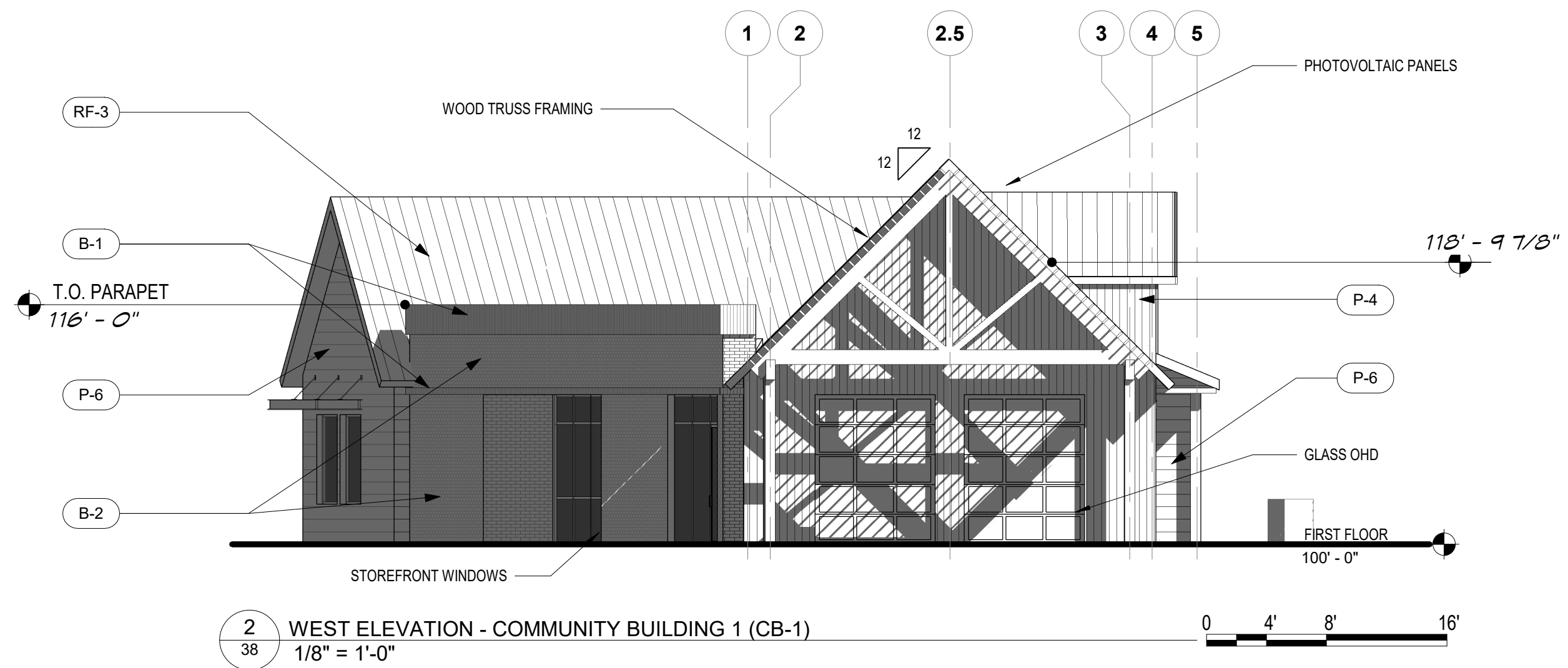
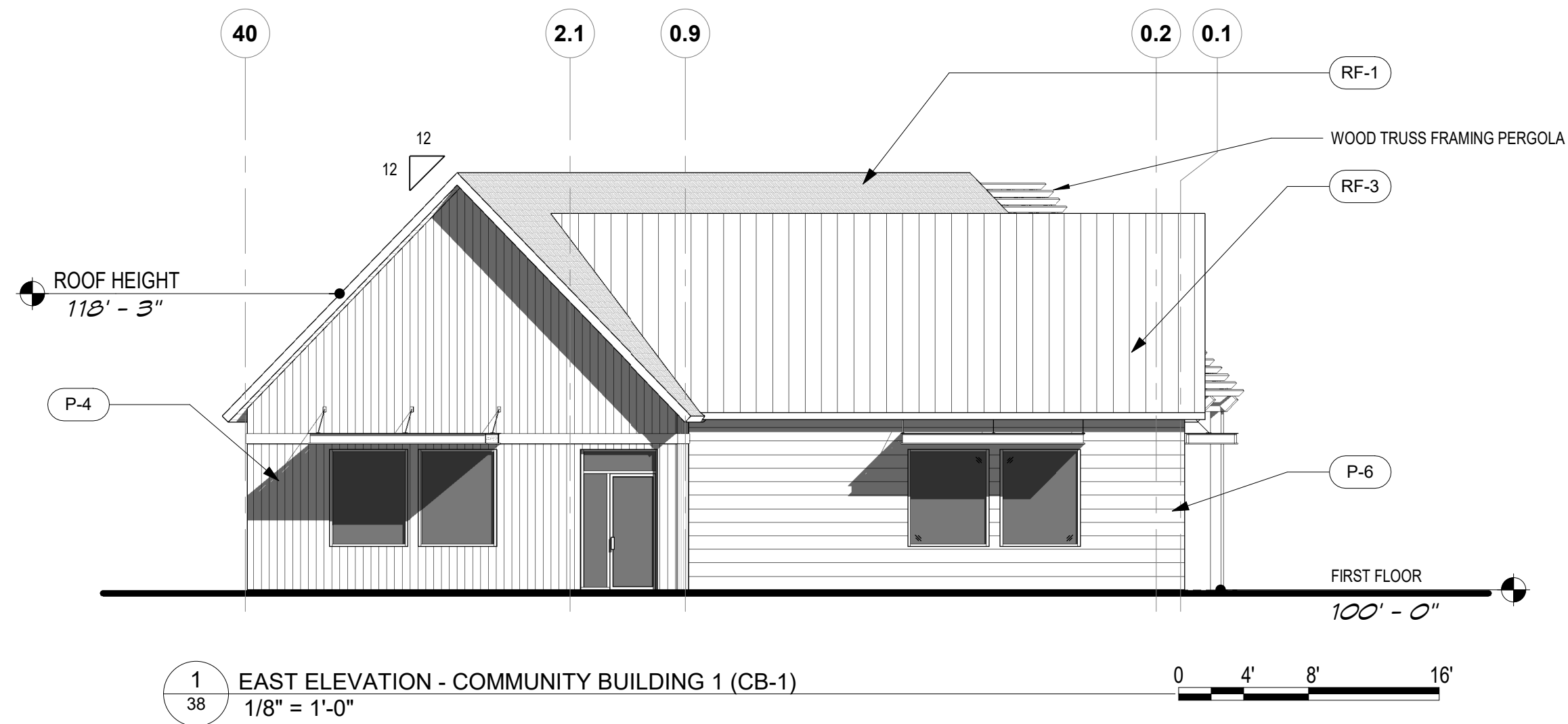
OWNER:
BOULDER COUNTY HOUSING
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3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
MF2 BUILDING
ELEVATIONS



WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO



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P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	MEMBRANE ROOF
RF-3	STANDING SEAM ROOF

WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

OWNER:
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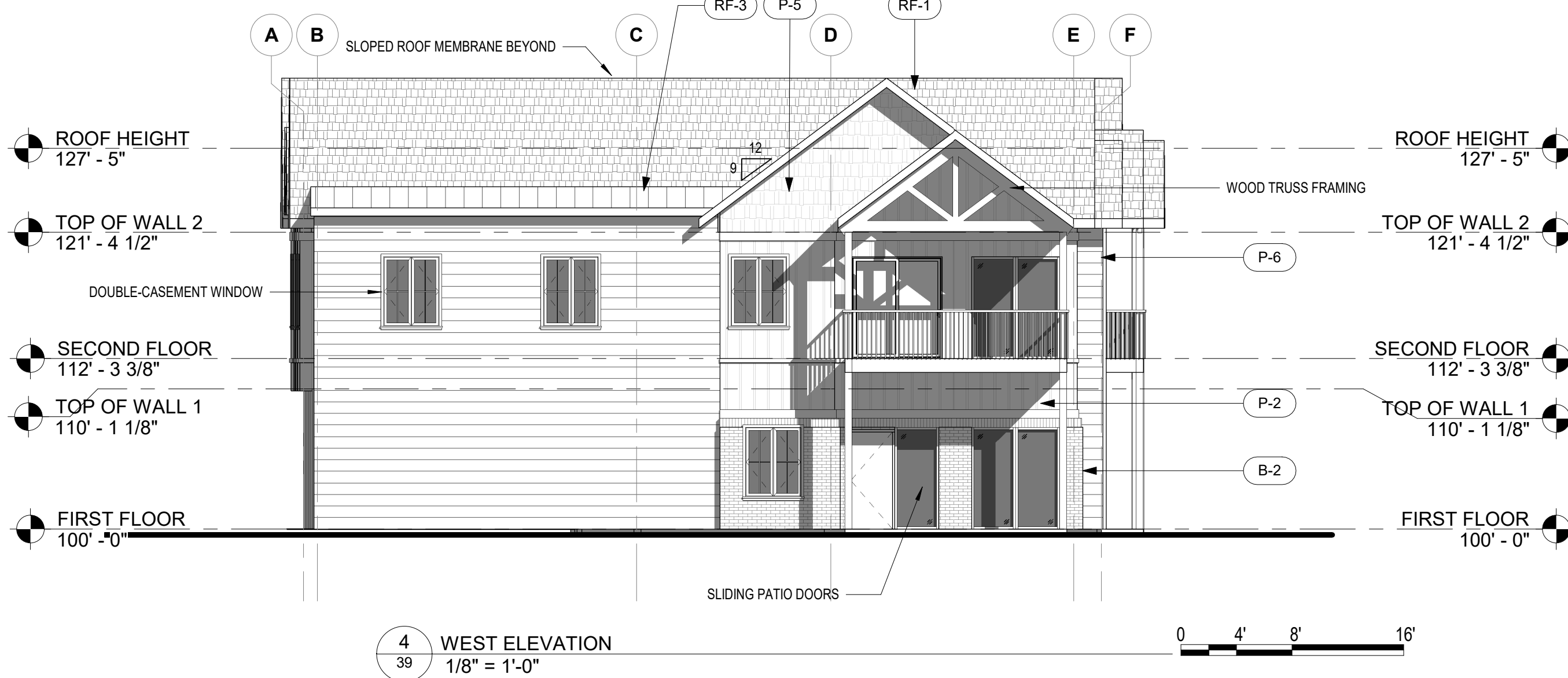
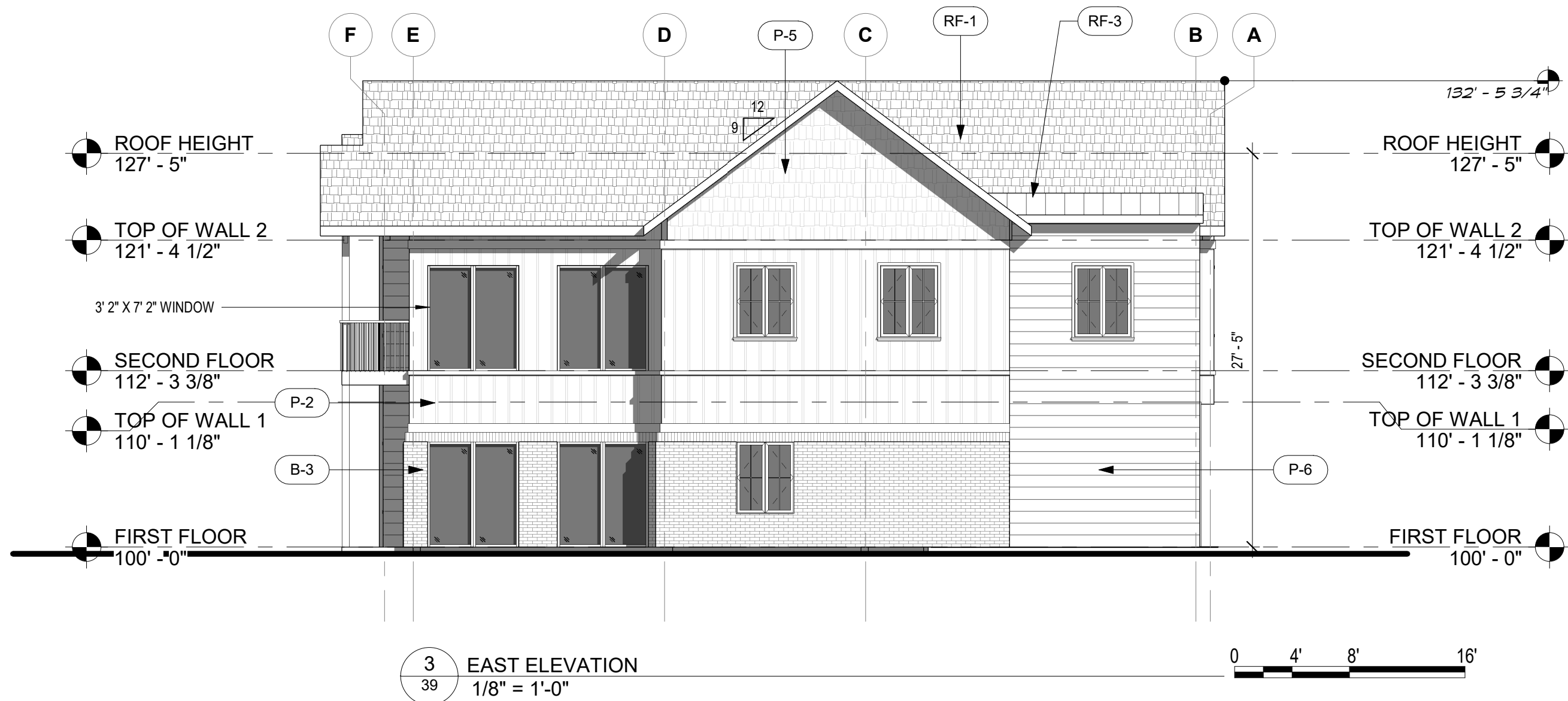
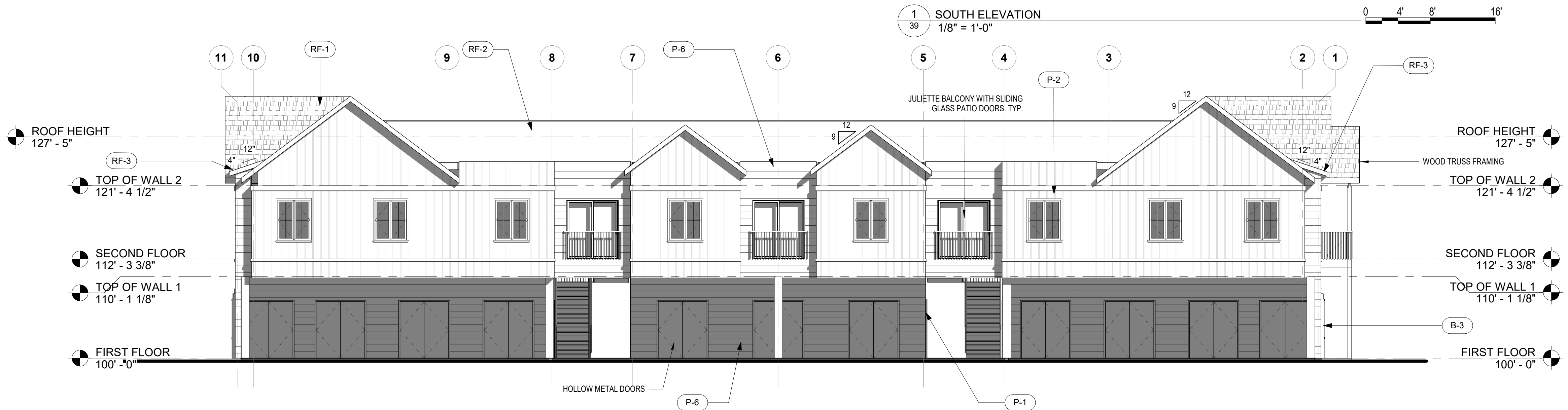
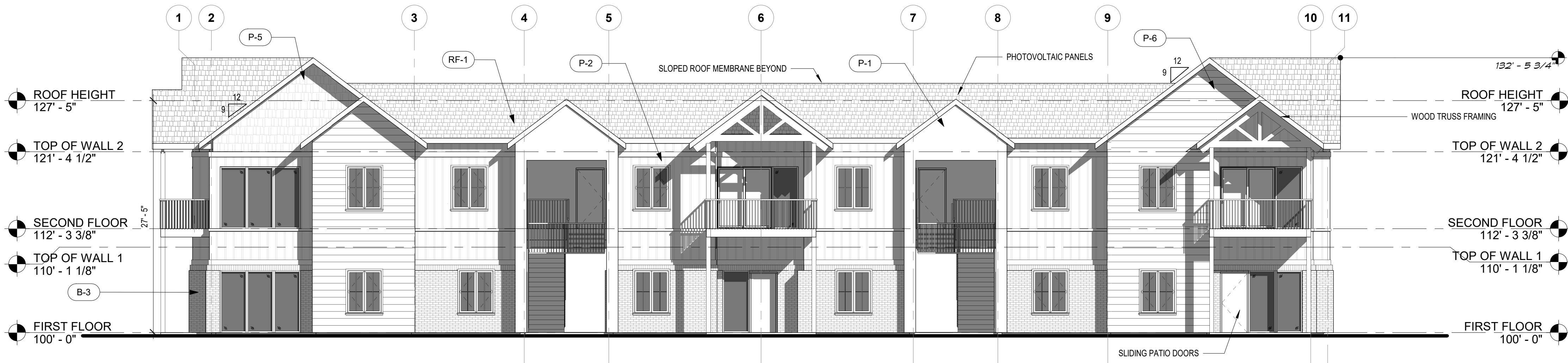
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
COMM. BLDG
ELEVATIONS

