



**Boulder County Purchasing**  
**1325 Pearl Street**  
**Boulder, CO 80302**  
[purchasing@bouldercounty.gov](mailto:purchasing@bouldercounty.gov)

**INVITATION TO BID**  
**COVER PAGE**

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BID Number:	<b>7509-23</b>
BID Title:	<b>Regal &amp; Geneseo Apartments Balcony/Exterior Stair and Siding Repairs</b>
BID Questions Due:	September 8, 2023 – 2:00 p.m.
Submittal Due Date:	September 14, 2023 – 2:00 p.m.
Email Address:	<a href="mailto:purchasing@bouldercounty.gov">purchasing@bouldercounty.gov</a>
Documents included in this package:	Bid Instructions Terms and Conditions Specifications Insurance and W-9 Requirements Submittal Checklist Bid Tab Section Signature Page Sample Contract Exhibit A: Regal & Geneseo Apartments Plans



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## **INSTRUCTIONS**

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### **1. Purpose/Background**

Boulder County Housing Authority (BCHA) currently operates over 908 residential units at 61 properties. Locations are spread throughout Lafayette, Louisville, Gunbarrel, Niwot, Longmont, Lyons, Boulder, and Nederland.

BCHA is currently seeking contractors to perform exterior work at two separate BCHA properties. Exterior work will include siding, trim and WRB, intake exhaust, windows, sliding glass doors, decking repairs, balcony and patio repairs, stair, and landing repairs. Engineered drawings have been provided.

Specifications and a sample contract are attached.

### **2. Written Inquiries**

All inquiries regarding this BID will be submitted via email to the Boulder County Purchasing Office at [purchasing@bouldercounty.gov](mailto:purchasing@bouldercounty.gov) on or before 2:00 p.m. **September 8, 2023**. A response from the county to all inquiries will be posted and sent via email no later than **September 11, 2023**.

**Do not contact any other county department or personnel with questions or for information regarding this solicitation.**

### **3. Submittal Instructions**

BIDs are due at the email box only, listed below, for time and date recording on or before **2:00 p.m. Mountain Time on September 14, 2023**. A bid opening will be conducted at 3:00 p.m. via Microsoft Teams. Please click on the link below or use the call-in number. A copy of

the bid tab will also be sent to all who have submitted a Bid. **Vendors must answer whether line-item pricing information submitted with a bid is confidential or closely held.**

## Microsoft Teams meeting

**Join on your computer, mobile app or room device**

[Click here to join the meeting](#)

Meeting ID: 252 927 042 383

Passcode: V7XJek

[Download Teams](#) | [Join on the web](#)

**Or call in (audio only)**

[+1 720-400-7859,,535139211#](#) United States, Denver

Phone Conference ID: 535 139 211#

**Please note that email responses to this solicitation are limited to a maximum of 50MB capacity.**

**NO ZIP FILES OR LINKS TO EXTERNAL SITES WILL BE ACCEPTED. THIS INCLUDES GOOGLE DOCS AND SIMILAR SITES. ALL SUBMITTALS MUST BE RECEIVED AS AN ATTACHMENT (E.G. PDF, WORD, EXCEL).**

**Electronic Submittals must be received in the email box listed below. Submittals sent to any other box will NOT be forwarded or accepted. This email box is only accessed on the due date of your questions or proposals. Please use the Delivery Receipt option to verify receipt of your email. It is the sole responsibility of the proposer to ensure their documents are received before the deadline specified above. Boulder County does not accept responsibility under any circumstance for delayed or failed email or mailed submittals.**

**Email**     [purchasing@bouldercounty.gov](mailto:purchasing@bouldercounty.gov); identified as **BID # 7509-23** in the subject line.

All BIDs must be received and time and date recorded by authorized county staff by the above due date and time. Sole responsibility rests with the bidder to see that their BID response is received on time at the stated location(s). Any BIDs received after due date and time will be returned to the bidder.

The Board of County Commissioners reserves the right to reject any and all BIDs, to waive any informalities or irregularities therein, and to accept the proposal that, in the opinion of the Board, is in the best interest of the Board and of the County of Boulder, State of Colorado.

Contractors and their employees, subcontractors, and agents must comply with all federal, state, and local laws, regulations, ordinances, orders, and codes, as well as Boulder County policies, guidelines, and protocols.

**Americans with Disabilities Act (ADA)**: Americans with Disabilities Act: If you need special services provided for under the Americans with Disabilities Act (ADA), please contact the Boulder County ADA Coordinator or Human Resources office at (303) 441-3525 as soon as possible to allow sufficient time for service delivery ahead of applicable due dates.



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## **TERMS AND CONDITIONS**

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1. Bidders are expected to examine the drawing, specifications, schedule of delivery, and all instructions. Failure to do so will be at the bidder's risk.
  2. Each bidder will furnish the information required in the Invitation to Bid.
  3. The Contract/Purchase Order will be awarded to that responsible bidder whose submittal, conforming to the Invitation to Bid, will be most advantageous to the County of Boulder, based on best value not only price.
  4. The County of Boulder reserves the right to reject any or all bids and to waive informalities and minor irregularities in bids received, and to accept any portion of or all items proposed if deemed in the best interest of the County of Boulder to do so.
  5. No submittal will be withdrawn for a period of thirty (30) days subsequent to the opening of bids without the consent of the County Purchasing Agent or delegated representative.
  6. A signed purchase order or contract furnished to the successful bidder results in a binding contract without further action by either party.
  7. Late or unsigned bids will not be accepted or considered. It is the responsibility of bidders to ensure that the bid arrives at the Purchasing email address prior to the time indicated in the "Invitation to Bid."
  8. The proposed price will be exclusive of any Federal or State taxes from which the County of Boulder is exempt by law.
  9. Any interpretation, correction or change of the bid documents will be made by Addendum. Interpretations, corrections and changes of the bid documents made in any other manner will not be binding, and bidder will not rely upon such interpretations, corrections and changes. The County's Representative will not be responsible for oral clarification.

10. Confidential/Proprietary Information: Bids submitted in response to this “Invitation to Bid” and any resulting contract are subject to the provisions of the Colorado Open Records Act, 24-72-201 et seq., C.R.S., as amended. Any restrictions on the use or inspection of material contained within the bid or resulting contract should be clearly stated in the bid and contract itself. Confidential/proprietary information should be readily identified, marked and/or separated from the rest of the bid. Co-mingling of confidential/proprietary and other information is NOT acceptable. Vendors must answer whether line-item pricing information submitted with a bid is confidential or closely held. Bids that do not identify confidential/proprietary information may be released in their entirety. Pricing totals contained in a bid are not considered confidential.

**The Boulder County Attorney’s Office retains sole authority for determining whether the Colorado Open Records Act requires or permits Boulder County to disclose proposal or bid documents, or any information contained therein, pursuant to an open records request.**

11. Boulder County promotes the purchase/leasing of energy efficient materials and products with low toxicity levels when availability, quality and budget constraints allow. Proposers are expected whenever possible to provide products that earn the ENERGY STAR and meet the ENERGY STAR specifications for energy efficiency with power management features enabled. Proposers are encouraged to offer products and equipment with post-consumer recycled-content materials. Products should be packaged and delivered with a minimum amount of recycled packaging that adequately protects the product but is not excessive.
12. Pursuant to Colorado law (House Bill 1292), in any bidding process for public works in which a bid is received from a non-resident bidder who is from a state that provides a percentage bidding preference, a comparable percentage disadvantage will be applied to the bid of that bidder. Bidders may obtain additional information from the Department of Personnel’s website: <http://www.colorado.gov/dpa/>.
13. Bid Security: Boulder County may require, at its discretion, bid security for construction contracts when the price is expected to exceed \$50,000 and for any other contracts as determined by Boulder County to be in its best interest. Bid security provides assurance to Boulder County that the bidder will, upon award, fulfill its bonding and contracting obligations as required by the instructions to bidders. When bid security is required, as indicated in the instructions to bidders, the following terms apply:
  - Bid security must be for an amount equal to 5 percent of the amount bid, unless otherwise stipulated in the instructions to bidders.
  - Bid security must be in the form of a bond, issued by a surety company authorized to do business in Colorado, or a bank cashier’s check made payable to Boulder County.

- Bidders should scan and submit a copy of the bid security instrument with their bid submittal AND mail to Boulder County the actual bid security instrument, postmarked no later than the date of the bid deadline.
- Bidder noncompliance with bid security requirements requires that the bid be rejected as nonresponsive.
- The bid security is submitted as a guarantee that the bid will be maintained in full force and effect for a period of thirty (30) days after the opening of the bids. Accordingly, after bids are opened, they shall be irrevocable for a period of thirty (30) days.
- If a bidder is permitted to withdraw his bid before award, at Boulder County's sole discretion, no action shall be had against the bidder or the bid security.
- Following award, if a contractor fails to deliver the required performance and payment bonds or refuses to enter into a contract with Boulder County under the terms of its winning bid, the contractor's bid shall be rejected and its bid security will be enforced by Boulder County to the extent of actual damages.



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## **SPECIFICATIONS**

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**Selected contractor will provide the following scope of services:**

### **Regal Exterior Scope of work:**

#### **Balcony/Patio Repairs**

Replacement of existing handrails and guardrails. Refer to Engineer Drawings for specifics.

#### **Installation of soffit Vents**

Use under soffit eave vents to provide the minimum required sizes. Ensure that the net free ventilation area of the soffits is equal to or greater than that of the ridge vents. Refer To Engineer Drawings for Specifics.

#### **Exterior Stair/Landing Repairs**

Repairs to existing exterior stairs and landings as shown in the project documents, to include: Replacement of existing handrails and guardrails. Installation of supplemental base connections where specified. Cleaning and coating or replacement of tread support angles where specified. Replacement of deteriorated treads where specified. Refer To Engineer Drawings for Specifics.

#### **Siding, Trim, and WRB Replacement**

Remove and replace existing siding/trim where indicated, including underlying weather resistive barrier and flashings. Removal, salvaging, and re installation of downspouts is considered incidental to this work. Painting of the replacement siding, as well as the exposed portions of the existing fascia and the existing soffits is considered incidental to this work. Replacement wall sheathing, per 4-foot by 8-foot sheet of plywood, thickness to match existing. For bidding purposes, assume nominally 1/2" thick, exterior grade-oriented strand board (OSB). Refer To Engineer Drawings for Specifics.



**Window Replacement**

Replacement of the windows at the Regal property in their entirety, to be performed concurrently with the siding and trim replacement. This shall include flashing of the window openings and windows per the project details. Refer To Engineer Drawings for Specifics.

**Sliding Glass Door Replacement**

Replacement of the sliding glass doors at the Regal property in their entirety, to be performed concurrently with the siding and trim replacement. This shall include flashing of the door openings and doors per the project details. Refer To Engineer Drawings for Specifics.

**Geneseo Exterior Scope of work:**

All balconies except the east balcony at 505 West Geneseo Street:

Removal of existing composite decking at balconies.

Cleaning of existing framing, to include removal of deteriorated wood at the top of the framing. Repainting of the wood framing components.

Installation of replacement decking.

East Balcony at 505 West Geneseo Street:

Demolition of existing railing and associated mansard roofing.

Removal of existing composite decking at balconies.

Cleaning of existing framing, to include removal of deteriorated wood at the top of the framing.

Repainting of the wood framing components.

Installation of replacement decking.

Construction of a new railing and mansard-type roofing at exterior.

Refer To Engineer Drawings for Specifics.



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## **INSURANCE AND W-9 REQUIREMENTS**

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**Insurance:** Prior to commencing the Work, Contractor will provide a Certificate of Insurance to the County demonstrating adequate insurance coverage as required by this Exhibit A. All policies evidencing coverage required by the Contract will be issued by insurance companies satisfactory to the County. Contractor will forward Certificates of Insurance directly to the County Contact Name and Email listed in the Summary.

- A) Boulder County Housing Authority and Boulder County as Additional Insured: Boulder County Housing Authority and Boulder County shall be named as an additional insured for General Liability and Umbrella/Excess Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

**THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS:** *Housing Authority of the County of Boulder, Colorado, a public body, corporate and politic; County of Boulder, State of Colorado, a body corporate and politic; Aspinwall, LLC, a Colorado limited liability company; Josephine Commons, LLC, a Colorado limited liability company; MFPH Acquisitions, LLC, a Colorado limited liability company; Kestrel I, LLC, a Colorado limited liability company, and Tungsten Village, LLC, a Colorado limited liability company, Coffman Place, LLC, a Colorado limited liability company are named as Additional Insured.*

*\*Include those properties that are relevant to the contract. If it is possible that the contractor will do work at all sites, include all.*

- B) Notice of Cancellation: Each insurance policy required by this Contract shall provide the required coverage and shall not be suspended, voided or canceled except after thirty (30) days' prior written notice has been given to the County except when cancellation is for non-payment of premium, then ten (10) days' prior notice may be given. If any insurance company refuses to provide the required notice, Contractor or its insurance broker shall notify the County any cancellation, suspension, or nonrenewal of any insurance policy within seven (7) days of receipt of insurers' notification to that effect.

- C) Insurance Obligations of County: County is not required to maintain or procure any insurance coverage beyond the coverage maintained by the County in its standard course of business. Any insurance obligations placed on the County in any of the Contract Documents shall be null and void.
- D) Deductible: Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of Contractor.
- E) Primacy of Coverage: Coverage required of Contractor and its subcontractors, if any, shall be primary over any insurance or self-insurance program carried by the County.
- F) Subrogation Waiver: All insurance policies in any way related to this Contract secured or maintained by Contractor as required herein shall include clauses stating that each carrier shall waive all rights of recovery, under subrogation or otherwise, against County, its organizations, officers, agents, employees, and volunteers.
- G) Requirements: For the entire duration of this Contract including any extended or renewed terms, and longer as may be required by this Contract, Contractor shall procure and maintain at its own expense, and without cost to the County, the following kinds and minimum amounts of insurance to insure the liability risks that Contractor has assumed under this Contract:

- i. **Commercial General Liability**

This coverage should be provided on an Occurrence Form, ISO CG001 or equivalent, with Minimum limits of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products Completed Operations Aggregate.

- ii. **Automobile Liability**

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

- iii. **Workers' Compensation and Employer's Liability**

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

- iv. **Umbrella / Excess Insurance**

Umbrella/Excess Liability insurance in the amount \$1,000,000.00, following form.

**\*In regards to General Liability and Pollution Liability:**

**If any or all of these coverages are required above, additional insured status will be required at the time a contract is executed.**

**Note that the above insurance amounts are the minimum required for this project. Proof of current insurance must be provided with your proposal in the form of a sample certificate. You are NOT required to include additional insured status until the time a contract is executed.**

**If you require a waiver of insurance requirements you may request one in your response with an explanation.**

### **W-9 REQUIREMENT**

**Provide a copy of your business's W-9 with your proposal.**



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**SUBMITTAL SECTION**

The bidder’s attention is especially called to the items listed below, which must be submitted in full as part of the BID. Failure to submit any of the documents listed below as a part of your BID, or failure to acknowledge any addendum in writing with your BID, or submitting a bid on any condition, limitation or provision not officially invited in this Invitation to Bid (BID) may be cause for rejection of the BID.