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

MATERIAL	DESCRIPTION
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B-3	BRICK VENEER, CHARCOAL COLORED
MT-1	METAL PANEL
P-1	FIBER CEMENT PANEL BOARD SIDING, ACCENT COLOR
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P-8	FIBER CEMENT VERTICAL SIDING
RF-1	ASPHALT SHINGLE ROOF
RF-2	ROOF MEMBRANE
RF-3	STANDING SEAM ROOF



WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
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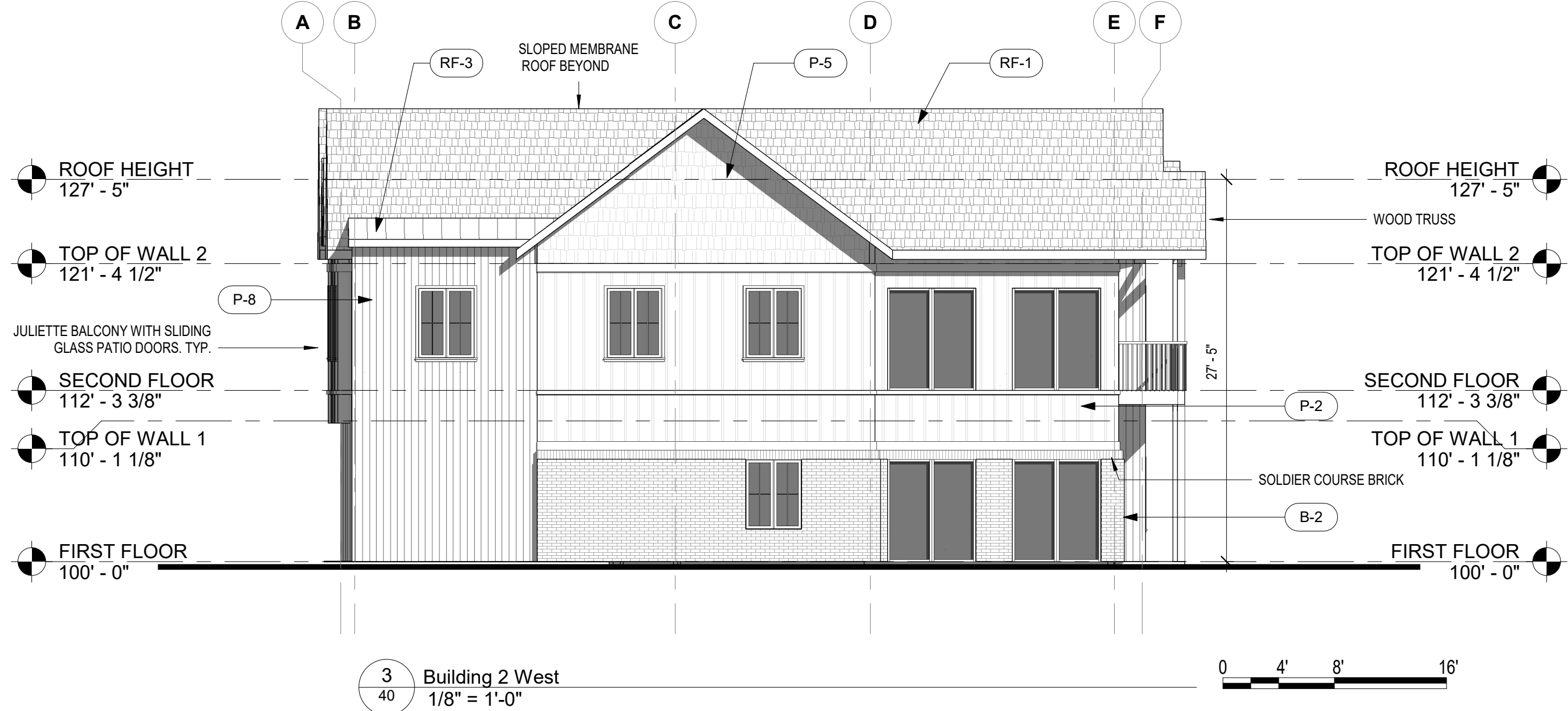
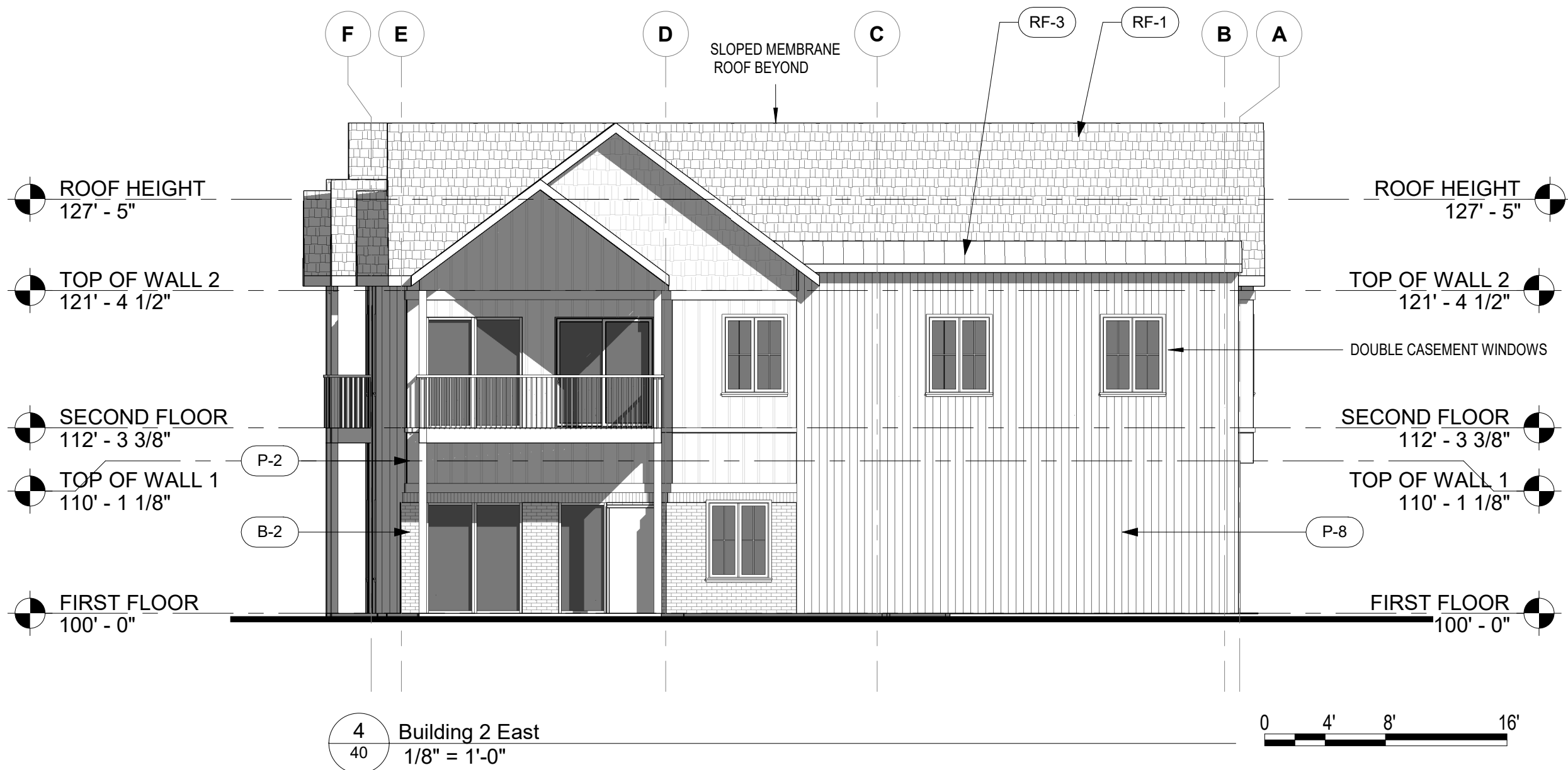
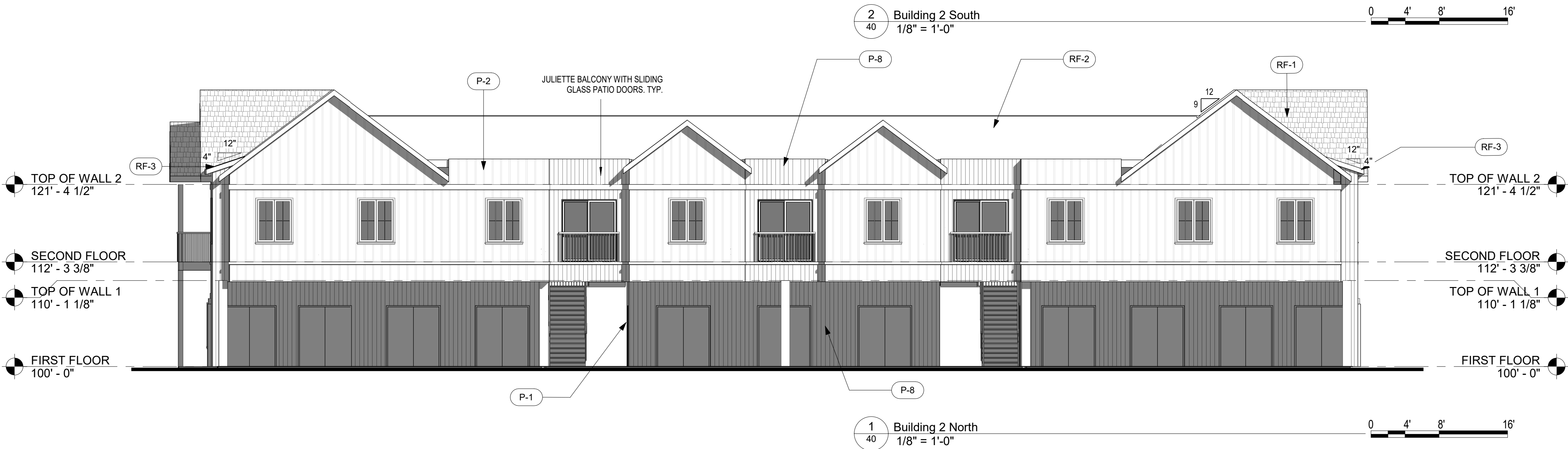
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
FLATS 1 BLDG
ELEVATIONS