**THIS CHECKLIST MUST BE SUBMITTED AS PART OF YOUR BID PACKAGE:** Bidder will check each box indicating compliance:

INCLUDED	ITEM
	Name and Address of the Partners and Subcontractors if applicable
	A detailed project schedule
	State your compliance with the Terms and Conditions in the Sample Contract contained in this BID. Specifically list any deviations and provide justification for each deviation.
	Submit three references for similar projects your company has completed within the last three years and contact information. Boulder County will review all contractor evaluation forms from previous County projects.
	Insurance Certificate
	W-9
	Signature Page
	Addendum Acknowledgement(s)
	Project Pricing complete bid tab below

**THIS QUESTION MUST BE ANSWERED AS PART OF YOUR BID PACKAGE:** Bidder will answer Yes or No indicating compliance:

<b>YES OR NO</b>	<b>ITEM</b>
	Do you customarily keep line-item pricing information, such as the information being submitted with this proposal, confidential or closely held?



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**BID TAB**

<b>Item Number</b>	<b><u>Regal Exterior Item Description</u></b>	<b>Cost</b>
	*See detailed engineered plans	
1.	<b>Mobilization</b> Gen. Conditions, Permits, OH&P, & Fees	\$ _____
2.	<b>Balcony/Patio Repairs</b>	\$ _____
3.	<b>Installation of soffit Vents</b>	\$ _____
4.	<b>Exterior Stair/Landing Repairs</b>	\$ _____
5.	<b>Siding, Trim, and WRB Replacement</b>	\$ _____
6.	<b>Window Replacement</b>	\$ _____
7.	<b>Sliding Glass Door Replacement</b>	\$ _____

<b>Item Number</b>	<b><u>Geneseo Exterior Item Description</u></b>	<b>Cost</b>
	*See detailed engineered plans	
1.	<b>Mobilization</b> Gen. Conditions, Permits, OH&P, & Fees	\$ _____
2.	<b>Geneseo Balcony Repairs</b>	\$ _____

## Boulder County Housing Authority SAMPLE CONTRACT

DETAILS SUMMARY	
Oracle Contract Number	
<b>Boulder County Housing Authority Contact Information</b>	
Department	Boulder County Housing Authority (BCHA)
Mailing Address	P.O. Box 471, Boulder, CO 80306
Contract Contact	[Project Manager Name and Title] [Project Manager Email] <a href="mailto:HHScontracts@bouldercounty.org">HHScontracts@bouldercounty.org</a>
Invoice Contact	Todd Rewoldt <a href="mailto:bchainvoices@bouldercounty.org">bchainvoices@bouldercounty.org</a>
<b>Contractor Contact Information</b>	
Contractor Name	[Contractor Name]
Address	[Contractor Mailing Address]
Contact	[Contractor Signatory Name and Title]
Contact Email	[Contractor Signatory Email]
Secondary Contact	[Secondary Contractor Contact, if applicable]
<b>Contract Term</b>	
Start Date	[Start Date]
Expiration Date	[End Date]
Final End Date	[End Date plus 4 years]
<b>Contract Amount</b>	
Contract Amount	[Contract Amount] Choose an item.
<b>Brief Description of Work</b>	
[Brief Description of Work - write out abbreviations]	
[Remove the note below if this is NOT a continuing services contract.]Note: For Continuing Services Contracts, work shall be assigned on a project-by-project basis according to the terms of this Contract. The Contract Amount is a not-to-exceed amount for the Contract Term. The cost of services shall be established on a project-by-project basis consistent with the terms of this Contract.	
<b>Contract Documents</b>	
a. Formal Procurement (RFP/Bid/SOQ) No. [XXXX-XX] (the "Bid Documents") [remove if not applicable]	
b. Contractor's proposal in response to the Bid Documents (the "Proposal") [remove if not applicable]	
c. Project Details, including project-specific terms and a Scope of Work, attached as Exhibit A (the "Scope of Work") [remove if not applicable]	
d. Fee Schedule, attached as Exhibit B (the "Fee Schedule") [remove if not applicable]	
e. [add any additional documents]	
<b>AUTHORITY INTERNAL USE ONLY</b>	
<b>Purchasing Details</b>	
Bid Number	[XXXX-XX]
BOCC Bid Award Date	[Date formal bid was approved by BOCC]
Bid Process Used	Choose an item.
Purchasing Notes	[Document quotes obtained. Provide justification if lowest-priced vendor was not selected.]
COVID-19	No
<b>Contract Notes</b> (Additional information not included above)	



THIS CONTRACT ("Contract") is entered into by and between the Housing Authority of the County of Boulder, Colorado, a public body, corporate and politic ("Boulder County Housing Authority" or "Authority") and [Contractor Name] ("Contractor"). Authority and Contractor are each a "Party," and collectively the "Parties."

In consideration of the mutual covenants contained in this Contract, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

1. Incorporation into Contract: The **Details Summary** is incorporated into this Contract. The **Contract Documents** are incorporated into this Contract by reference, except to the extent that the Proposal, if any is incorporated, contains any obligations placed upon Authority and not otherwise contained in this Contract.

2. Work to be Performed: Contractor will provide all labor and equipment and do all tasks necessary and incidental to performing the work as described in the **Details Summary** and **Contract Documents** (the "Work"). Contractor will perform the Work (i) in a good and workmanlike manner, (ii) at its own cost and expense, (iii) in accordance with recognized industry standards of care, skill and diligence for the type of work being performed, and (iv) in strict accordance with the Contract. Authority and its representatives shall have access to the Work at all times.

a. Contractor shall supervise and direct the Work and shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

b. Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation, and other facilities and services necessary for the proper execution and completion of the Work. Contractor warrants that all materials incorporated into the Work will be new unless otherwise specified.

c. Contractor shall at all times enforce good order among its employees and shall not employ on the Work any unfit person or anyone not skilled in the task assigned to such person. Contractor shall initiate, maintain, and supervise all safety precautions and programs in connection with the Work to ensure safe conditions on the premises at all times. Contractor shall comply with all laws, regulations, ordinances, rules, and orders of any public authority bearing on the safety of persons and property. In the event that Authority notifies Contractor of any unsafe conditions or practices, Contractor shall immediately take all actions required to remediate them at no expense to Authority. Authority reserves the right to immediately suspend the Work in the event of imminent hazard, as determined by Authority.

d. At all times, Contractor shall keep the premises free from accumulation of waste materials or rubbish caused by Contractor's operations. Upon completion of the Work, Contractor shall remove all of its waste materials and rubbish from the premises, as well as its tools, construction equipment, machinery and surplus materials.

e. Contractor shall confine operations on the premises to areas permitted by law, ordinances, permits, this Contract, and as directed by Authority, including storage of any materials or equipment.

f. Any claim for an increase in the **Contract Amount** shall be made and generally described by Contractor in writing and delivered to Authority promptly, in no event later than thirty (30) days after the occurrence of the event giving rise to the claim. Notice of the amount of the claim with supporting data shall be delivered to Authority within sixty (60) days after such occurrence and shall be accompanied by Contractor's written statement that the amount claimed covers all known amounts to which Contractor is entitled as a result of the occurrence of said event. All claims for increase in the **Contract Amount** shall be determined by Authority if the Parties are unable to otherwise reach agreement on the claim.

g. Before ordering any materials or doing any Work, Contractor shall verify all measurements for the Work and shall be responsible for the correctness of same.

3. Term of Contract: The **Contract Term** begins on the **Start Date** and expires on the **Expiration Date**, unless terminated sooner. All the Work must be performed during the **Contract Term**.
4. Payment for Work Performed: In consideration of the Work performed by Contractor, and subject to conditions contained in this Contract, Authority will pay an amount not to exceed the **Contract Amount** to Contractor in accordance with the **Contract Documents**.
5. Invoicing: Contractor will promptly provide a copy of its Form W-9 and invoice template to Authority upon request. Contractor must submit an invoice to the Authority by the fifteenth (15th) day of the month for completion of any Work performed in the prior calendar month. All invoices submitted require the following components: Contractor's name and address (submitted W-9 address must match remit address), detailed description of services, dates of services, itemization of labor and materials costs, "Bill to: Boulder County Housing Authority" language, payment remittance address, payer, name and address, date of invoice, unique invoice number, and total amount due. Contractor must send all completed invoices to the **Invoice Contact** in the **Details Summary**. Authority may require delivery of invoices by email. Failure to submit invoices in a timely manner and in accordance with the terms of this Contract may cause a delay in payment. Authority may recoup any damages incurred because of Contractor's failure to submit invoices pursuant to the terms of this paragraph. Authority's acceptance or payment of an invoice will not constitute acceptance of any Work performed under this Contract.
6. Extra Time to Complete the Work (Additional Time only): If Contractor cannot complete the Work by the **Expiration Date**, Contractor may request extra time to complete the Work. Authority, in its sole discretion, may grant Contractor additional time to complete the Work by sending a written notice of extension to Contractor. An extension of time to complete the Work will not entitle Contractor to additional compensation from Authority.
7. Extension of Contract Term (Additional Time and Work): Upon mutual agreement of the Parties, this Contract may be extended until the **Final End Date**. During any extended **Contract Term**, the terms of this Contract will remain in full force and effect, unless otherwise amended in writing by the Parties. Where the Contractor will provide additional services for additional compensation beyond the initial **Contract Amount**, the Parties must execute a written amendment before the then-current **Expiration Date**. If necessary, the written amendment will incorporate an updated Scope of Work and updated Fee Schedule as exhibits. Contractor must provide a current Certificate of Insurance to the Authority that complies with the **Insurance Requirements** of this Contract, if any, prior to any extended **Contract Term**.
8. Schedule of Work: Authority may designate the hours (on a daily or weekly basis) during which Contractor may perform the Work, strictly for the purposes of minimizing inconvenience to the Authority and interference with Authority operations. Contractor will otherwise set its own work schedule. Contractor shall promptly notify Authority of any aspect of the Work that will not be delivered or accomplished according to the initial schedule.
9. Indemnity: Contractor will be liable for any damages to persons or property caused by or arising out of the actions, obligations, or omissions of Contractor, its employees, agents, representatives or other persons acting under Contractor's direction or control in performing or failing to perform the Work under this Contract. Contractor will indemnify and hold harmless Authority, Boulder County, its elected officials and appointed department heads, and its employees, agents and representatives (the "indemnified parties"), from any and all liability, claims, demands, actions, damages, losses, judgments, costs or expenses, including attorneys' fees, which may be made or brought or which may result against any of the indemnified parties as a result or on account of the actions or omissions of Contractor, its employees, agents or representatives, or other persons acting under Contractor's direction or control. This indemnification obligation will extend to claims based on Contractor's unauthorized use or disclosure of confidential information and intellectual property infringement. Authority and Boulder County will not be obligated to indemnify or defend Contractor under any circumstances. Contractor's obligations under this provision shall survive expiration or termination of this Contract. Nothing contained in this Contract or the **Contract Documents** is intended to limit or restrict the indemnification rights or obligations of any Party under this provision, or damages available for breaches of the obligations herein.

10. Nondiscrimination: Contractor will comply with the Colorado Anti-Discrimination Act, C.R.S. § 24-34-401, et seq., as amended, and all applicable local, State and Federal laws concerning discrimination and unfair employment practices. Authority prohibits unlawful discrimination on the basis of race, color, religion, gender, gender identity, national origin, age 40 and over, disability, socio-economic status, sexual orientation, genetic information, or any other status protected by applicable Federal, State or local law. Contractor must require that its subcontractors, if any, similarly comply with all applicable laws concerning discrimination and unfair employment practices.

11. Information and Reports: Contractor will provide to authorized Authority, Boulder County, State, and Federal government representatives all information and reports that may be required for any purpose authorized by law. Contractor will permit access to such representatives to Contractor's facilities, books, records, accounts, and any other relevant sources of information. Where information required by a representative is in the exclusive possession of a person or entity other than Contractor, Contractor must so certify to the Authority and explain what efforts it has made to obtain the information.

12. Independent Contractor: Contractor is an independent contractor for all purposes in performing the Work. None of Contractor, its agents, personnel or subcontractors are employees of the Authority for any purpose, including the Federal Insurance Contribution Act, the Social Security Act, the Federal Unemployment Tax Act, the provisions of the Internal Revenue Code, the Colorado Workers' Compensation Act, the Colorado Unemployment Insurance Act, and the Public Employees Retirement Association. Accordingly, Authority will not withhold or pay any income tax, payroll tax, or retirement contribution of any kind on behalf of Contractor or Contractor's employees. As an independent contractor, Contractor is responsible for employing and directing such personnel and agents as it requires to perform the Work. Contractor will exercise complete authority over its personnel and agents and will be fully responsible for their actions.

13. Termination

a. Breach: Either Party's failure to perform any of its material obligations under this Contract, in whole or in part or in a timely or satisfactory manner, will be a breach. The institution of proceedings under any bankruptcy, insolvency, reorganization or similar law, by or against Contractor, or the appointment of a receiver or similar officer for Contractor or any of its property, which is not vacated or fully stayed within thirty (30) days after the institution of such proceeding, will also constitute a breach. In the event of a breach, the non-breaching Party may provide written notice of the breach to the other Party. If the breaching Party does not cure the breach, at its sole expense, as reasonably determined by the non-breaching Party in its sole discretion, within thirty (30) days after delivery of notice, the non-breaching Party may exercise any of its remedies provided under this Contract or at law, including immediate termination of this Contract.

b. Non-Appropriation: The other provisions of this Contract notwithstanding, Authority is prohibited by law from making commitments beyond the current fiscal year. Payment to Contractor beyond the current fiscal year is contingent on the appropriation and continuing availability of funding in any subsequent year. Authority has reason to believe that sufficient funds will be available for the full **Contract Term**. Where, however, funds are not allocated for any fiscal period beyond the current fiscal year, Authority may terminate this Contract without penalty by providing seven (7) days' written notice to Contractor.

c. Convenience: In addition to any other right to terminate under this Section 13, Authority may terminate this Contract, in whole or in part, for any or no reason, upon seven (7) days' advance written notice to Contractor.

14. Contractor Obligations upon Termination or Expiration: By the **Expiration Date** or effective date of termination, if earlier, Contractor must (1) remove from Authority property all of its personnel, equipment, supplies, trash and any hazards created by Contractor, (2) protect any serviceable materials belonging to the Authority, and (3) take any other action necessary to leave a safe and healthful worksite. Any items remaining on Authority property after the Expiration Date or the effective date of termination, if earlier, will be deemed abandoned by Contractor.

15. Payable Costs in Event of Early Termination: If Authority terminates this Contract before the **Expiration Date**, Contractor's payments (and any damages associated with any lawsuit brought by Contractor) are limited to only (1) payment for Work satisfactorily executed and fully and finally completed, as determined by Authority in its sole discretion, prior to delivery of the notice to terminate, and (2) the reasonable and actual costs Contractor incurred in connection with performing the Work prior to delivery of the notice to terminate. Contractor explicitly waives all claims it may have against the Authority for any other compensation, such as anticipatory profits or any other consequential, special, incidental, punitive or indirect damages.

16. Remedies for Non-Performance: If Contractor fails to perform any of its obligations under this Contract, Authority may, at its sole discretion, exercise one or more of the following remedies (in addition to any other remedies provided by law or in this Contract), which shall survive expiration or termination of this Contract:

a. Suspend Performance: Authority may require that Contractor suspend performance of all or any portion of the Work pending necessary corrective action specified by the Authority and without entitling Contractor to an increase in compensation or extension of the performance schedule. Contractor must promptly stop performance and incurring costs upon delivery of a notice of suspension by the Authority.

b. Withhold Payment Pending Corrections: Authority may permit Contractor to correct any rejected Work at the Authority's discretion. Upon Authority's request, Contractor must correct rejected work at Contractor's sole expense within the time frame established by the Authority. Upon full and final completion of the corrections satisfactory to the Authority, Authority will remit payment to Contractor.

c. Deny Payment: Authority may deny payment for any Work that does not comply with the requirements of the Contract or that Contractor otherwise fails to provide or fully and finally complete, as determined by the Authority in its sole discretion. Upon Authority request, Contractor will promptly refund any amounts prepaid by the Authority with respect to such non-compliant Work.

d. Removal: Upon Authority's request, Contractor will remove any of its employees or agents from performance of the Work, if Authority, in its sole discretion, deems any such person to be incompetent, careless, unsuitable, or otherwise unacceptable.

17. Binding Arbitration Prohibited: Authority does not agree to binding arbitration by any extra-judicial body or person.

18. Conflicts of Interest: Contractor may not engage in any business or personal activities or practices or maintain any relationships that conflict in any way with the full performance of Contractor's obligations.

19. Notices: All notices provided under this Contract must be in writing and sent by Certified U.S. Mail (Return Receipt Requested), electronic mail, or hand-delivery to the other Party's **Contact** at the address specified in the **Details Summary**. For certified mailings, notice periods will begin to run on the day after the postmarked date of mailing. For electronic mail or hand-delivery, notice periods will begin to run on the date of delivery.

20. Statutory Requirements: This Contract is subject to all statutory requirements that are or may become applicable to counties or political subdivisions of the State of Colorado generally, including but not limited to: C.R.S. § 38-26-107, which requires withholding funds where the Authority receives a claim for payment from a supplier or subcontractor of Contractor upon notice of final settlement (required for public works contracts that exceed \$150,000); C.R.S. § 8-17-101 et seq.; C.R.S. § 18-8-301, et seq.; and C.R.S. § 18-8-401, et seq.

21. Public Contracts for Services (C.R.S. §§ 8-17.5-101, et seq.): *The phrase "unauthorized worker" as used in this provision shall have the same and intended meaning as "illegal alien" as such phrase is used in C.R.S. §§ 8-17.5-101, et seq.* Contractor hereby certifies, warrants, and agrees that it does not knowingly employ or contract with an unauthorized worker who will perform work under this Contract and further certifies that it will confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Contract by participating in the E-Verify Program established under Pub. L. 104-28 or the

department verification program established under C.R.S. § 8-17.5-102(5)(c). Contractor (i) shall not knowingly employ or contract with an unauthorized worker to perform work under this Contract; (ii) shall not enter into a contract with a subcontractor that fails to certify to the contractor that the subcontractor shall not knowingly employ or contract with an unauthorized worker to perform work under this Contract; (iii) has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this Contract through participation in the E-Verify program or department program; (iv) is prohibited from using either the E-Verify program or department program procedures to undertake preemployment screening of job applicants while this Contract is being performed; and (v) shall comply with any reasonable request by the department made in the course of an investigation that the Colorado Department of Labor and Employment is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5). If Contractor obtains actual knowledge that a subcontractor performing work under this Contract knowingly employs or contracts with an unauthorized worker, Contractor shall (a) notify the subcontractor and Authority within three (3) days that Contractor has actual knowledge that subcontractor is employing or contracting with an unauthorized worker; and (b) terminate the subcontract if, within three (3) days of receiving notice hereunder, subcontractor does not stop employing or contracting with the unauthorized worker; except that Contractor shall not terminate the contract with the subcontractor if during such three (3) days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an unauthorized worker. Contractor's violation of this provision will constitute a material breach of this Contract, entitling the Authority to terminate the contract for breach. If this Contract is so terminated, Contractor shall be liable for actual and consequential damages to the Authority.

22. Entire Agreement/Binding Effect/Amendments: This Contract represents the complete agreement between the Parties and is fully binding upon them and their successors, heirs, and assigns, if any. This Contract terminates any prior agreements, whether written or oral in whole or in part, between the Parties relating to the Work. This Contract may be amended only by a written agreement signed by both Parties.

23. Assignment/Subcontractors: This Contract may not be assigned or subcontracted by Contractor without the prior written consent of the Authority. If Contractor subcontracts any of its obligations under this Contract, Contractor will remain liable to the Authority for those obligations and will also be responsible for subcontractor's performance under, and compliance with, this Contract. Contractor shall not contract with a person or entity to whom Authority has made a reasonable objection.

24. Governing Law/Venue: The laws of the State of Colorado govern the construction, interpretation, performance, and enforcement of this Contract. Any claim relating to this Contract or breach thereof may only be brought exclusively in the Courts of the 20<sup>th</sup> Judicial District of the State of Colorado and the applicable Colorado Appellate Courts.

25. Breach: The failure of either Party to exercise any of its rights under this Contract will not be deemed to be a waiver of such rights or a waiver of any breach of the Contract. All remedies available to a Party in this Contract are cumulative and in addition to every other remedy provided by law.

26. Severability: If any provision of this Contract becomes inoperable for any reason but the fundamental terms and conditions continue to be legal and enforceable, then the remainder of the Contract will continue to be operative and binding on the Parties.

27. Third-Party Beneficiary: Enforcement of the terms and conditions and all rights and obligations of this Contract are reserved to the Parties. Any other person receiving services or benefits under this Contract is an incidental beneficiary only and has no rights under this Contract. Notwithstanding, where the beneficiary **Department** is led by an Elected Official, such Elected Official shall be considered a third-party beneficiary.

28. Colorado Open Records Act: Authority may disclose any records that are subject to public release under the Colorado Open Records Act, C.R.S. § 24-72-200.1, et seq.

29. Conflict of Provisions: If there is any conflict between the terms of the main body of this Contract and the terms of any of the **Contract Documents**, the terms of the main body of the Contract will control.

30. Governmental Immunity: Nothing in this Contract shall be construed in any way to be a waiver of the Authority's and Boulder County's immunity protection under the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, et seq., as amended.
31. Representations and Warranties: Contractor represents and warrants the following:
- a. Execution of this Contract and performance thereof is within Contractor's duly authorized powers;
  - b. The individual executing this Contract is authorized to do so by Contractor;
  - c. Contractor is authorized to do business in the State of Colorado and is properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over the Work and the Contractor; and
  - d. Contractor and its subcontractors, if any, are financially solvent, able to pay all debts as they mature, and have sufficient working capital to complete the Work and perform all obligations under the Contract.
32. Legal Compliance: Contractor assumes full responsibility for obtaining and maintaining any permits and licenses required to perform the Work. Contractor is solely responsible for insuring that its performance under this Contract and the Work itself will comply with all Federal, State, and local laws, regulations, ordinances and codes. Contractor shall promptly notify Authority if any drawings or specifications are at variance with any laws, regulations, ordinances, or codes. If Contractor performs any Work contrary to such laws, regulations, ordinances, or codes, Contractor shall bear all costs arising therefrom. Authority approval of the Work or any aspect of Contractor's performance, such as drawings, specifications, plans, designs, or other Contractor-drafted documents, shall not be interpreted to mean that Contractor has satisfied its obligations under this Section.
33. Litigation Reporting: Contractor is not currently involved in any action before a court or other administrative decision-making body that could affect Contractor's ability to perform the Work. Contractor will promptly notify the Authority if Contractor is served with a pleading or other document in connection with any such action.
34. Tax Exemption: Authority is exempt from payment of Federal, State, and local government taxes. Contractor shall collect no tax from the Authority, and the Authority shall not be liable to pay any taxes imposed on Contractor. Authority shall provide its tax exemption status information to Contractor upon request.
35. Delegation of Authority: The Parties acknowledge that the Board of County Commissioners has delegated authority to the Department Head or Elected Official that leads the beneficiary **Department** and their designees to act on behalf of the Authority under the terms of this Contract, including but not limited to the authority to terminate this Contract.
36. Ownership of Work Product: All work product, property, data, documentation, information or materials conceived, discovered, developed or created by Contractor pursuant to this Contract ("Work Product") will be owned exclusively by the Authority. To the extent possible, any Work Product will be deemed to be a work made for hire. Contractor unconditionally and irrevocably transfers and assigns to the Authority all right, title and interest in and to any Work Product.
37. Publicity Releases: Contractor will not refer to this Contract or the Authority in commercial advertising without prior written consent of the Authority. This provision shall survive expiration or termination of this Contract.
38. Execution by Counterparts; Electronic Signatures: This Contract may be executed in multiple counterparts, each of which will be deemed an original, but all of which will constitute one agreement. The Parties approve the use of electronic signatures, governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24 71.3 101 to 121. The Parties will not deny the legal effect or enforceability of this Contract solely because it is in electronic form or because an electronic record was used in its creation. The Parties will not object to the admissibility of this Contract in the form of electronic record, or paper copy of an electronic document, or

paper copy of a document bearing an electronic signature, because it is not in its original form or is not an original.

39. Limitation on Public Statements and Lobbying Activity. During the term of this Contract, Contractor may receive from the Authority its confidential data, work product, or other privileged or confidential information that is protected by law. To maintain the fact and appearance of absolute objectivity, Contractor shall not, without the prior written consent of the Authority, which shall not be unreasonably withheld, do any of the following: (a) disclose information obtained because of this contractual relationship to any third party; (b) lobby any State or Federal agency on any pending matter while this Contract is effective; or (c) make any public statements or appear at any time to give testimony at any public meeting on the subject matters regarding which Contractor is or was retained by the Authority. Authority may set reasonable conditions on any disclosure authorized by the Authority under this provision. Notwithstanding, Contractor may make disclosures as required by law, and to law enforcement officials in connection with any criminal justice investigation.

40. Sustainability: All construction, deconstruction, remodel, and office move projects are required to follow construction waste procedure modeled off of Boulder County BuildSmart Code, International Green Construction Code (IGCC), International Energy Conservation Code (IECC), and Leadership in Energy and Environmental Design (LEED) certification, as an effort to achieve maximum jobsite waste diversion, energy efficiency, and water conservation. All 'demolition projects' are to follow deconstruction procedures. Instead of demolition project materials being crushed and primarily sent to the landfill, these projects should be systematically dismantled, typically in the opposite order they were constructed, in order to maximize the salvage of materials. Any hazardous materials encountered should follow state and federal standards, and contractor shall leverage the Boulder County Hazardous Materials Management facility for hazardous materials. The development of a project diversion plan is encouraged to include material types and volume/weight estimations as well as planned destinations. Projects must track all jobsite waste.

41. Limitation of Liability: AUTHORITY AND BOULDER COUNTY SHALL NOT BE LIABLE TO CONTRACTOR FOR ANY SPECIAL, CONSEQUENTIAL, INCIDENTAL, PUNITIVE, OR INDIRECT DAMAGES ARISING FROM OR RELATING TO THIS CONTRACT, REGARDLESS OF ANY NOTICE OF THE POSSIBILITY OF SUCH DAMAGES. AUTHORITY'S AGGREGATE LIABILITY, IF ANY, ARISING FROM OR RELATED TO THIS CONTRACT, WHETHER IN CONTRACT, OR IN TORT, OR OTHERWISE, IS LIMITED TO, AND SHALL NOT EXCEED, THE AMOUNTS PAID OR PAYABLE HEREUNDER BY AUTHORITY TO CONTRACTOR. ANY CONTRACTUAL LANGUAGE LIMITING CONTRACTOR'S LIABILITY SHALL BE VOID.

42. Authority Opportunity to Review: Contractor shall provide Authority with the opportunity to review and approve or take other appropriate action upon the Contractor's submittals, such as Shop Drawings, Product Data, and Samples, but only for conformance with the design concept of the Work and with the information given in the Contract Documents.

43. Notice to Proceed: The Parties agree that time is of the essence and work will begin after a "Notice to Proceed" has been issued by the Authority and in accordance with the terms therein.

44. Retainage: Authority may retain partial payment pending completion and Authority acceptance of the Work as satisfactory and fully and finally complete. For contracts that exceed \$150,000, the retention rate shall not exceed five percent (5%). C.R.S. § 24-91-103. Contractor is responsible for submitting a final invoice for any retainage held by Authority. If It becomes necessary for Authority to take over completion of the Work, all of the amounts owing to Contractor, including the withheld percentage, shall be applied: First, towards completion of the Work; second, towards performance of the withholding requirement set forth in C.R.S. § 38-26-107; third, to the surety furnishing bonds for the Work, to the extent such surety has incurred liability or expense in competing the Work or made payments pursuant to C.R.S. § 38-26-106; then, to Contractor. Such retained percentage as may be due to Contractor shall be due and payable as provided by C.R.S. § 38-26-107.

45. Bonds: Upon Authority's request, Contractor shall obtain and deliver to Authority payment and performance bonds each equal to 100% of the total Contract. Bonds shall be executed by a qualified corporate surety and must be acceptable to Authority. Authority reserves the right to accept other acceptable forms of surety in lieu of a bond, and to reduce the bond requirements set forth herein consistent with C.R.S. § 38-26-106.

46. Change Orders: If unforeseen modifications or changes are required, Contractor may submit a Change Order request to Authority, which must include a complete description, timeline, and fee schedule for the proposed work. Change Orders are not effective until approved by Authority in writing.

47. No Suspension or Debarment: Contractor certifies, and warrants for the duration of this Contract, that neither it nor its principals nor any of its subcontractors are debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this Contract by any Federal or State department or agency. Contractor shall comply, and shall require its subcontractors to comply, with subpart C of 2 C.F.R. § 180.