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

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RF-1	ASPHALT SHINGLE ROOF
RF-2	ROOF MEMBRANE
RF-3	STANDING SEAM ROOF



WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LAFAYETTE, COLORADO

OWNER:
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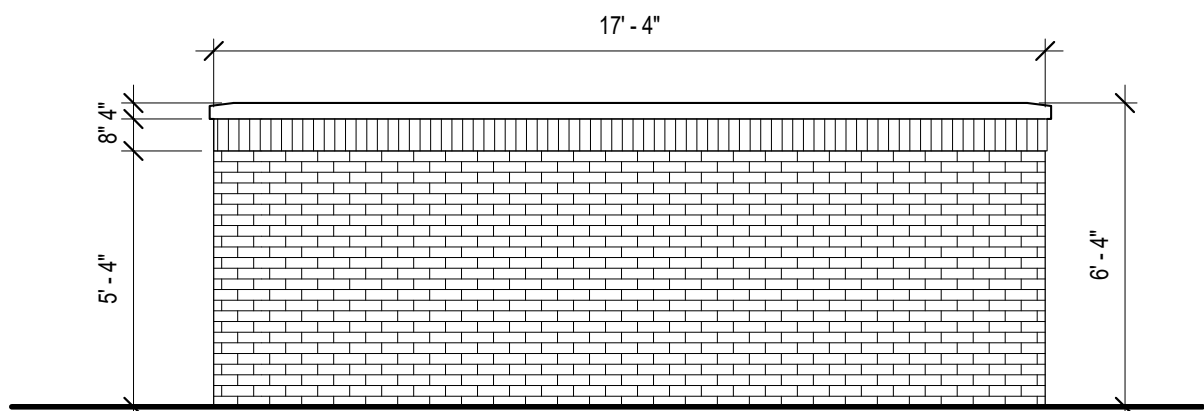
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
FLATS 2 BLDG
ELEVATIONS

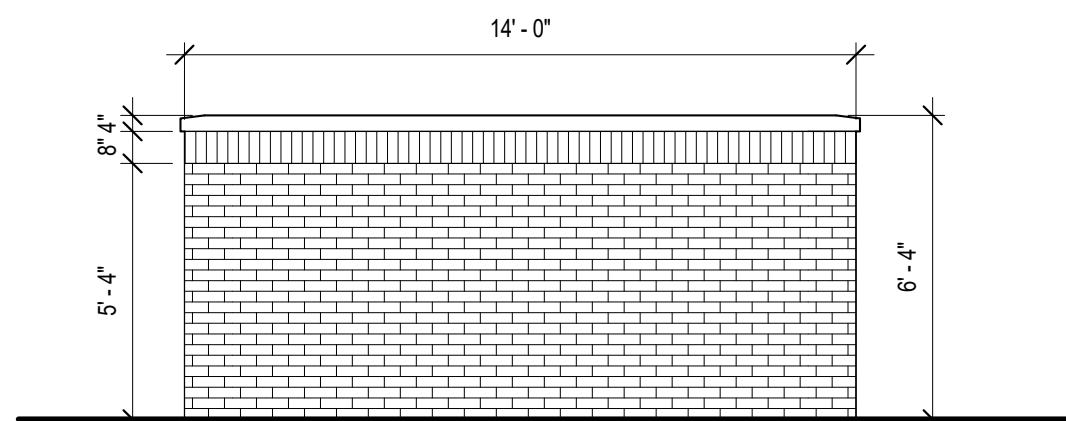
WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

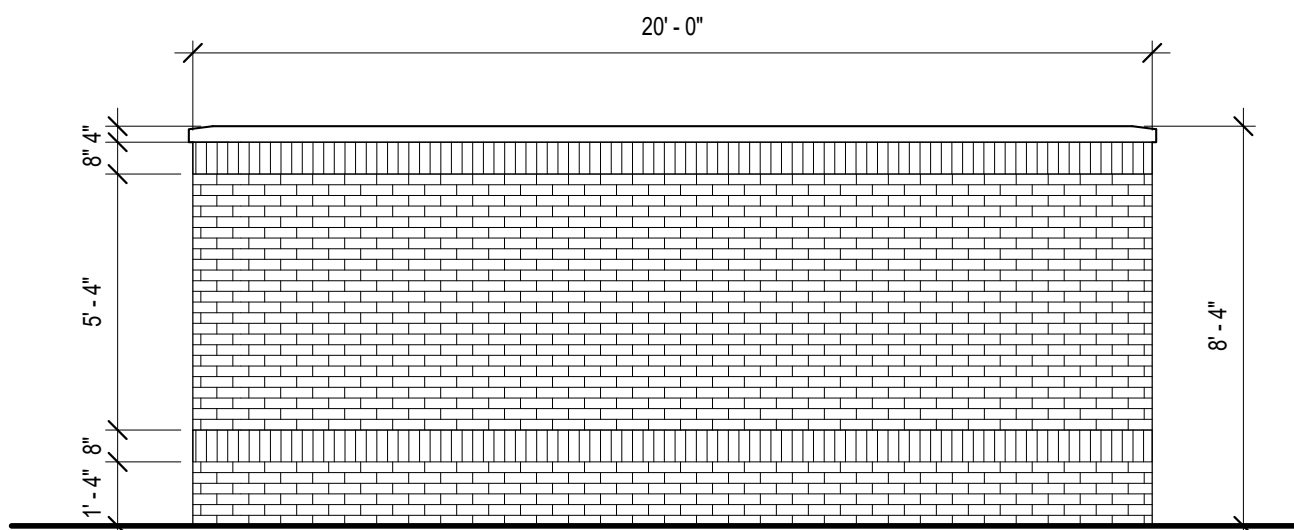
MATERIAL	DESCRIPTION
B-1	BRICK VENEER, LIGHT COLORED
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RF-1	ASPHALT SHINGLE ROOF
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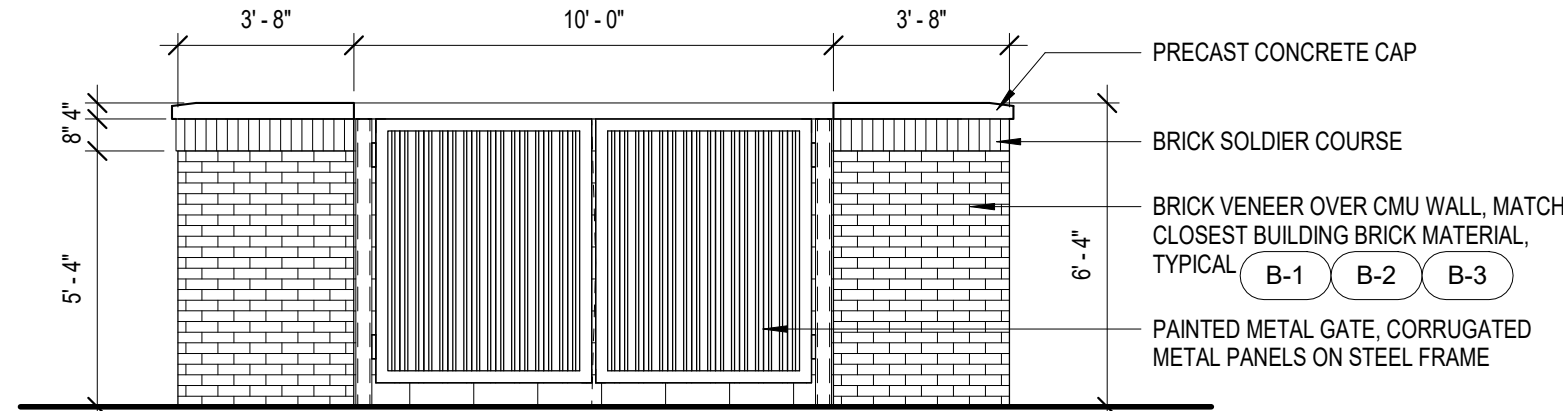
8 SITE - TRASH ENCLOSURE ELEVATION REAR
1/4" = 1'-0"



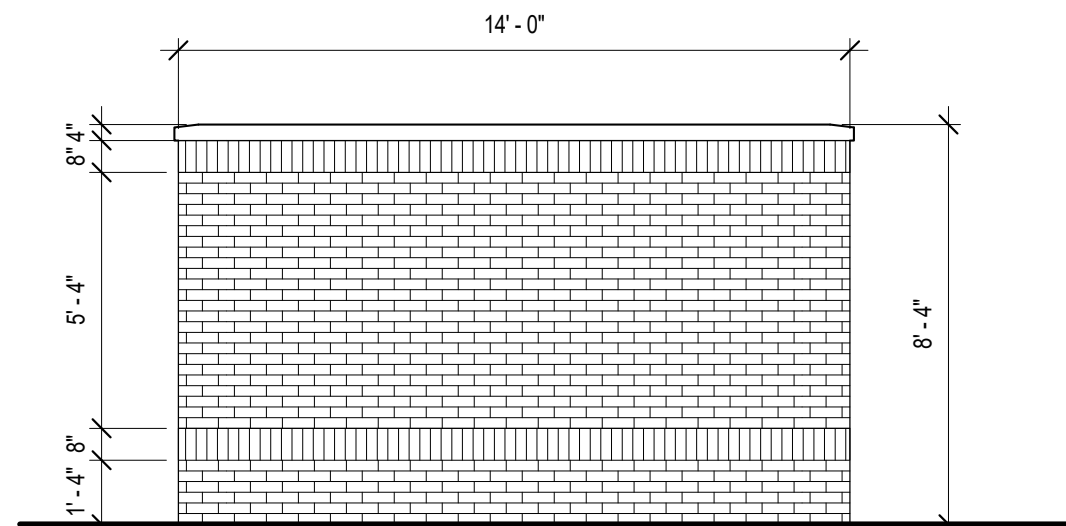
6 SITE - TRASH ENCLOSURE ELEVATION SIDES
1/4" = 1'-0"



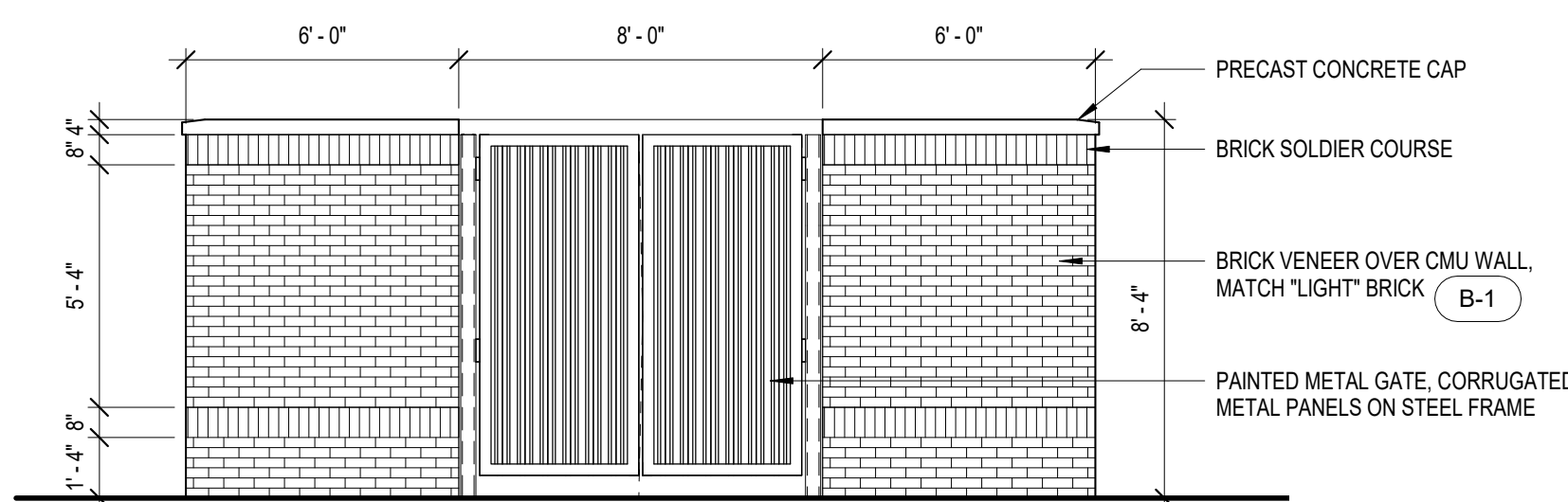
3 SITE - GENERATOR ENCLOSURE ELEVATION REAR
1/4" = 1'-0"



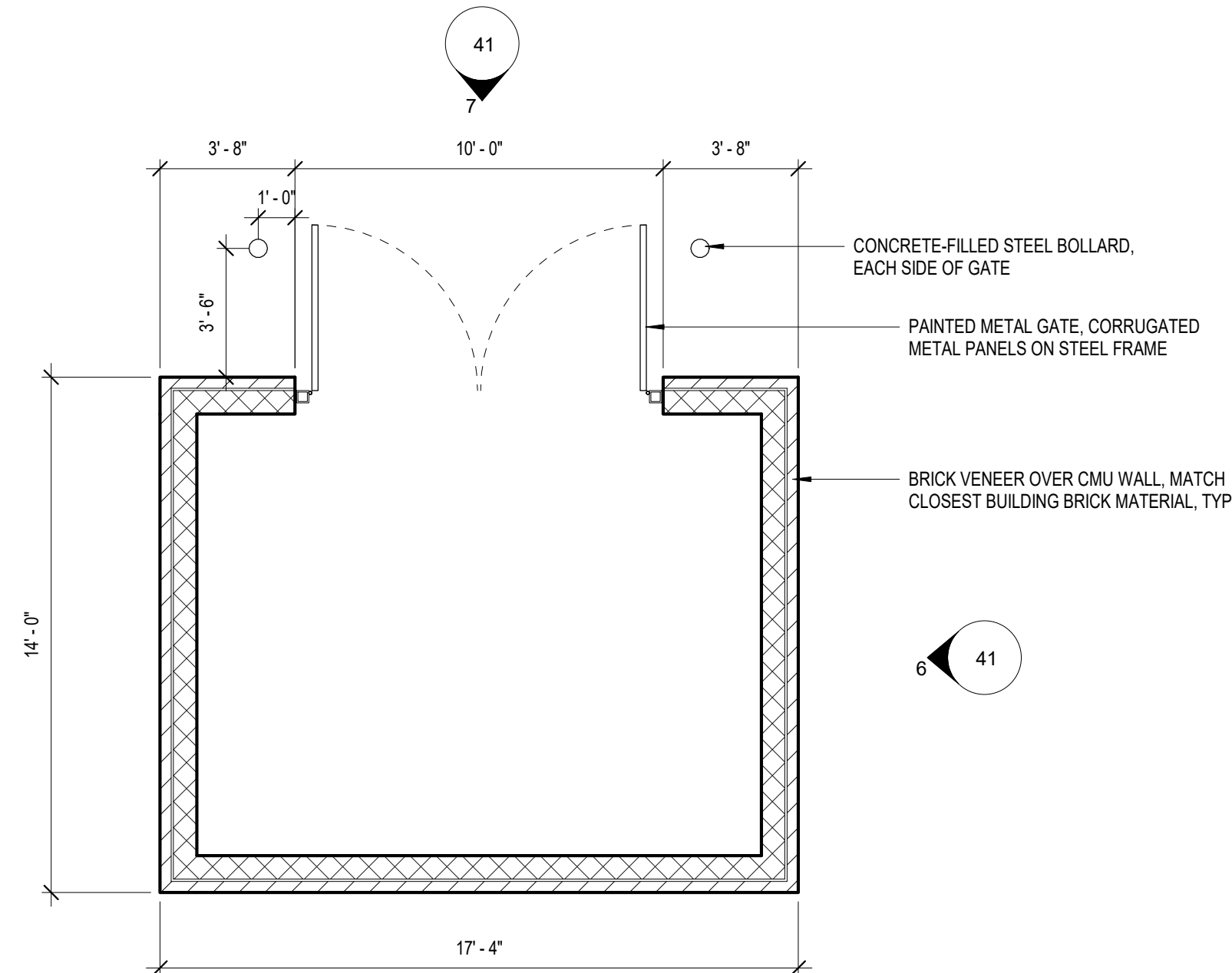
7 SITE - TRASH ENCLOSURE ELEVATION FRONT
1/4" = 1'-0"