48. Permits/Licenses/Code Compliance: Prior to starting the Work, Contractor will identify and obtain, and maintain during this Contract, all permits and licenses necessary to perform the Work. Contractor shall comply with all State and local codes. Contractor is responsible for locating all public utilities, as necessary. Contractor shall require its subcontractors to comply with this provision. HVAC, roofing, and general contractors must be licensed through Boulder County Land Use. Electricians and plumbers must be licensed through the State and registered with Boulder County Land Use Building Safety and Inspection Division. Architects, Professional Engineers and Professional Land Surveyors must be fully-licensed through the State. All required permits and licenses must be provided to Authority prior to Contractor beginning the Work.

49. Stormwater Quality Protection Requirements: Contractor will take all measures necessary to prevent pollutants from entering storm drains and watercourses. To eliminate stormwater pollution, Contractor shall implement effective Best Management Practices (BMPs). BMPs include general good housekeeping practices, appropriate scheduling of activities, operational practices, maintenance procedures and other measures to prevent the discharge of pollutants directly or indirectly to the storm drain system. These BMPs shall be maintained for the duration of this Contract. Contractor shall also be responsible for proper disposal of all waste materials, including wastes generated by the implementation of BMPs. Contractor shall otherwise comply with the Federal Clean Water Act, Colorado Water Quality Control Act, and Boulder County's local Clean Water Act, Illegal Discharge Ordinance (No. 2012-4). For work performed in urbanized areas, Contractor must comply with the requirements of MS4 permit (COR090000), which is available through the Colorado Department of Public Health and Environment.

50. Guaranties and Warranties: Upon completion of the Work, Contractor will provide Authority with a written guaranty covering all labor, materials and workmanship incorporated into the Work for one (1) year, or within any such longer period of time as may be prescribed by law, the specifications, or any other applicable special warranty required by the **Contract Documents**. Final payment upon full and final completion of the Work will not relieve Contractor of responsibility for faulty material or workmanship, which Authority may require Contractor to fix at Contractor's sole expense, in addition to Authority's other remedies. This provision shall apply to Work completed by Contractor's employees and subcontractors.

51. Final Payment: A final inspection of the Work shall be conducted by Authority. If a list of deficiencies results from such final inspection, Contractor shall promptly rectify all items appearing thereon before final payment will be made. When Authority indicates acceptance of the Work, Contractor may request final payment from Authority, including any retained amounts. Final payment shall be subject to C.R.S. § 38-26-107.

52. Notice of Final Settlement: Prior to remitting final payment to Contractor, Authority shall publish a Notice of Final Settlement in accordance with C.R.S. § 38-26-107. Final payment will be rendered in accordance with the statute and the other terms of this Contract. Final payment will not be rendered until Authority, in its sole discretion, determines full and final completion of the Work.



53. Geographic Information System (GIS) Data: Contractors agree that the following, specified data formats, shall be used and/or adhered to when submitting required data to the Authority:

a. All GIS data must be ArcGIS 10.x compatible. Shapefiles may be accepted with written, pre-approval, from the Authority.

b. All GIS data must have complete metadata, following Boulder County GIS Metadata Standards located at: <https://assets.bouldercounty.org/wpcontent/uploads/2018/03/metadata-standards-contractors.pdf>

c. All Computer Aided Design (CAD) files must have an assigned real world coordinate system to ensure compatible conversion into the County's GIS system, if necessary.

d. All spatial or georeferenced data will be provided to the Authority in the following coordinate system:

i. Name:

NAD 1983 HARN State Plane Colorado  
North FIPS 0501 Feet

ii. Unit:

Foot US

iii. Projection:

Lambert Conformal Conic

iv. Horizontal Datum:

North American Datum 1983 HARN

v. Vertical Datum:

North American Vertical Datum 1988

vi. Spheroid:

GRS 1980

e. Contractors are responsible for capturing section corners or quarter corners for specific projects to be added into the Public Land Survey System (PLSS) project for updating the section corners, Contractors shall provide high-accuracy PLSS monument coordinates for each corner section or quarter corner section monument used as control points or that occur within the project area ("putting it on the cap") as is reasonable, depending on the difficulty to access the point. All positions to be collected shall be required to use (at a minimum) the Real-Time Kinematic (RTK) method.

54. State Specifications: The Standard Specifications for Road and Bridge Construction 2017, either in whole or as set forth in the Bid Documents, are expressly incorporated into this Contract by reference.

55. Determination of Unit Prices: Authority will determine the actual quantities and classifications of Unit Price Work performed by Contractor. The Parties will review the Authority's preliminary determinations before Authority renders a written decision thereon (by recommendation of an Application for Payment or otherwise), which shall be final and binding upon Contractor. The value of any Unit Price Work covered by a Change Order or claim for an increase or decrease in the Contract Amount shall be determined by applying the unit prices to the quantities of items.

a. Where the Contract Documents provide that all or part of the Work is to be Unit Price Work, the Parties agree that the Contract Amount includes the total cost of Unit Price Work, determined by multiplying the quantity of each item by its unit price. Initial quantity determinations are estimates, which must be adjusted to reflect actual quantities. Contractor shall make a claim in writing to Authority for any additional amounts owed where actual quantities exceed estimated quantities. Contractor shall provide such written claim within twenty (20) days of providing the items and shall be accompanied by supporting documentation. The written claim shall include a statement that the claimed amount covers all known amounts (direct, indirect and consequential) to which Contractor is owed. Authority shall only pay Contractor for actual quantities of items provided hereunder.

b. The Parties agree that each unit price adequately covers Contractor's overhead and profit for each item.

56. Records Retention/Access/Audits: Contractor shall maintain all records and documents pertaining to this Contract in accordance with the requirements prescribed by Authority. Such records shall be maintained for a period of five (5) calendar years after the date of Contractor's final payment from Authority under this

Contract. Contractor agrees that Authority or their designated representative shall have the right to review and to copy any records and supporting documentation pertaining to the performance of this Contract as necessary and upon request, throughout the term of this Contract, and for five (5) calendar years after the date of the final payment hereunder. Contractor agrees to allow the auditor(s) access to such records during normal business hours and to allow interviews of any employees who might reasonably have information related to such records. Authority and Contractor acknowledge that protected information is exempt from this requirement without proper client release.

57. Legal Interpretation. Each Party recognizes that this Contract is legally binding and acknowledges that it has had the opportunity to consult with legal counsel of its choice about this Contract. The rule of construction providing that any ambiguities are resolved against the drafting Party will not apply in interpreting the terms of this Contract.

58. Insurance: Prior to commencing the Work, Contractor will provide a Certificate of Insurance to the Authority demonstrating adequate insurance coverage as required by this paragraph. All policies evidencing coverage required by the Contract will be issued by insurance companies satisfactory to the Authority. Contractor will forward Certificates of Insurance directly to the [HHScontracts@bouldercounty.gov](mailto:HHScontracts@bouldercounty.gov).

a. Boulder County Housing Authority as Additional Insured: Boulder County Housing Authority, Boulder County, the State of Colorado, Aspinwall LLC, Josephine Commons LLC, MFPH Acquisitions LLC, Kestrel I, LLC and Tungsten Village LLC shall be named as an additional insured for General Liability, Umbrella/Excess Liability, and Pollution Liability, as designated in this Contract. Additional insured shall be endorsed to the policy.

**THE ADDITIONAL INSURED WORDING SHOULD BE AS FOLLOWS:** *Housing Authority of the County of Boulder, Colorado, a public body, corporate and politic; County of Boulder, State of Colorado, a body corporate and politic; the State of Colorado; Aspinwall, LLC, a Colorado limited liability company; Josephine Commons, LLC, a Colorado limited liability company; MFPH Acquisitions, LLC, a Colorado limited liability company; Kestrel I, LLC, a Colorado limited liability company, and Tungsten Village, LLC, a Colorado limited liability company, are named as Additional Insured.*

b. Notice of Cancellation: Each insurance policy required by this Contract shall provide the required coverage and shall not be suspended, voided or canceled except after thirty (30) days' prior written notice has been given to the Authority except when cancellation is for non-payment of premium, then ten (10) days' prior notice may be given. If any insurance company refuses to provide the required notice, Contractor or its insurance broker shall notify the Authority any cancellation, suspension, or nonrenewal of any insurance policy within seven (7) days of receipt of insurers' notification to that effect.

c. Insurance Obligations of Authority: Authority is not required to maintain or procure any insurance coverage beyond the coverage maintained by the Authority in its standard course of business. Any insurance obligations placed on the Authority in any of the **Contract Documents** shall be null and void.

d. Deductible: Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of Contractor.

e. Primacy of Coverage: Coverage required of Contractor and its subcontractors, if any, shall be primary over any insurance or self-insurance program carried by the Authority.

f. Subrogation Waiver: All insurance policies in any way related to this Contract secured or maintained by Contractor as required herein shall include clauses stating that each carrier shall waive all rights of recovery, under subrogation or otherwise, against Authority, its organizations, officers, agents, employees, and volunteers.

g. Requirements. For the entire duration of this Contract including any extended or renewed terms, and longer as may be required by this Contract, Contractor shall procure and maintain at its own

expense, and without cost to the Authority, the following kinds and minimum amounts of insurance to insure the liability risks that Contractor has assumed under this Contract:

i. **Commercial General Liability**

This coverage should be provided on an Occurrence Form, ISO CG001 or equivalent, with Minimum limits of \$1,000,000 Each Occurrence, \$2,000,000 General Aggregate and \$2,000,000 Products Completed Operations Aggregate.

ii. **Automobile Liability**

Bodily Injury and Property Damage for any owned, hired, and non-owned vehicles used in the performance of the Contract. Minimum limits \$1,000,000 Each Accident.

iii. **Workers' Compensation and Employer's Liability**

Workers' Compensation must be maintained with the statutory limits. Employer's Liability is required for minimum limits of \$100,000 Each Accident/\$500,000 Disease-Policy Limit/\$100,000 Disease-Each Employee.

iv. **Umbrella / Excess Insurance**

Umbrella/Excess Liability insurance in the amount \$1,000,000.00, following form.



**Boulder County Purchasing**  
**1325 Pearl Street**  
**Boulder, CO 80302**  
[purchasing@bouldercounty.gov](mailto:purchasing@bouldercounty.gov)

**SIGNATURE PAGE**

Contact Information	Response
Company Name including DBA	
List Type of Organization (Corporation, Partnership, etc.)	
Name, Title, and Email Address of Person Authorized to Contract with Boulder County	
Company Address	
Company Phone Number	
Company Website	

**By signing below I certify that:**

I am authorized to bid on my company's behalf.

I am not currently an employee of Boulder County.

None of my employees or agents is currently an employee of Boulder County.

I am not related to any Boulder County employee or Elected Official.

(Sole Proprietorships Only) I am not a Public Employees' Retirement Association (PERA) retiree.

\_\_\_\_\_  
**Signature of Person Authorized to Bid on  
 Company's Behalf**

\_\_\_\_\_  
**Date**

Note: If you cannot certify the above statements, please explain in a statement of explanation.

**BOULDER COUNTY HOUSING AUTHORITY (BCHA)  
Regal & Geneseo Apartments  
Balcony/Exterior Stair and Siding Repairs**

**Issued for Bidding**

**Boulder County, Colorado**

June 16, 2023

**Terracon Project No.: F6236040**



*Prepared for Owner:*

**Boulder County Housing Authority (BCHA)**

1288 Alaska Avenue

Longmont, CO 80501

*Prepared by:*

**Terracon Inc.**

10625 W. I-70 Frontage Rd. N. Suite 3

Wheat Ridge, Colorado 80033

**SECTION 00 01 01**

PROJECT TITLE PAGE

**PROJECT NAME:** Boulder County Housing Authority (BCHA)  
Regal & Geneseo Apartments  
Balcony/Exterior Stair and Siding Repairs

**LOCATION:** Various Addresses – See Drawings  
Boulder County, Colorado

**PROJECT NO.** Terracon Project No. F6236040

**OWNER:** Boulder County Housing Authority (BCHA)  
1288 Alaska Avenue  
Longmont, CO 80501  
Contact: [purchasing@bouldercounty.gov](mailto:purchasing@bouldercounty.gov)

**CONSULTANT FIRM:** Terracon Consultants Inc.  
10625 W. I-70 Frontage Rd. N. Suite 3  
Wheat Ridge, Colorado 80033  
Contact: Kathryn (Kade) Gromowski, P.E., RBEC  
Senior Engineer

**SECTION 00 01 10**

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**END OF SECTION 00 01 10**

**SECTION 00 41 01**

**BID FORM**

**PROJECT IDENTIFICATION: BCHA Balcony/Exterior Stair and Siding Repairs**

**THIS BID IS SUBMITTED TO: Boulder County Housing Authority (BCHA)**

A. The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an agreement with Owner to perform and furnish all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the other terms and conditions of the Contract Documents.

B. This Bid shall remain subject to acceptance for sixty (60) days after the day of Bid opening.

C. In submitting this Bid, Bidder represents, as more fully set forth in the Agreement, that:

1. Bidder has examined copies of all the Bidding Documents and of the following Addenda (receipt of all which is hereby acknowledged):

Date \_\_\_\_\_ Number \_\_\_\_\_

Date \_\_\_\_\_ Number \_\_\_\_\_

Date \_\_\_\_\_ Number \_\_\_\_\_

Date \_\_\_\_\_ Number \_\_\_\_\_

2. Bidder has familiarized itself with the nature and extent of the Contract Documents proposed Work, site, locality, and all local conditions and Laws and Regulations that in any manner may affect cost, progress, performance or furnishing of the Work.

3. Bidder has given Engineer written notice of all conflicts, errors or discrepancies that it has discovered in the Contract Documents and the written resolution thereof by Engineer is acceptable to Bidder.

4. This Bid is genuine and not made in the interest of, or on behalf of, any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; Bidder has not solicited or induced any person, firm or corporation to refrain from bidding; and Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or over Owner.

**1.02 POSSIBLE CHANGES IN QUANTITY OF WORK**

A. Bidder understands that the quantities specified herein for the repairs are approximate and that actual quantities in the field may increase or decrease from the quantities estimated. Bidder hereby agrees to perform all quantities of Work as either increased or decreased, as required by the Engineer in accordance with the provisions of the Construction Documents.

**1.06 SIGNATURES**

A. If Bidder is an Individual

By \_\_\_\_\_ (SEAL)  
(Individual's Name)

doing business as \_\_\_\_\_

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

B. If Bidder is a Partnership

By \_\_\_\_\_ (SEAL)  
(Firm Name)

\_\_\_\_\_ (General Partner)

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

C. If Bidder is a Corporation

By \_\_\_\_\_ (Corporate SEAL)  
(Corporation Name)

\_\_\_\_\_  
(State/Province of Incorporation)

By \_\_\_\_\_  
(Name of Person Authorized to Sign)

\_\_\_\_\_  
(Title)

Attest \_\_\_\_\_  
(Secretary)

Business Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone No.: \_\_\_\_\_

**END OF SECTION 00 41 01**

SECTION 00 41 02

CONTRACTOR'S QUALIFICATION FORM

1.01 GENERAL

A. Submitted by: Firm Name \_\_\_\_\_

B. Have members of this organization operated under former names/businesses? Yes \_\_\_ No \_\_\_

If "yes," list name, type of entity, and names of Contractor, owners or partners.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

C. How many full-time office employees does your company employ? \_\_\_\_

D. How many full-time, permanent field employees does your company employ? \_\_\_\_\_

1.02 EXPERIENCE

A. Please list the type and number of projects your firm has constructed which were subject to the Owner Guidelines and other regulatory agency construction requirements:

Type	Number
New Construction - Prime	
New Construction - Subcontractor	
Renovations - Prime	
Renovation - Subcontractor	

B. Provide a list of projects your organization has completed in the last five years. PLEASE NOTE THAT IN ORDER FOR A CONTRACTOR'S BID TO BE CONSIDERED ACCEPTABLE, THE BIDDER MUST LIST AT LEAST THREE (3) PROJECTS (PLEASE HIGHLIGHT THOSE PROJECTS IN YOUR LIST) OF SIMILAR NATURE AND SCOPE WITHIN A FIFTY (50) MILE RADIUS OF THE SUBJECT PROPOSED PROJECT THAT HAVE BEEN SUCCESSFULLY COMPLETED BY THE BIDDER. FURTHER, LETTERS OF REFERENCE FROM THE OWNERS OF EACH LISTED PROJECT DESCRIBING THEIR EXPERIENCE WITH YOUR COMPANY MAY BE REQUIRED BEFORE THE PROJECT IS AWARDED.

C. Has your company ever been adjudged in or FILED a petition for bankruptcy? Yes \_\_\_ No \_\_\_

- D. Within the last five (5) years, has your company been assessed liquidated damages for failure to complete a project within the contractually allotted time? Yes\_\_\_\_ No\_\_\_\_
- E. Within the last three (3) years, has your company received a final order for willful and/or repeated violation(s) issued by the United States Occupational Safety and Health Administration (OSHA) or by the Colorado Department of Labor and Employment or any other governmental agency? Yes\_\_\_\_ No\_\_\_\_
- F. Have any Performance or Payment Bond claims ever been paid by any surety on behalf of your company? Yes\_\_\_\_ No\_\_\_\_
- G. On a separate page, briefly describe your approach to project staffing, scheduling, monitoring, and control to ensure that all appropriate safety measures are being employed and that the project will be completed in a timely manner. Include how your company will keep the Owner informed of any and all concerns related to the schedule.
- H. Does your firm have a written quality control program that would be available upon request? Yes\_\_\_\_ No\_\_\_\_
- I. **Change Order History:** Describe in an attachment each instance within the last five (5) years where change orders applied for during construction amounted in the aggregate to more than five percent (5%) of the contract price for any building which your firm constructed, or in which actual construction costs exceeded the contract price by more than five percent (5%).

**1.03 EMPLOYEE QUALIFICATION**

- A. On a separate page, provide an organizational chart of project personnel for a project similar to the one for which you are bidding.
- B. Include resumes of your key personnel who may staff this project. Provide at least three (3) project-related references for each proposed team member. Include a resume for the project field superintendent.

The undersigned certified under oath that the information provided herein is true and sufficiently complete so as not to be misleading.

COMPANY NAME: \_\_\_\_\_

BY (signature): \_\_\_\_\_

BY (please print): \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

Note: If by a corporation, this document must have the signature required by its bylaws.

**END OF SECTION 00 41 02**

## SECTION 00 41 04

### SUBSTITUTION REQUEST

#### 1.01 GENERAL

This questionnaire is part of the substitution requirements specified in Section 01 25 00; submit the answers to the following questions to the Engineer:

TO: Boulder County Purchasing  
purchasing@bouldercounty.gov

- A. On a separate sheet, **fully** answer the following questions in this format:
1. Title of Project and RFB number.
  2. Specified Item to be removed [**state section (s) where product is specified**].
  3. Proposed Substitute - Attach complete description, catalogue, specification data, and laboratory test if applicable.
  4. What effect will substitution have on dimensions, gauges, weights, etc. indicated in Contract Documents?
  5. What effect will substitution have on wiring, piping, ductwork, etc., indicated in Contract Documents?
  6. What effect will substitution have on other trades?
  7. What effect will substitution have on construction schedule?
  8. What are the differences in quality and performance between proposed substitute and specified product?
  9. State whether the manufacturer of the proposed substitute offers the same or different guarantees as the manufacturer of the specified product. Thoroughly explain any differences.
  10. What is the availability of maintenance services and replacement materials for the proposed substitute?
  11. List the names, addresses and phone numbers of fabricators and suppliers for proposed substitute.

12. What effect would the substitute have on the cost of the Work?
13. Are there license fees and/or royalties pending on the proposed substitute?
14. You (the undersigned) understand that you will be responsible for any additional studies, investigations, submittals, redesign, and/or analysis by the Engineer caused by the requested substitutions.

SUBMITTED BY: (Supplier or Subcontractor)

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Date \_\_\_\_\_

REVIEWED AND APPROVED for Subcontractors by (General Contractor)

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Date \_\_\_\_\_

**END OF SECTION 00 41 04**



## SECTION 01 10 00

### SUMMARY OF THE WORK

#### PART 1 - GENERAL

##### 1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract apply to this Section.
- B. Specifications throughout all Divisions of the Project Manual are directly applicable to this Section, and this Section is directly applicable to them.

##### 1.02 ACCESS TO THE SITE

- A. The Contractor shall be granted access to the site by the Owner during the days and times established in the Owner's Requirements.

##### 1.03 SUMMARY OF SCOPE OF WORK

- A. The scope of work varies by building but will include some portion of the work described below.
- B. Base Bid
  - 1. Regal Apartments
    - a. Remove and replace existing siding/trim where indicated, including underlying weather resistive barrier and flashings.
      - i. Removal, salvaging, and reinstallation of downspouts is considered incidental to this work.
      - ii. Painting of the replacement siding, as well as the exposed portions of the existing fascia and the existing soffits is considered incidental to this work.
    - b. Installation of soffit vents.
    - c. Repairs to existing exterior stairs and landings as shown in the project documents, to include:
      - i. Replacement of existing handrails and guardrails.
      - ii. Installation of supplemental base connections where specified.
      - iii. Cleaning and coating or replacement of tread support angles where specified.

- iv. Replacement of deteriorated treads where specified.
  - d. Replacement of existing patio and balcony railings.
  - e. Miscellaneous exterior repairs, such as minor reconfiguration of downspouts and repair of isolated soffits/fascia.
- 2. Geneseo Apartments
  - a. All balconies except the east balcony at 505 West Geneseo Street:
    - i. Removal of existing composite decking at balconies.
    - ii. Cleaning of existing framing, to include removal of deteriorated wood at the top of the framing.
    - iii. Repainting of the wood framing components.
    - iv. Installation of replacement decking.
  - b. East Balcony at 505 West Geneseo Street:
    - i. Demolition of existing railing and associated mansard roofing.
    - ii. Removal of existing composite decking at balconies.
    - iii. Cleaning of existing framing, to include removal of deteriorated wood at the top of the framing.
    - iv. Repainting of the wood framing components.
    - v. Installation of replacement decking.
    - vi. Construction of a new railing and mansard-type roofing at exterior cladding.
- C. Alternate #1
  - 1. At the Regal site, remove and replace existing windows at all buildings. Window openings and replacement windows are to be flashed per project drawings.
- D. Alternate #2
  - 1. At the Regal site, remove and replace existing sliding glass doors at all buildings. Door openings and replacement doors are to be flashed per project drawings.

#### **1.04 ACCESS TO SITE**

- A. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Use of Site: Limit use of Project site to areas within the Contract limit indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
  - 1. Driveways, Walkways and Entrances: Keep driveways, loading areas, alleys, and entrances serving premises clear and available to Owner, Owner's employees, tenants, and emergency vehicles at all times. Do not use these areas for parking or for storage of materials.
    - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
    - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- D. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

#### **1.05 COORDINATION WITH OCCUPANTS**

- A. Full Owner Occupancy: Owner will occupy site and existing building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.

1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.
2. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.

## **1.06 WORK RESTRICTIONS**

- A. Work Restrictions, General: Comply with restrictions on construction operations.
  1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 8 a.m. to 5 p.m., Monday through Friday, unless otherwise indicated.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
  1. Notify Owner not less than two days in advance of proposed utility interruptions.
  2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.
  1. Notify Owner not less than two days in advance of proposed disruptive operations.
  2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Restricted Substances: Use of tobacco, marijuana, or alcohol products and other controlled on Project site is not permitted.

- F. Employee Screening: Comply with Owner's requirements for drug and background screening of Contractor personnel working on Project site.

**1.07 WORK UNDER DIVISIONS OF THE SPECIFICATIONS THAT HAVE BEEN OMITTED**

- A. There are several sections of a typical specification that are used to address specific construction situations. As many of these are not being utilized for this project, those specification divisions have either been limited to the items included in the Scope of Work, or omitted altogether.
- B. All Work associated with these summarized or omitted Sections shall be performed in full compliance with the standard of care appropriate for each item, in accordance with the requirements of the authority having jurisdiction, consistent with the industry standard of care, and in a manner that is consistent with the recommendations of the national trade organizations associated with each item of Work.

**PART 2 - PRODUCTS (NOT USED)**

**PART 3 - EXECUTION (NOT USED)**

**END OF SECTION 01 10 00**

## SECTION 01 25 00

### SUBSTITUTIONS

#### PART 1 - GENERAL

##### 1.01 GENERAL

- A. Drawings and general provisions of the Contract apply to this Section.
- B. Specifications throughout all Divisions of the Project Manual are directly applicable to this Section, and this Section is directly applicable to them.
- C. This Section includes the requirements for requesting approval of proposed substitutions. The requirements of this section govern the use of "Substitution Request Form."

##### 1.02 LIMITATIONS ON SUBSTITUTIONS

- A. Substitutions will not be considered when indicated on shop drawings or product data submittals without separate formal requests complying with "submittal procedures" specified in this section.
- B. Substitution will not be considered unless submitted through the Contractor.
- C. The Contractor, at no expense to the Owner, shall pay additional studies, investigations, submittals, redesign and / or analysis by the Engineer caused by the requested substitutions to the Owner.
- D. Substitute products shall not be ordered or installed without written acceptance.
- E. Only one request for substitution for each product will be considered. If the Engineer does not accept substitution, provide the specified product.
- F. Engineer's decision shall be final concerning the acceptability of all substitutions.

##### 1.03 REQUESTS FOR SUBSTITUTIONS:

- A. Contractor's Representation:
  - 1. Request of substitution constitutes a representation that the Contractor has investigated the proposed product and has determined that it is equal to or superior in all respects to the specified product.
  - 2. Request for substitution constitutes a representation that the Contractor will provide same warranty for substitution as for the specified product. Contractor's warranty shall be in writing guaranteeing all substituted products have same or superior performance as the product specified.
    - a. Request for substitution constitutes a representation that the Contractor will coordinate the installation of the accepted substitute, making such changes as may be required for the Work to be complete in all respects.

- b. Request for substitution constitutes a representation that the Contractor waives all claims for additional costs related to substitutions that consequently become apparent.
  - c. Request for substitution constitutes a Contractor's representation that the cost data is complete and includes all related cost under this Contract, but excludes any approved Engineer's design fees required by substitution.
  - d. Request for substitution constitutes a representation that the Contractor has thoroughly investigated the proposed substitute to determine if license fees and royalties are pending in the proposed substitute.
3. Requests for substitutions shall be submitted in pdf format. Each submittal request shall be complete with data substantiating compliance of proposed substitution in accordance with Section 00 41 04.

**END OF SECTION 01 25 00**

## SECTION 01 30 01

### ADMINISTRATIVE REQUIREMENTS

#### PART 1 - GENERAL

##### 1.01 MEETINGS AND COMMUNICATION

- A. Attend all meetings called by Owner, Owner's Representative, or Engineer.
- B. Communicate with Engineer at least 24 hours in advance of progress meetings of items to be added to the agenda.
- C. Engineer is the designated administrator of the Contract Documents and should be contacted prior to other parties for communication other than coordination of Work.
- D. Most project communication will use electronic mail; Contractor must maintain an email address/account during the Project.

##### 1.02 SCHEDULE

- A. Divide the Work into zones/phases, and identify each zone/phase with the unique identification number. Submit zones/phases on a drawing to Engineer.
- B. Submit a schedule showing projected future and actual start and completion dates for each zone/phase.
- C. Submit an updated schedule each time the previously submitted schedule becomes incorrect, or with each application for payment whichever is shorter.

##### 1.03 LAVATORIES

- A. Contractor to provide temporary lavatory facilities for duration of the project. Coordinate location of temporary facilities with the Owner's Representative.

##### 1.04 CIVILITY

- A. Ensure that personnel remain reasonably quiet during operating hours. Except in an emergency, do not shout from elevated locations.
- B. Recreational radios are not permitted on the site.
- C. No profanity, alcoholic beverages, or intoxication are permitted on the site.
- D. Congregate only in areas designated by the Property Contact and/or Owner's Representative for personnel breaks and lunches.
- E. Smoking is not permitted on-site.
- F. No firearms are permitted on the site, concealed or otherwise.



## **1.05 STORAGE**

- A. Coordinate location of temporary storage with Owner's Representative.
- B. Any materials or equipment remaining on site, including in the designated storage area, after Final Completion become the property of the Owner, without requiring a bill of sale or notification to the Contractor.

## **1.06 PARKING**

- A. Coordinate parking with Owner's Representative before commencing work.
- B. Do not leave Contractor vehicles on site overnight without Owner Representative's written consent.

## **1.07 TRASH DISPOSAL**

- A. Do not use Owner's trash disposal systems. Provide and maintain temporary dumpster to be located as determined by Owner's Representative.
- B. Daily clean-up of working areas is required. Construction debris and personal trash must be cleaned at the end of each working day.

## **1.08 CODES, ORDINANCES, AND FEES**

- A. Perform work in strict accordance with applicable codes, standards, and ordinances of agencies having jurisdiction over the Work or Site.
- B. Obtain and PAY FOR construction related permits, including building permits, traffic lane, or sidewalk closure permits, or utility taps and hook-ups if required. No additional compensation or increase in Contract Time will be made for the permit process.

**END OF SECTION 01 30 01**

## SECTION 01 33 00

### SUBMITTALS AND MOCK-UPS

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. Section includes requirements for the submittal schedule and administrative and procedural requirements for submitting Shop Drawings, Product Data, Samples, and other submittals:
  - 1. Where required by the Specifications, Contractor shall submit descriptive information that will enable Engineer to determine whether Contractor's proposed materials, equipment, and Work methods are in general conformance to the design concept and in accordance with the Drawings and Specifications. The information submitted may consist of drawings, specifications, descriptive data, certificates, samples, test results, product data, and such other information, all as specifically required in the Drawings and Specifications. In some instances, specified submittal information describes some, but not all features of the material, equipment, or Work method.