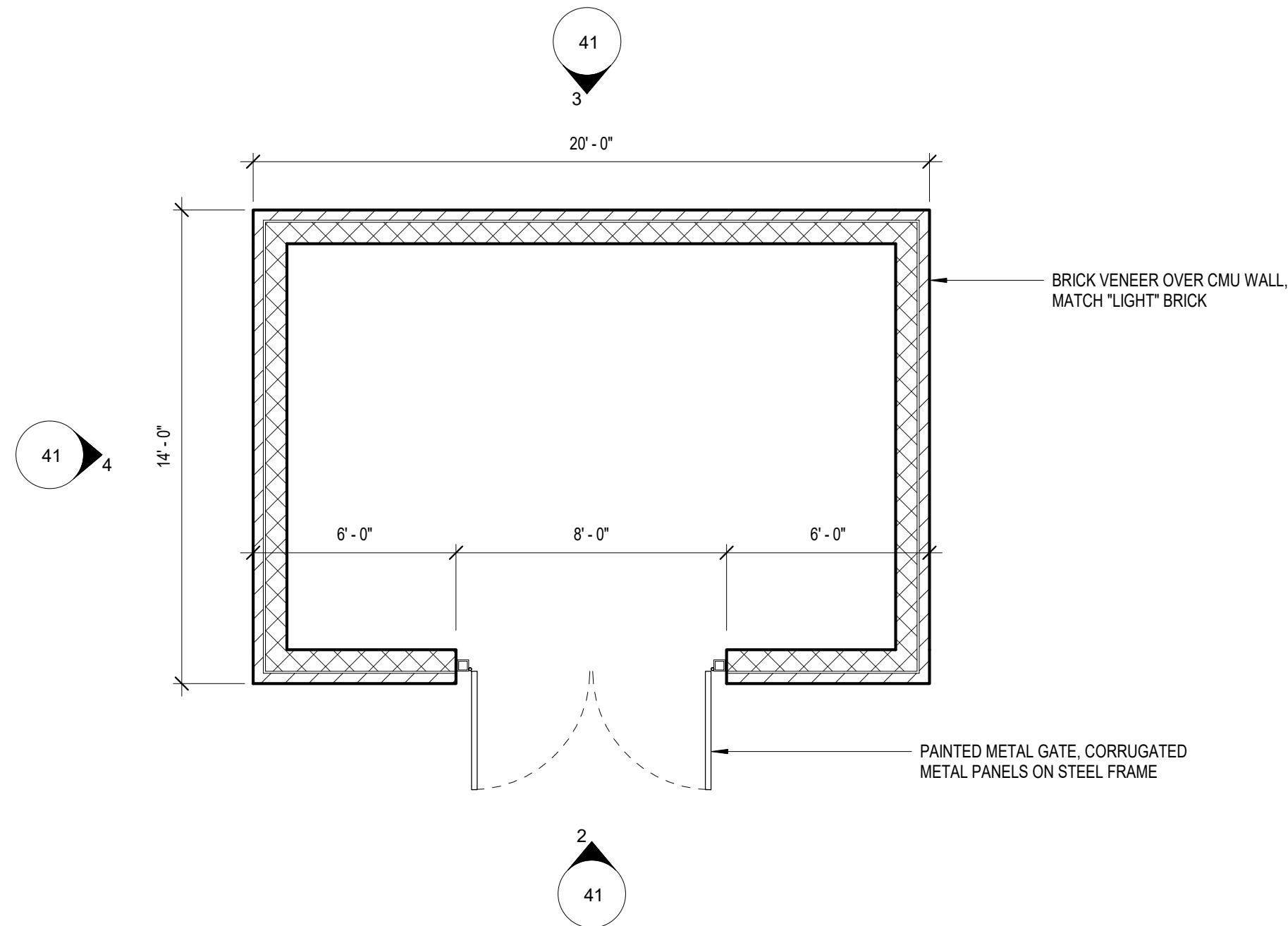
4 SITE - GENERATOR ENCLOSURE ELEVATION SIDES
1/4" = 1'-0"



2 SITE - GENERATOR ENCLOSURE ELEVATION FRONT
1/4" = 1'-0"



5 SITE - TRASH ENCLOSURE PLAN
1/4" = 1'-0"

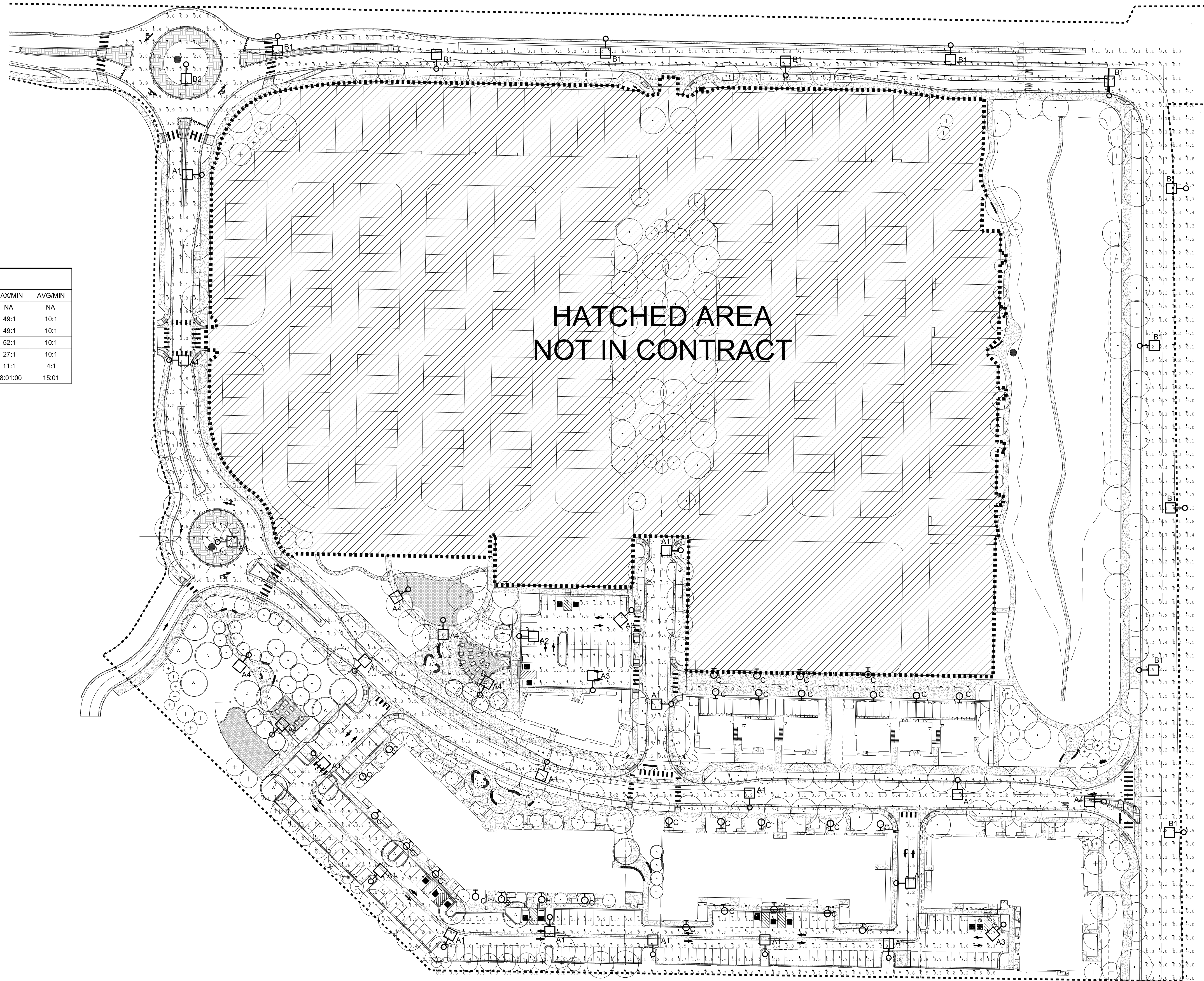


1 SITE - GENERATOR ENCLOSURE PLAN
1/4" = 1'-0"

WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
120th St./Emma St.	+	1.02 FC	6.6 FC	0.0 FC	NA	NA
Caterbury Ave	+	1.03 FC	4.9 FC	0.1 FC	49:1	10:1
Large Park Walkway	+	1.03 FC	4.9 FC	0.1 FC	49:1	10:1
Large Parking Lot	+	1.48 FC	5.2 FC	0.1 FC	52:1	10:1
Small Park Walkway	+	2.08 FC	5.5 FC	0.2 FC	27:1	10:1
Small Parking Lot	+	1.97 FC	5.4 FC	0.5 FC	11:1	4:1
Willoughby Drive	+	1.51 FC	3.8 FC	0.1 FC	38:01:00	15:01



WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

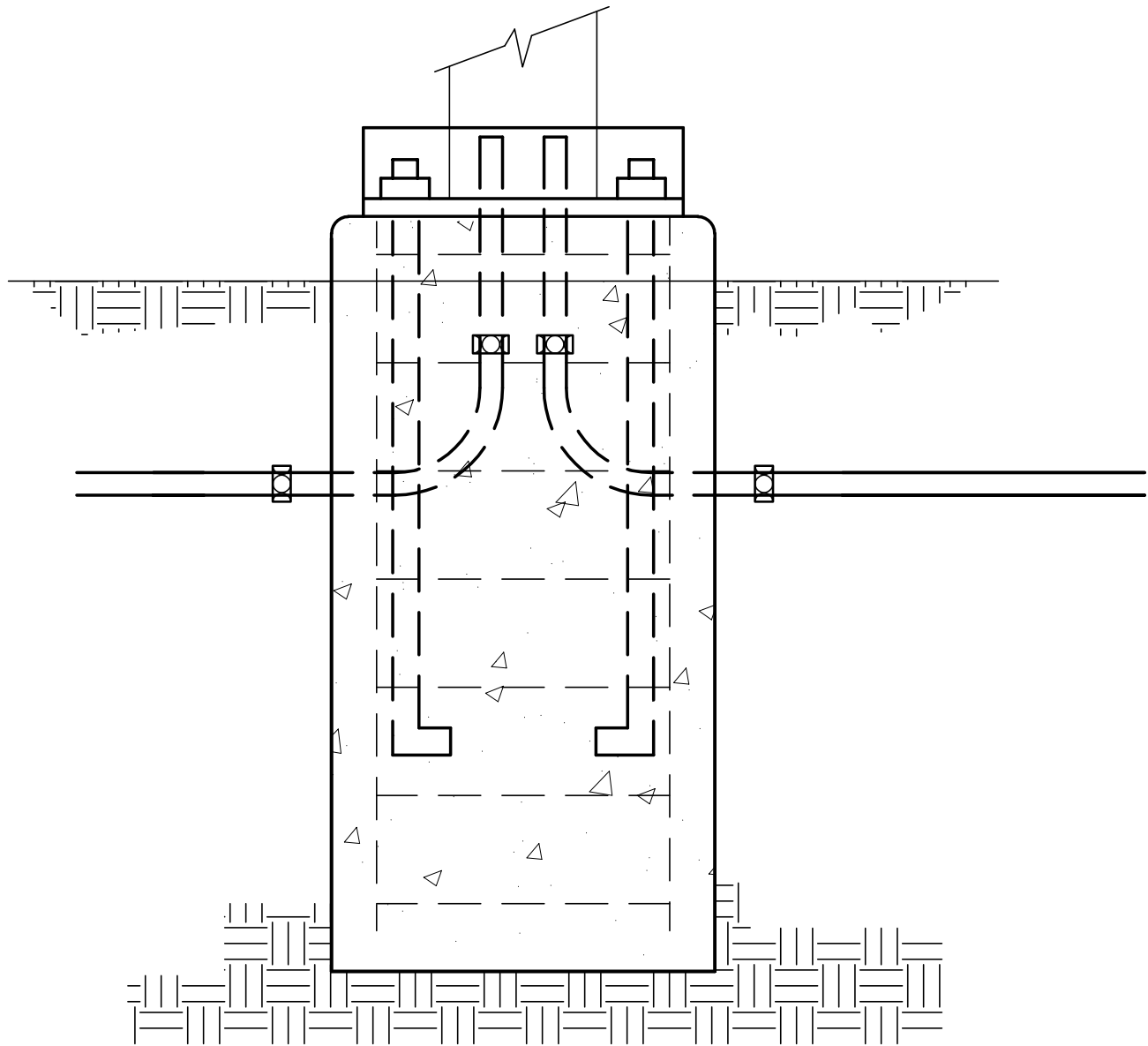
DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
SITE
PHOTOMETRICS

CHECKED BY: WHM
DRAWN BY: JV

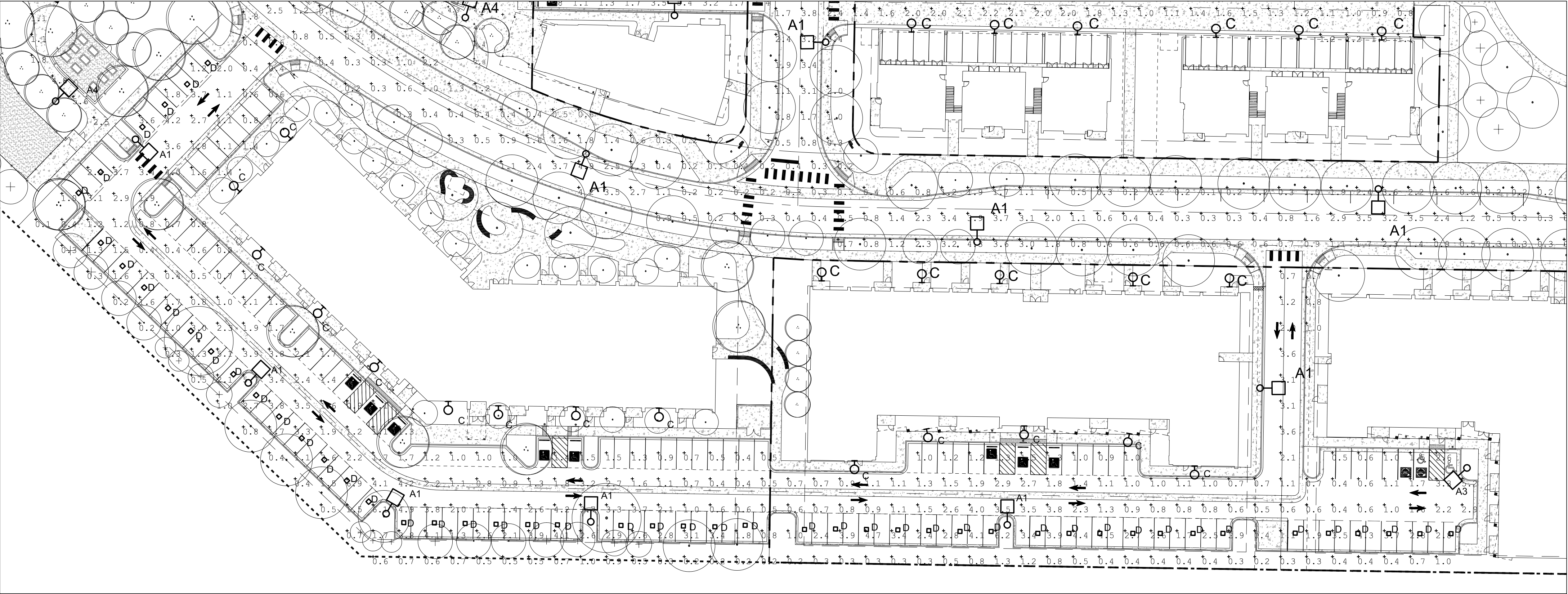
WILLOUGHBY CORNER
SITE PLAN - PHASE 1
LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

SITE LUMINAIRE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP DESCRIPTION	VOLTAGE	LOAD (VA)	FINISH	DESCRIPTION
A1	VISIONAIRE LIGHTING	ODEN SERIES (TYPE 2 DISTRIBUTION)	LED, 3000K	MVOLT	177 WATTS	BLACK	SPUN ALUMINUM AREA/ROADWAY LUMINAIRE WITH YOLK MOUNT ARM, 20000 LUMEN LED, TYPE 2 DISTRIBUTION
A2	VISIONAIRE LIGHTING	ODEN SERIES (TYPE 3 DISTRIBUTION)	LED, 3000K	MVOLT	140 WATTS	BLACK	SPUN ALUMINUM AREA/ROADWAY LUMINAIRE WITH YOLK MOUNT ARM, 16700 LUMEN LED, TYPE 3 DISTRIBUTION
A3	VISIONAIRE LIGHTING	ODEN SERIES (TYPE 4 DISTRIBUTION)	LED, 3000K	MVOLT	177 WATTS	BLACK	SPUN ALUMINUM AREA/ROADWAY LUMINAIRE WITH YOLK MOUNT ARM, 20000 LUMEN LED, TYPE 4 DISTRIBUTION
A4	VISIONAIRE LIGHTING	ODEN SERIES (TYPE 5W DISTRIBUTION)	LED, 3000K	MVOLT	177 WATTS	BLACK	SPUN ALUMINUM AREA/ROADWAY LUMINAIRE WITH YOLK MOUNT ARM, 20000 LUMEN LED, TYPE 4 DISTRIBUTION
B1	VISIONAIRE LIGHTING	RLX-1 SERIES (TYPE 4A DISTRIBUTION)	LED, 3000K	MVOLT	140 WATTS	BLACK	DIE CAST ALUMINUM LED COBRA HEAD LUMINAIRE WITH TYPE 4A DISTRIBUTION, 16700 LUMEN LED
B2	VISIONAIRE LIGHTING	RLX-1 SERIES (TYPE 5W DISTRIBUTION)	LED, 3000K	MVOLT	177 WATTS	BLACK	DIE CAST ALUMINUM LED COBRA HEAD LUMINAIRE WITH TYPE 5W DISTRIBUTION, 20000 LUMEN LED
C	MCGRAW EDISON	IMPACT ELITE LED SERIES	LED, 3000K	MVOLT	20 WATTS	BLACK	LED WALL PACK WITH BLACK FINISH, TRAPAZOIDAL PROFILE, TYPE 3 DISTRIBUTION, 2500 LUMEN LED
D	FAILE-SAFE	HVL8 LED SERIES (ALTERNATE PLAN ONLY)	LED, 3000K	MVOLT	5.8 WATTS	WHITE	12"X8" VANDAL RESISTANT LED CANOPY LUMINAIRE WITH OPAL POLYCARBONATE LENS, HEAVY DUTY EXTRUDED ALUMINUM HOUSING
NOTES: A. PROVIDE ALL HOLLOW POLES WITH VIBRATION DAMPERS BY THE FACTORY.							