##### 1.02 GENERAL

- A. Drawings and general provisions of the Contract apply to this Section.
- B. Specifications throughout all Divisions of the Project Manual are directly applicable to this Section, and this Section is directly applicable to them.

##### 1.03 SUBMITTAL LOG

- A. The Contractor shall maintain a Submittal Log identified with project Name and File Number showing the title of each submittal, date of submittal, date returned, and status.

##### 1.04 SUBMITTALS (GENERAL)

- A. Initial Submittal: Submit complete submittals by section and subcontractor trade prior to start of construction. Submittals requiring a long lead time for manufacture or fabrication shall be submitted as soon as possible after award.
- B. Resubmissions: Shall be combined with all applicable resubmissions within the same section.
- C. Submissions requiring further existing condition verification shall be scheduled to be submitted at a later applicable date. Submit a schedule of these items and intended dates.

##### 1.05 SUBMITTAL ADMINISTRATIVE REQUIREMENTS

- A. Coordination: Coordinate preparation and processing of submittals with performance of construction activities.

1. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity.
  2. Submit all submittal items required for each Specification Section concurrently unless partial submittals for portions of the Work are indicated on approved submittal schedule.
  3. Submit action submittals and informational submittals required by the same Specification Section as separate packages under separate transmittals.
  4. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals concurrently for coordination.
- B. Electronic Submittals: Identify and incorporate information in each electronic submittal file as follows:
1. Assemble complete submittal package into a single indexed file incorporating submittal requirements of a single Specification Section and transmittal.
  2. Name file with submittal number or other unique identifier, including revision identifier.
    - a. File name shall use project identifier and Specification Section number followed by a decimal point and then a sequential number (e.g., LNHS-061000.01). Resubmittals shall include an alphabetic suffix after another decimal point (e.g., LNHS-061000.01.A).
  3. A cover sheet, provided by the engineer, shall be filled out in its entirety and be the first page of each individual submission item.
- C. Options: Identify options requiring selection by Engineer and/or Owner.
- D. Deviations and Additional Information: On an attached separate sheet, prepared on Contractor's letterhead, record relevant information, requests for data, revisions other than those requested by Engineer on previous submittals, and deviations from requirements in the Contract Documents, including minor variations and limitations. Include same identification information as related submittal.
- E. Resubmittals: Make resubmittals in same form and number of copies as initial submittal.
1. Note date and content of previous submittal.
  2. Note date and content of revision in label or title block and clearly indicate extent of revision.
  3. Resubmit submittals until they are marked with approval notation from Architect's action stamp.

- F. Distribution: Furnish copies of final submittals to manufacturers, subcontractors, suppliers, fabricators, installers, authorities having jurisdiction, and others as necessary for performance of construction activities. Show distribution on transmittal forms.
- G. Use for Construction: Retain complete copies of submittals on Project site. Use only final action submittals that are marked with approval notation from Engineer's action stamp.
- H. Contractor's comments on submittals shall not be in red ink.
- I. Should Contractor propose any item on the shop drawings or incorporate an item into the Work which subsequently proves to be defective or otherwise unsatisfactory, (regardless of Engineer's preliminary review) Contractor shall, at Contractor's own expense, replace the item with another item that will perform satisfactorily.

#### **1.06 SCHEDULE OF VALUES**

- A. The Schedule of Values shall be organized to match the Scope of Work by Unit list. Submit the proposed Schedule of Values prior to commencing Work.

#### **1.07 CHANGE ORDER PROCEDURES**

- A. Change Orders shall be prepared by the Contractor. A detailed breakdown of cost, provided by the contractor is required. Signatures by all parties signing the original agreement form are required on each Change Order.

#### **1.08 PROTECTION PLAN**

- A. Contractor shall submit protection plan inclusive of protecting existing finishes and other existing conditions from construction damage.

#### **1.09 CONTRACT CLOSE-OUT SUBMITTALS**

- A. See Division 01 Section "Contract Close-out" hereinafter for submittals and procedures required for contract closeout.

### **PART 2 - PRODUCTS**

#### **2.01 SUBMITTAL PROCEDURES**

- A. General Submittal Procedure Requirements: Prepare and submit submittals required by individual Specification Sections. Types of submittals are indicated in individual Specification Sections.
  - 1. Certificates and Certifications Submittals: Provide a statement that includes signature of entity responsible for preparing certification. Certificates and certifications shall be signed by an officer or other individual authorized to sign documents on behalf of that entity.
- B. Product Data: Collect information into a single submittal for each element of construction and type of product or equipment.

1. If information must be specially prepared for submittal because standard published data is not suitable for use, submit as Shop Drawings, not as Product Data.
  2. Mark each copy of each submittal to show which products and options are applicable.
  3. Include the following information, as applicable:
    - a. Manufacturer's catalog cuts.
    - b. Manufacturer's product specifications.
    - c. Standard color charts.
    - d. Statement of compliance with specified referenced standards.
    - e. Testing by recognized testing agency.
    - f. Application of testing agency labels and seals.
    - g. Notation of coordination requirements.
    - h. Availability and delivery time information.
  4. Submit Product Data before or concurrent with Samples.
- C. Samples, General: Submit physical (not electronic) Samples for review of kind, color, pattern, and texture for a check of these characteristics with other elements and for a comparison of these characteristics between submittal and actual component as delivered and installed.
1. Transmit Samples that contain multiple, related components such as accessories together in one submittal package.
  2. Identification: Attach label on unexposed side of Samples that includes the following:
    - a. Generic description of Sample
    - b. Product name and name of manufacturer
    - c. Sample source
    - d. Number and title of applicable Specification Section
    - e. Specification paragraph number and generic name of each item.
  3. Provide corresponding electronic submittal of Sample transmittal, digital image file illustrating Sample characteristics, and identification information for record.

4. Disposition: Maintain sets of approved Samples at Project site, available for quality control comparisons throughout the course of construction activity. Sample sets may be used to determine final acceptance of construction associated with each set.
  5. Samples that may be incorporated into the Work are indicated in individual Specification Sections. Such Samples must be in an undamaged condition at time of use.
  6. Samples not incorporated into the Work, or otherwise designated as Owner's property, are the property of Contractor.
- D. Samples for Initial Selection: Submit manufacturer's color charts consisting of units or sections of units showing the full range of colors, textures, and patterns available.
1. Number of Samples: Submit one full set of available choices where color, pattern, texture, or similar characteristics are required to be selected from manufacturer's product line. Engineer will return submittal with options selected.
- E. Samples for Verification: Submit full-size units or Samples of size indicated, prepared from same material to be used for the Work, cured and finished in manner specified, and physically identical with material or product proposed for use, and that show full range of color and texture variations expected. Samples include, but are not limited to, the following: partial sections of manufactured or fabricated components; small cuts or containers of materials; complete units of repetitively used materials; swatches showing color, texture, and pattern; color range sets; and components used for independent testing and inspection.
1. Number of Samples: Submit three sets of Samples. Engineer will retain one Sample set; remainder will be returned. Mark up and retain one returned Sample set as a project record sample.
    - a. Submit a single Sample where assembly details, workmanship, fabrication techniques, connections, operation, and other similar characteristics are to be demonstrated.
    - b. If variation in color, pattern, texture, or other characteristic is inherent in material or product represented by a Sample, submit at least three sets of paired units that show approximate limits of variations.
- F. Product Schedule: As required in individual Specification Sections, prepare a written summary indicating types of products required for the Work and their intended location. Include the following information in tabular form:
1. Type of product. Include unique identifier for each product indicated in the Contract Documents or assigned by Contractor if none is indicated.
  2. Manufacturer and product name, and model number if applicable.
  3. Number and name of room or space.

4. Location within room or space.
5. Submit product schedule in the following format:
  - a. PDF electronic file.
- G. Qualification Data: Prepare written information that demonstrates capabilities and experience of firm or person. Include lists of completed projects with project names and addresses, contact information of architects and owners, and other information specified.
- H. Installer Certificates: Submit written statements on manufacturer's letterhead certifying that Installer complies with requirements in the Contract Documents and, where required, is authorized by manufacturer for this specific Project.
- I. Manufacturer Certificates: Submit written statements on manufacturer's letterhead certifying that manufacturer complies with requirements in the Contract Documents. Include evidence of manufacturing experience where required.
- J. Product Certificates: Submit written statements on manufacturer's letterhead certifying that product complies with requirements in the Contract Documents.
- K. Material Certificates: Submit written statements on manufacturer's letterhead certifying that material complies with requirements in the Contract Documents.
- L. Material Test Reports: Submit reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting test results of material for compliance with requirements in the Contract Documents.
- M. Product Test Reports: Submit written reports indicating that current product produced by manufacturer complies with requirements in the Contract Documents. Base reports on evaluation of tests performed by manufacturer and witnessed by a qualified testing agency, or on comprehensive tests performed by a qualified testing agency.

## **PART 3 - EXECUTION**

### **3.01 CONTRACTOR'S REVIEW**

- A. Action and Informational Submittals: Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents. Note corrections and field dimensions. Mark with approval stamp before submitting to Engineer.
- B. Approval Stamp: Stamp each submittal with a uniform, approval stamp. Include Project name and location, submittal number, Specification Section title and number, name of reviewer, date of Contractor's approval, and statement certifying that submittal has been reviewed, checked, and approved for compliance with the Contract Documents.

**END OF SECTION 01 33 00**

**SUBMITTAL COVER PAGE**

The undersigned Contractor(s) shall fill out and staple this Submittal Cover Page for each submitted data sheet, sample, shop drawing, or any other item submitted to the Architect/Engineer. All items in the Submittal Log list will require a Submittal Cover Page.

PROJECT \_\_\_\_\_ No. \_\_\_\_\_

ADDRESS \_\_\_\_\_

CONTRACTOR (contact)

ARCHITECT/ENGINEER (contact)

\_\_\_\_\_

\_\_\_\_\_

ADDRESS

ADDRESS

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PHONE NO. \_\_\_\_\_

PHONE NO. \_\_\_\_\_

DATE \_\_\_\_\_

ITEM SUBMITTED \_\_\_\_\_

MANUFACTURER/RESPONSIBLE \_\_\_\_\_

SUBMITTED BY \_\_\_\_\_

SPECIFICATION LOCATION (Section/Article/Paragraph/Subparagraph – must meet Submittal Log)

\_\_\_\_\_

ARCHITECT/ENGINEER’S NOTES

\_\_\_\_\_

\_\_\_\_\_

CONTRACTOR’S STAMP



## SECTION 01 50 00

### TEMPORARY FACILITIES AND CONTROLS

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. Requirements of this Section apply to, and are a component of, each section of the specifications.

##### 1.02 SUBMITTALS

- A. Submit the following in accordance with Division 01 Section "Submittal Procedures":
  - 1. SD-01 Preconstruction Submittals
    - a. Divide the Work into zones/phases, and identify each zone/phases with the unique identification number. Submit zones/phases on a drawing to Engineer showing projected future and actual start and completion dates for each zone/phase.
    - b. Traffic control plan
    - c. Utility requirements and use plan for electrical, water, and sewer use required for project completion.

#### PART 2 - PRODUCTS

##### 2.01 TEMPORARY TRAFFIC CONTROL

- A. Barricades
  - 1. Erect and maintain temporary barricades to limit public access to hazardous areas. Whenever safe public access to paved areas such as roads, parking areas or sidewalks is prevented by construction activities or as otherwise necessary to ensure the safety of both pedestrian and vehicular traffic barricades will be required, the Owner's Representative must be notified at least three (3) calendar days in advance. Securely place barricades clearly visible with adequate illumination to provide sufficient visual warning of the hazard during both day and night.
- B. Fencing
  - 1. Enclose the Contractor lay-down area with an 6-foot high chain link fence and gates with brown, UV light resistant, plastic fabric mesh netting (similar to tennis court or other screening). Remove the fence upon completion and acceptance of the work. Intent is to block (screen) public view of the lay-down area and to provide additional security for stored materials.

## **2.02 EQUIPMENT**

- A. Fire Extinguishers: Portable, UL rated; with class and extinguishing agent as required by locations and classes of fire exposures.

## **PART 3 - EXECUTION**

### **3.01 EMPLOYEE PARKING**

- A. Contractor employees will park privately owned vehicles in areas designated by the Owner. This area will be within reasonable walking distance of the construction site. Contractor employee parking must not interfere with existing and established parking requirements of the Owner.

### **3.02 AVAILABILITY AND USE OF UTILITY SERVICES**

- A. Temporary Utilities
  - 1. Provide temporary utilities required for construction, including electrical, HVAC, and plumbing as required (unless otherwise approved for use of existing facilities). Materials may be new or used, must be adequate for the required usage, not create unsafe conditions, and not violate applicable codes and standards.
- B. Fire Protection
  - 1. Provide temporary fire protection equipment for the protection of personnel and property during construction. Remove debris and flammable materials daily to minimize potential hazards.

### **3.03 TRAFFIC PROVISIONS**

- A. Maintenance of Traffic
  - 1. Conduct operations in a manner that will not close any thoroughfare or interfere in any way with traffic on roads or alleys except with written plan and written permission of the Authority Having Jurisdiction (AHJ). The plan must be in accordance with State and local regulations.
  - 2. Contractor may move oversized and slow-moving vehicles to the worksite provided requirements of the local authority have been met.
  - 3. Conduct work so as to minimize obstruction of traffic, and maintain traffic on at least half of the roadway width at all times. Obtain written approval from the Owner prior to starting any activity that will obstruct traffic.
  - 4. Provide, erect, and maintain, at contractor's expense, lights, barriers, signals, passageways, detours, and other items, that may be required.
- B. Protection of Traffic
  - 1. Maintain and protect traffic on all affected roads during the construction period except as otherwise specifically directed by the Owner.

2. Measures for the protection and diversion of traffic, including the provision of watchmen and flagmen, erection of barricades, placing of lights around and in front of equipment the work, and the erection and maintenance of adequate warning, danger, and direction signs, will be as required by the State and local authorities having jurisdiction.
  3. Protect the traveling public from damage to person and property. Minimize the interference with public traffic on roads selected for hauling material to and from the site. Investigate the adequacy of existing roads and their allowable load limit. Contractor is responsible for the repair of any damage to roads caused by construction operations.
- C. Rush Hour Restrictions
1. Do not interfere with the peak traffic flows preceding and during normal operations without notification to and written approval by the Owner.
- D. Dust Control
1. Dust control methods and procedures must be approved by the Owner. Treat dust abatement on access roads with applications of calcium chloride, water sprinklers, or similar methods or treatment.

### **3.04 CONTRACTOR'S TEMPORARY FACILITIES**

- A. Administrative Field Offices
1. Provide and maintain administrative field office facilities within the construction area at the designated site. Owner's facilities will not be available to the Contractor's personnel.
- B. Storage Area
1. Construct a temporary 6-foot high chain link fence around trailers and materials. Include plastic strip inserts or privacy screen fabric, so that visibility through the fence is obstructed. Do not place or store trailers, materials, or equipment outside the fenced area unless such trailers, materials, or equipment are assigned a separate and distinct storage area by the Owner away from the vicinity of the construction site but within the installation boundaries. Trailers, equipment, or materials must not be open to public view with the exception of those items which are in support of ongoing work on any given day. Do not stockpile materials outside the fence in preparation for the next day's work. Park mobile equipment, such as tractors, wheeled lifting equipment, cranes, trucks, and like equipment within the fenced area at the end of each work day.
  2. Maintenance of Storage Area
    - a. Keep fencing in a state of good repair and proper alignment. Grassed or unpaved areas, which are not established roadways, will be covered with a layer of gravel as necessary to prevent rutting and the tracking of mud onto paved or established roadways, should the Contractor elect to traverse them with construction equipment or other vehicles; gravel gradation will be at the Contractor's discretion. Mow and maintain grass located within the boundaries of the construction site for the duration of the project.

Grass and vegetation along fences, buildings, under trailers, and in areas not accessible to mowers will be edged or trimmed neatly.

3. Security Provisions

- a. Provide adequate outside security lighting at the Contractor's temporary facilities. The Contractor will be responsible for the security of its own equipment; in addition, the Contractor will notify the appropriate law enforcement agency requesting periodic security checks of the temporary project field office.

4. Weather Protection of Temporary Facilities and Stored Materials

- a. Take necessary precautions to ensure that roof openings and other critical openings in the building are monitored carefully. Take immediate actions required to seal off such openings when rain or other detrimental weather is imminent, and at the end of each workday. Ensure that the openings are completely sealed off to protect materials and equipment in the building from damage.

5. Building and Site Storm Protection

- a. When a warning of gale force winds is issued, take precautions to minimize danger to persons, and protect the work and nearby property. Precautions must include, but are not limited to, closing openings; removing loose materials, tools and equipment from exposed locations; and removing or securing scaffolding and other temporary work. Close openings in the work when storms of lesser intensity pose a threat to the work or any nearby property.

C. Cleanup

1. Remove construction debris, waste materials, packaging material and the like from the work site daily. Any dirt or mud which is tracked onto paved or surfaced roadways must be cleaned away. Store within the fenced area described above or at the supplemental storage area any materials resulting from demolition activities which are salvageable. Neatly stack stored materials not in trailers, whether new or salvaged.

D. Restoration of Storage Area

1. Upon completion of the project remove the bulletin board, signs, barricades, and any other temporary products from the site. After removal of trailers, materials, and equipment from within the fenced area, remove the fence that will become the property of the Contractor. Restore to the original or better condition, areas used by the Contractor for the storage of equipment or material, or other use. Gravel used to traverse grassed areas must be removed and the area restored to its original condition, including repairs to existing irrigation systems, top soil, and sod as necessary.

**END OF SECTION 01 50 00**

## **SECTION 01 70 00**

### **EXECUTION REQUIREMENTS**

#### **PART 1 - GENERAL**

##### **1.01 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract apply to this Section.

##### **1.02 SUMMARY**

- A. Section includes general administrative and procedural requirements governing execution of the Work including, but not limited to, the following:
  - 1. Installation of the Work.
  - 2. Progress cleaning.
  - 3. Starting and adjusting.
  - 4. Protection of installed construction.

##### **1.03 EXAMINATION**

- A. Restoration and rehabilitation documents are not representative of all existing conditions. Modification of issued details may be the result of existing conditions either not shown in the drawings, or as exposed.
- B. The contractor shall field verify conditions and dimensions at areas of work, and conditions required to access the areas of work.
- C. Submit all variations showing field verifications and deviations to the documents to Engineer in advance.

##### **1.04 QUALITY ASSURANCE**

- A. Manufacturer's Installation Instructions: Obtain and maintain on-site manufacturer's written recommendations and instructions for installation of products and equipment.

#### **PART 2 - PRODUCTS**

##### **2.01 MATERIALS**

- A. General: Comply with requirements specified in other Sections.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. The contractor shall be responsible for photographic documentation of the existing conditions and repair any and all damages caused by the contractor to their original conditions.
  - 1. If photographic documentation is not performed, Contractor may be liable for any damage to existing surfaces to remain identified in the area of work, regardless of whether the damage pre-dated the construction activities. Contractor would be required to restore any identified damage to a condition acceptable to Engineer and Owner/Owner's Representative.
- B. Examination and Acceptance of Conditions: Before proceeding with each component of the Work, examine substrates, areas, and conditions, with Installer or Applicator present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations.
  - 1. Examine walls, floors, and roofs for suitable conditions where products and systems are to be installed.
  - 2. Verify compatibility with and suitability of substrates, including compatibility with existing finishes or primers.
- C. Written Report: Where a written report listing conditions detrimental to performance of the Work is required by other Sections, include the following:
  - 1. Description of the Work.
  - 2. List of detrimental conditions, including substrates.
  - 3. List of unacceptable installation tolerances.
  - 4. Recommended corrections.
- D. Proceed with installation only after unsatisfactory conditions have been corrected. Proceeding with the Work indicates acceptance of surfaces and conditions.

### **3.02 PREPARATION**

- A. Protection is required at all areas of work and paths of travel. Submit a protection plan, including proposed materials temporarily installed for the purpose of protection.

- B. Contractor shall utilize suitable cover to protect wall surfaces to prevent damage that may result from operations. Special measures of protection may be required for windows, doorways, walkways, docks, etc.
- C. The contractor shall provide protection from objectionable dust and wind-blown or falling debris from the following, but not limited to, areas: project site, adjoining property, building interior and air intakes. During installations that release VOC's and/or odor, provide filtering at intakes and coordinate adjustments to the set points or shut-down as is required for the type of work being performed.
- D. Contractor shall take necessary precautions to protect the building grounds from damage during construction due to construction access.
- E. The contractor is responsible for any and all mechanical, electrical, and plumbing to be temporarily relocated to allow access to the work intended to be repaired followed by reinstallation of the equipment to its original condition. If such work is determined to be required for the project, notify Engineer and Owner/Owner's Representative.
- F. Field Measurements: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delaying the Work.

### **3.03 EXECUTION**

- A. Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.
- B. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion.
- C. Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy.
  - 1. Damage as a result of construction or construction traffic shall be repaired at no cost to the owner.
- D. Repair or remove and replace damaged, defective, or nonconforming Work.
- E. Sequence the Work and allow adequate clearances to accommodate movement of construction items on site and placement in permanent locations.
- F. Tools and Equipment: Where possible, select tools or equipment that minimize production of excessive noise levels.

### **3.04 PROGRESS CLEANING**

- A. General: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.

1. Comply with requirements in NFPA 241 for removal of combustible waste materials and debris.
  2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 80 deg F (27 deg C).
  3. Containerize hazardous and unsanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
    - a. Use containers intended for holding waste materials of type to be stored.
  4. Coordinate progress cleaning for joint-use areas where Contractor and other contractors are working concurrently.
- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
1. Remove liquid spills promptly.
  2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
- D. Installed Work: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Concealed Spaces: Remove debris from concealed spaces before enclosing the space.
- F. Exposed Surfaces in Finished Areas: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- G. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways. Comply with waste disposal requirements in Division 01 Section "Temporary Facilities and Controls."
- H. During handling and installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- I. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.



- J. Limiting Exposures: Supervise construction operations to ensure that no part of the construction, completed or in progress, is subject to harmful, dangerous, damaging, or otherwise deleterious exposure during the construction period.

### **3.05 FINAL CLEANING**

- A. Restore and clean areas accessed during construction or impacted by construction to their pre-construction existing condition.

### **3.06 PROTECTION OF INSTALLED CONSTRUCTION**

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
- B. Protection of Existing Items: Provide protection and ensure that existing items to remain undisturbed by construction are maintained in condition that existed at commencement of the Work.
- C. Comply with manufacturer's written instructions for temperature and relative humidity.

### **3.07 CLOSEOUT SUBMITTALS**

- A. Submit the following closeout materials in one submission via email to the engineer and owner.
  - 1. Warranties required by the technical Specification Sections.
  - 2. Signed and completed punchlist with photo verification.
  - 3. Return Permits, Parking Passes, Keys, and/or badges.
  - 4. Submit operations and maintenance manuals.

**END OF SECTION 01 70 00**

## SECTION 01 77 00

### CONTRACT CLOSEOUT

#### PART 1 - GENERAL

##### 1.01 GENERAL

- A. Comply with the requirements stated in Conditions of the Contract and in the Specifications for administrative procedures, fiscal provisions, and legal submittals to close out the Work.

##### 1.02 FINAL OBSERVATION:

- A. When the Contractor determines the work is complete, he shall submit a written certification that:
  - 1. Contract Documents have been reviewed.
  - 2. The Work has been inspected by a qualified person authorized by the contractor for compliance with Contract Documents.
  - 3. The Work has been inspected by a Material Manufacturer's Representative where appropriate.
  - 4. The Work has been completed in accordance with the Contract Documents, and all deficiencies noted by the Material Manufacturer's Representative and the Contractor's Representative have been corrected.
  - 5. The Work is completed and ready for final observation.
- B. Within a reasonable time after receipt of certification, the Engineer will schedule a final observation. The Owner's Representative, the Material Manufacturer's Representative (where appropriate), the Contractor, and the Engineer will meet at the project to verify satisfactory completion.
- C. When the Engineer finds the work acceptable under the Contract Documents, he shall request the Contractor to make the closeout submittals.

##### 1.03 CONTRACTOR'S CLOSE-OUT SUBMITTAL TO THE ENGINEER:

- A. The Closeout submittal shall be complete and submitted to the Engineer as a single package, and it shall contain:
  - 1. Release of Liens from all subcontractors and material suppliers.
  - 2. Executed Manufacturer's Warranty (where applicable)
  - 3. Application for Final Payment using AIA Documents G702 Application and Certification and G703 Continuation Sheet, or other documents required by contract (if applicable).

**END OF SECTION 01 77 00**

## SECTION 05 12 00

### STRUCTURAL STEEL FRAMING

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. Section includes: Replacement and reinforcement of structural steel framing.
  - 1. Structural steel

##### 1.02 DEFINITIONS

- A. Structural Steel: Structural steel indicated on Drawings and as described in AISC 303, Code of Standard Practice for Steel Buildings and Bridges.

##### 1.03 SUBMITTALS

- A. Product Data: Submit product data for each product.
- B. Shop Drawings: Fabrication of structural-steel components and plan layout of materials, including connections.
- C. Qualifications
- D. Welding certificates
- E. Field quality-control and special inspection reports

##### 1.04 QUALITY ASSURANCE

- A. Certificates: AWS D1.1, Structural Welding Code - Steel
- B. Compliance with:
  - 1. AISC 303
  - 2. AISC 360

#### PART 2 - PRODUCTS

##### 2.01 PERFORMANCE REQUIREMENTS

- A. Connections:
  - 1. Select and complete connections using details indicated on plans.
  - 2. Submit for review and approval all alternate connectors.

##### 2.02 STRUCTURAL – STEEL MATERIALS

- A. Plate and bar - ASTM A36

B. Angles (L-Shapes) – ASTM A36

C. Electrodes for welding - E70XX

### **2.03 ANCHORS, BOLTS AND CONNECTORS**

A. High-strength bolts, nuts, and washers:

1. ASTM A325, Type 1, structural bolts, heavy-hex steel
2. ASTM A563, Grade C, nuts, heavy-hex carbon-steel
3. ASTM F 36, Type 1, washers, hardened carbon-steel
4. Hot-dip galvanized

B. Steel threaded rods:

1. ASTM A36 or ASTM A307, Grade B
2. Hot-dip galvanized

### **2.04 PRIMER**

A. Primer: Fabricator's standard lead and chromate-free, non-asphaltic, rust-inhibiting primer complying with MPI#79 and compatible with topcoat.

### **2.05 FABRICATION**

A. Fabricate and assemble structural steel in shop. Fabrication AISC 303, Code of Standard Practice for Steel Buildings and Bridges, and to AISC 360.

### **2.06 SHOP PRIMING**

A. Shop prime steel surfaces except the following:

1. Surfaces to be field welded.
2. Galvanized surfaces.

B. Surface Preparation: Clean surfaces to be painted. Remove loose rust and mill scale and spatter, slag, or flux deposits.

C. Priming: Immediately after surface preparation, apply primer according to manufacturer's written instructions and at rate recommended by SSPC to provide a minimum dry film thickness of 1.5 mils. Use priming methods that result in full coverage of joints, corners, edges, and exposed surfaces.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. Verify with certified steel erector present that existing conditions are per drawings and details.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### **3.02 ERECTION**

- A. Set structural steel accurately in locations and to elevations indicated and according to AISC 303.
- B. Maintain erection tolerances of structural steel within AISC 303, Code of Standard Practice for Steel Buildings and Bridges.

### **3.03 FIELD CONNECTIONS**

- A. Weld connections: Comply with AWS D1.1 for tolerances, appearances, welding procedure specifications, weld quality, and methods used in correcting welding work.
  - 1. Comply with AISC 303 for bearing, alignment, adequacy of temporary connections, and removal of paint on surfaces adjacent to field welds.
  - 2. Remove backing bars or runoff tabs, back gouge, and grind steel smooth.
  - 3. Assemble and weld built-up sections by methods that maintain true alignment of axes without exceeding tolerances in AISC 303, Code of Standard Practice for Steel Buildings and Bridges, for mill material.

### **3.04 PREPARATION**

- A. Prepare and paint existing steel framing as indicated in the project drawings, on all exposed sides. See Division 05 Section "Steel Field Recoating" for preparation and painting instruction.

### **3.05 FIELD QUALITY CONTROL**

- A. The engineer will visit the site on a periodic basis to observe the conditions. Coordinate with the engineer to ensure:
  - 1. Material verification.
  - 2. Weld inspection.
  - 3. Inspection of connections.
- B. Field reports are to be distributed to the Engineer, the General Contractor and the Owner.

**END OF SECTION 05 12 00**

**SECTION 07 31 00**

**ASPHALT SHINGLE ROOFING SYSTEM**

**PART 1 - GENERAL**

**1.01 SECTION INCLUDES**

- A. Asphalt roofing shingles.
- B. Leak barrier and roof deck protection.
- C. Metal flashing associated with shingle roofing.
- D. Attic ventilation.