1 POLE BASE DETAIL
SCALE: NOT TO SCALE

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN
120th St./Enma	+	1.02 FC	6.6 FC	0.0 FC	NA
Canterbury Ave	+	1.03 FC	4.9 FC	0.1 FC	49:1
Large Park	+	2.00 FC	5.3 FC	0.0 FC	NA
Small Park	+	1.66 FC	6.9 FC	0.1 FC	69:1
Small Park	+	2.00 FC	5.8 FC	0.2 FC	29:1
Small Park	+	1.98 FC	5.4 FC	0.5 FC	11:1
Willoughby Drive	+	1.53 FC	3.8 FC	0.2 FC	19:1



2 WILLOUGHBY CORNER PHOTOMETRICS (CAR PORT/CANOPY ALTERNATE)
SCALE: 1" = 40'

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

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303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
SITE PHOTOMETRICS
(CANOPY
ALTERNATE)



WILLOUGHBY CORNER SITE PLAN - PHASE 1

LOTS 160, 161, 164, 165, 166 & 167, & OUTLOTS F, I, J & K OF THE WILLOUGHBY CORNER SUBDIVISION,
CITY OF LAFAYETTE, COUNTY OF BOULDER, STATE OF COLORADO

ODEN ROADWAY LED Specifications



Project Name:

Catalog Number:

Type:

With six interchangeable caps and spun shade styles, the Oden - LED Roadway offers architects, designers and engineers endless possibilities for a custom fixture to fit their unique application.

The Oden - LED Roadway Array's high-quality, durable construction makes it an ideal fixture for any application.

Ordering Information

MODEL	OPTICS	LEDs	CURRENT		KELVIN	VOLTAGE	MOUNTING	FINISH	CAP/SHADE	OPTIONS
ODN-1-L	T1 Type 1	16LC	3	350mA	3K 3000K	UNV *120-277V	MAP-01 Must Arm Filter Designed to slip over 2-3/8" O.D. of arm	BZ Bronze	C1	PC-120 Built-In Photo Receptacle
	T2 Type 2	32LC	5	530mA	4K 4000K	8 347V		BK Black	C2	PC-208 Built-In Photo Receptacle
	T3 Type 3	48LC	7	700mA	5K 5000K	10 480V	MAP-02 Must Arm Filter Designed to slip over 2-3/8" O.D. of arm	SBK Smooth Black	C3	PC-277 Built-In Photo Receptacle
ODN-2-L	T4 Type 4	48LC	7	700mA	5K 5000K	10 480V	Includes protection only for front back of arm	WH White	C4	PC-208 Built-In Photo Receptacle
	T5 Type 5	80LC	7	700mA	5K 5000K	10 480V	Receptacle and shorting cap. to be ordered separately under options.	SWH Smooth White	C5	PC-277 Built-In Photo Receptacle
	T5W Type 5 Wide	96LC	7	700mA	5K 5000K	10 480V		SWH Smooth White	C6	PC-277 Built-In Photo Receptacle
ODN-3-L		96LC	7	700mA	5K 5000K	10 480V	YM Yellow Mount Slips over 3/20 temp. x 4" tall	GR Graphite	H1	SPINNER 3/4" x 1/2" x 1/2" 5/8" x 1/2" x 1/2"
		128LC	7	700mA	5K 5000K	10 480V	with special threaded mounting plate.	GL Grey	H2	7DPINPER 7/16" x 1/2" x 1/2" 7/16" x 1/2" x 1/2"
								SL Silver	H3	WSC-8 4" Mounting Height 4" x 1/2" x 1/2"
							AM Arm Mount Size 1	GY Grey	H4	WSC-20 4" x 1/2" x 1/2"
							AM Arm Mount Size 2	SL Silver	H5	WSC-4 4" x 1/2" x 1/2"
							AML Arm Mount Large Size 2 & 3	CC Custom Color	H6	WSC-16 4" x 1/2" x 1/2"
							Size decorative arm walk mount options.			DIM 0-10V, 0-10V Dim Universal Push Dim
										WVC Universal Push Dim
										IR-R Built-In IR Receptor
										IR-G Built-In IR Receptor
										IR-B Built-In IR Receptor
										CLS Louver Shade

RLX-1 LED Specifications



Project Name:

Catalog Number:

Type:

The RLX-1 series improves on the classic "Cobrahead" luminaire design by introducing the next generation of LED green technology with energy savings of up to fifty percent over traditional light sources, and LED lamp life well beyond 10 years of operations. The RLX-1 housing and door are die cast aluminum with integral heat sink, making the entire housing part of the thermal management solution for long life of the LEDs and driver(s).

The fixture is easily and securely mounted with four bolt mounting to 1 1/4" to 2 3/8" diameter mast arms and supplied with a terminal block for easy power connection and a universal bubble level for ease of leveling.

A 10 kV surge protector is supplied as standard. Maintenance, when required, is tool-less; with stainless steel pinch latches; accessing a removable power tray door holding the LED driver, LEDs and driver compartment are both IP65 rated.

Choose from 32 to 80 LEDs with multiple drive currents of 350, 530, 700, 1000 mA; 3000, 4000 or 5000 Kelvin, and seven (7) optical distribution patterns for complete design flexibility for street and roadway lighting. Consider the RLX-1 series, the new standard for roadway and street lighting, bringing LED technology with long life and low maintenance to your world.

Ordering Information

MODEL	OPTICS										LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
RLX-1	T1 Type 1	32LC	3	350mA	3K	3000K	UNV	MAF	BZ	PCR-120	ROT-R							
	T2 Type 2	48LC	5	530mA	4K	4000K	8	347V	BK	Photo Receptacle	Right Side							
	T3 Type 3	80LC	7	700mA	5K	5000K	5	480V	SBK	PCR-208	ROT-L							
	T4 Type 4		10	1050mA					Smooth Black	Photo Receptacle	Left Side							
	T4A Type 4A								WH	PCR-240	CLS							
	T5 Type 5								White	Photo Receptacle	Back Gate Cut-off Louvers							
	T5W Type 5 Wide								SWH	PCR-277	DIM							
									Smooth White	Photo Receptacle	0-10V Dimming Driver							
									GP	PCR-347	VWC							
									Graphite	Photo Receptacle	Voltage Wireless Controls Consult Factory							
									GY	PCR-480	UWL							
									Grey	Photo Receptacle	Utility Wattage Label							
									SL	PER								
									Silver	3 Pin Photo Receptacle w/shorting cap								
									Metallic	SPINPER								
										5 Pin Photo Receptacle w/shorting cap								
									CC	7 Pin Photo Receptacle w/shorting cap								
									Custom Color	Requires Dimming Driver								
										7PINPER								
										7 Pin Photo Receptacle w/shorting cap Requires Dimming Driver								

VISIONAIRE LIGHTING

384

1 TYPE A1/A2/A3/A4
SCALE: NONE

VISIONAIRE LIGHTING

408

2 TYPE B1/B2
SCALE: NONE

VISIONAIRE LIGHTING

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November 30, 2021 10:39 AM

3 TYPE C
SCALE: NONE

VISIONAIRE LIGHTING

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October 18, 2021 10:04 AM

4 TYPE D
SCALE: NONE

WILLOUGHBY CORNER
SITE PLAN- PHASE 1
LAFAYETTE, COLORADO

OWNER:
BOULDER COUNTY HOUSING
AUTHORITY
3400 BROADWAY
BOULDER, CO - 80304
303.441.3861
CONTACT: MOLLY CHIANG

DATE:
06.17.22 - SITE PLAN 01

SHEET TITLE:
PHOTOMETRIC
DETAILS