**1.02 REFERENCE STANDARDS**

- A. The latest published edition of a reference shall be applicable to this Project unless identified by a specific edition date.
- B. All reference amendments adopted prior to the effective date of this Contract shall be applicable to this Project.

<b>REFERENCED STANDARDS</b>	
<b>American Society for Testing and Materials (ASTM)</b>	
ASTM A 653/A 653M	Standard Specification for Steel Sheet, Zinc Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process.
ASTM B 209	Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate
ASTM D 3018	Standard Specification for Class A Asphalt Shingles Surfaced with Mineral Granules
ASTM D 3161	Standard Test Method for Wind-Resistance of Asphalt Shingles (Fan-Induced Method)
ASTM D 3462	Standard Specification for Asphalt Shingles Made From Glass Felt and Surfaced with Mineral Granules
ASTM D 4586	Standard Specification for Asphalt Roof Cement, Asbestos-Free
ASTM D 7158	Standard Test Method for Wind-Resistance of Sealed Asphalt Shingles (Uplift Force/Uplift Resistance Method)

<b>REFERENCED STANDARDS</b>	
ASTM E 903	Standard Test Method for Solar Absorptance, Reflectance, and Transmission of Materials Using Integrating Spheres
<b>Underwriters Laboratories (UL) - Roofing Systems and Materials Guide (TGFU R1306)</b>	
UL 790	Tests for Fire Resistance of Roof Covering Materials
UL 997	Wind Resistance of Prepared Roof Covering Materials
UL 2218	Impact Resistance of Prepared Roof Covering Materials
<b>Asphalt Roofing Manufacturers Association (ARMA)</b>	
<b>Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) - Architectural Sheet Metal Manual</b>	
<b>National Roofing Contractors Association (NRCA) – Roofing Manual</b>	
<b>American Society of Civil Engineers (ASCE)</b>	
ASCE 7	Minimum Design Loads for Buildings and Other Structures

### 1.03 DEFINITIONS

- A. Roofing Terminology: Refer to ASTM D1079 and the glossary of the National Roofing Contractors Association (NRCA) Roofing and Waterproofing Manual for definitions of roofing terms related to this section.

### 1.04 SUBMITTALS

- A. Submit under provisions of Section 01 33 00.
- B. Submit copies of manufacturer’s product data sheet for each type of roofing product.
- C. Submit physical sample for color selection to Owner.

### 1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Provide all primary roofing products, including shingles, underlayment, leak barrier, and ventilation, by a single manufacturer.
- B. Installer Qualifications: Installer must be certified by the manufacturer for installation of all roofing products to be installed under this section.

## **1.06 REGULATORY REQUIREMENTS**

- A. Provide a roofing system achieving an Underwriters Laboratories (UL) Class A fire classification.
- B. Install all roofing products in accordance with all federal, state and local building codes.
- C. All work shall be performed in a manner consistent with current OSHA guidelines.

## **1.07 DELIVERY, STORAGE, AND HANDLING**

- A. Store all products in manufacturer's unopened, labeled packaging until they are ready for installation.
- B. Store products in a covered, ventilated area, at temperature not more than 110 degrees F (43 degrees C); do not store near steam pipes, radiators, or in direct sunlight.
- C. Store bundles on a flat surface. Maximum stacking height shall not exceed manufacturer's recommendations. Store all rolls on end.
- D. Store and dispose of solvent-based materials in accordance with all federal, state and local regulations.

## **1.08 WEATHER CONDITIONS**

- A. Remove only as much roofing in a day as can be fully replaced during that same day.
- B. Proceed with work only when existing and forecasted weather conditions will permit work to be performed in accordance with manufacturer's recommendations. Except for special circumstances, removal of roofing should not occur on days where the chance of precipitation exceeds 40% according to the National Weather Service.

## **1.09 WARRANTY**

- A. Provide to the Owner a manufacturer's standard warranty coverage for materials in the event of a material defect.
  - 1. Manufacturing defects: 100% coverage for materials for 10 years.
  - 2. Warranted against algae discoloration for 10 years.
  - 3. The cost of the warranty, including any required manufacturer's inspections shall be included in the bid price.
- B. Workmanship Warranty: Application limited warranty for 2 years.



## **PART 2 - PRODUCTS**

### **2.01 MANUFACTURERS**

- A. Approved Manufacturers:
  - 1. GAF
  - 2. Owens Corning
  - 3. Certainteed
- B. Requests for substitutions will be considered in accordance with provisions of Section 01 25 00.

### **2.02 SHINGLES**

- A. Granule surfaced, self-sealing asphalt shingle with a fiberglass reinforced core and integral algae discoloration protection, with a 5-5/8-inch exposure and complying with ASTM D3018, Type 1 and the following:
  - 1. UL 790: Class A rated
  - 2. ASTM D 7158, Class H;
  - 3. ASTM D 3161, Class F
- B. Basis of Design Product:
  - 1. TruDefinition Duration by Owens Corning
- C. Color: To match existing, as selected by Owner from manufacturers' full range.

### **2.03 HIP AND RIDGE SHINGLES**

- A. Self-sealing hip and ridge cap shingle matching the color of selected roof shingle.

### **2.04 STARTER STRIP**

- A. Self-sealing starter shingle designed for roof shingles.

### **2.05 LEAK BARRIER**

- A. Self-adhering, self-sealing, bituminous leak barrier surfaced with fine, skid-resistant granules.

### **2.06 SHINGLE UNDERLAYMENT**

- A. Breathable, ultraviolet (UV) stabilized polypropylene underlayment.
  - 1. Meets or exceeds ASTM D226.
  - 2. Approved by UL and ICC.

## **2.07 ROOFING CEMENT**

- A. Asphalt Plastic Roofing Cement meeting the requirements of ASTM D 4586, Type I or II.

## **2.08 ROOF ACCESSORIES**

- A. Exterior acrylic rust resistant aerosol roof accessory paint.

## **2.09 ATTIC VENTILATION**

- A. Soffit/Under Eave Vents
  - 1. Use under soffit eave vents to provide the minimum required sizes. Ensure that the net free ventilation area of the soffits is equal to or greater than that of the ridge vents.
  - 2. Basis of Design: MasterFlow™ EAP Soffit Vent by GAF®.

## **2.10 NAILS**

- A. Standard round wire, zinc-coated steel or aluminum; 10 to 12 gauge, smooth, barbed or deformed shank, with heads 3/8 inch (9mm) to 7/16 inch (11mm) in diameter. Length must be sufficient to penetrate into solid wood at least 3/4 inch (19mm) or through plywood or oriented strand board by at least 1/8 inch (3.18mm).

## **2.11 METAL FLASHING**

- A. 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. Do not begin installation until the roof deck has been properly prepared.
- B. If roof deck preparation is the responsibility of another installer, notify the engineer or building owner of unsatisfactory preparation before proceeding.

### **3.02 PREPARATION**

- A. Remove all existing roofing down to the roof deck.
- B. Verify that the deck is dry, sound, clean and smooth. It shall be free of any depressions, waves, and projections. Cover with sheet metal, all holes over 1 inch (25mm) in diameter, cracks over 1/2 inch (12mm) in width, loose knots and excessively resinous areas.
- C. Replace damaged or deteriorated deck with new materials of equal thickness and type. Secure new decking with 8d nails spaced 6-inches on center around perimeter of sheet and 12-inches on center in the field.

- D. Clean deck surfaces thoroughly prior to installation of eave protection membrane and underlayment.
- E. At areas that receive eave protection membrane, fill knotholes and cracks with latex filler.

### 3.03 INSTALLATION OF UNDERLAYMENTS

- A. General:
  - 1. Install using methods recommended by manufacturer and in accordance with local building codes.
  - 2. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.
- B. Eaves:
  - 1. Install eave edge metal flashing tight with fascia boards; lap joints 2 inches (51mm) and seal with plastic cement or high quality urethane sealant; nail at the top of the flange.
  - 2. Install leak barrier up the slope from eave edge a full 36 inches (914mm) minimum, or as required to extend a minimum of 24 inches (610 mm) upslope of the exterior wall. Lap ends 6 inches (152mm) and bond.
- C. Valleys:
  - 1. Install protection membrane at least 36 inches (914mm) wide and centered on the valley. Lap ends 6 inches (152mm) and seal.
  - 2. Where not otherwise indicated, install closed cut valleys in accordance with all shingle manufacturer's requirements.
  - 3. Where valleys are indicated to be "open valleys", install metal flashing over leak barrier before roof deck protection is installed; DO NOT nail through the flashing. Secure the flashing by nailing at 18 inches (457 mm) on center just beyond edge of flashing so that nail heads hold down the edge.
- D. Hips and Ridges:
  - 1. Install leak barrier along entire lengths. If ridge vents are to be installed, position the leak barrier so that the ridge slots will not be covered.
- E. Roof Deck:
  - 1. Install one layer of roof deck protection over the entire area not protected by leak barrier at the eaves or valley. Install sheets horizontally so water sheds and nail in place.
    - a. On roofs sloped at more than 4:12, lap horizontal edges at least 2 inches (51mm) and at least 2 inches (51mm) over eaves protection membrane,

unless additional lapping is required by the manufacturer's installation instructions.

2. Lap ends at least 4 inches (102 mm). Stagger end laps of each layer at least 36 inches (914 mm).
3. Lap roof deck protection over leak barrier in valley at least 6 inches (152mm).

F. Penetrations:

1. Vertical walls: Install eave protection membrane extending at least 6 inches (152mm) up the wall and 12 inches (305mm) on to the roof surface. Lap the membrane over the roof deck underlayment.

### 3.04 INSTALLATION OF STARTER SHINGLES

A. General:

1. Install in accordance with manufacturer's instructions and local building codes.
2. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.

B. Refer to manufacturer's application instructions for the selected starter strip shingles.

C. Placement and Nailing:

1. Install starter strip containing sealant or cement shingles to underlayment and each other in a 4" (102mm) width of asphalt plastic roof cement.
2. Place starter strip shingles 1/4" – 3/4" (6 – 19mm) over eave and rake edges to provide drip edge.
3. Nail approximately 1-1/2" – 3" (38 – 76mm) above the butt edge of the shingle.
4. Rake starter course should overlap eave edge starter strip at least 3" (76mm).

### 3.05 INSTALLATION OF SHINGLES

A. General:

1. Install in accordance with manufacturer's instructions and local building codes.
2. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.
3. Minimize breakage of shingles by avoiding dropping bundles on edge, by separating shingles carefully (not by "breaking" over ridge or bundles), and by taking extra precautions in temperatures below 40 degrees F (4 degrees C).
4. Handle carefully in hot weather to avoid scuffing the surfacing, or damaging the shingle edges.

B. Placement and Nailing:

1. Beginning with the starter strip, trim shingles so that they “nest” within the shingle located beneath it. This procedure will yield a first course that is typically 3 inch (76mm) to 4 inch (102mm) rather than a fully exposed shingle.
2. Laterally, offset the new shingles from the existing keyways, to avoid waves or depressions caused by excessive dips in the roofing materials.
3. Using the bottom of the tab on installed shingles, align subsequent courses.
4. Secure with 6 nails per shingle per manufacturer’s instructions or local codes.
5. Placement of nails varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.
6. Shingle offset varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.

C. Valleys

1. Install valleys using the "closed cut valley" method, unless noted otherwise.
  - a. Run the first course of shingles from the higher roof slope across the valley at least 12 inches (305mm).
  - b. Run succeeding courses of shingles from the lower roof slope across the valley at least 12 inches (305mm) and nail not closer than 6 inches (152mm) to center of valley.
  - c. Run shingles from the upper roof slope into the valley and trim 2 inches (51mm) from the center line.

### 3.06 INSTALLATION OF ATTIC VENTILATION

A. General

1. Ventilation must meet or exceed current F.H.A., H.U.D. and local code requirements.
2. Net free ventilating area shall not be less than 1/300th of the area of the space ventilated.

B. Soffit ventilation

1. Install eave vents as specified on the project documents. Ensure eave vents are provided with proper baffling to prevent insulation from blocking eave vents. Additionally, if truss heel blocking will impede ventilation, contact Engineer for direction.

### **3.07 PROTECTION**

- A. Protect installed products from foot traffic until completion of the project.
- B. Any roof areas that are not completed by the end of the workday are to be protected from moisture and contaminants.

**END OF SECTION 07 31 00**

**SECTION 07 46 01**

**CEMENT BOARD SIDING**

**PART 1 - GENERAL**

**1.01 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract apply to this Section.
- B. Specifications throughout all Divisions of the Project Manual are directly applicable to this Section, and this Section is directly applicable to them.

**1.02 SUMMARY**

- A. Furnish materials, labor, equipment, and services necessary for and incidental to the execution and completion of the following:
  - 1. Fiber cement lap siding, panels, shingle, trim, fascia, moulding and accessories.
  - 2. Weather resistive barrier and accessories.
  - 3. Self-adhered flashings.
  - 4. Metal flashings associated with siding.
  - 5. Sealants associated with siding.

**1.03 REFERENCE STANDARDS**

- A. The latest published edition of a reference shall be applicable to this Project unless identified by a specific edition date.
- B. All reference amendments adopted prior to the effective date of this Contract shall be applicable to this Project.

<b>REFERENCED STANDARDS</b>	
<b>American Society for Testing and Materials (ASTM)</b>	
ASTM A653	Standard Specification for Steel Sheet, Zinc-Coated (galvanized) or Zinc-Iron Alloy-Coated (galvannealed) by the Hot-Dip Process
ASTM C920	Standard Specification for Elastomeric Joint Sealants
ASTM C1186	Specification for Flat Fiber-Cement Sheets
ASTM C1193	Standard Guide for Use of Joint Sealants
ASTM D882	Test Method for Tensile Properties of Thin Plastic Sheeting
ASTM D1117	Standard Guide for Evaluating Non-woven Fabrics

<b>REFERENCED STANDARDS</b>	
ASTM D1970	Standard Specifications for Self-Adhering Polymer Modified Bituminous Sheet Materials Used as Steep Roofing Underlayment for Ice Dam Protection
ASTM D3359	Test Method for Measuring Adhesion by Tape Test, Tool and Tape
ASTM D3652	Standard Test Method for Thickness of Pressure-Sensitive Tapes
ASTM E84	Test Method for Surface Burning Characteristics of Building Materials
ASTM E96	Test Method for Water Vapor Transmission of Materials
ASTM E136	Test Method for Behavior of Materials in a Vertical Tube Furnace
ASTM E1677	Specification for Air Retarder Material or System for Framed Building Walls
ASTM E2112	Standard Practice for Installation of Exterior Windows, Doors, and Skylights
ASTM E2178	Test Method for Air Permeance of Building Materials
<b>Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) - Architectural Sheet Metal Manual</b>	

#### **1.04 SUBMITTALS**

- A. Submit under provisions of Section 01 33 00.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
  - 1. Preparation instructions and recommendations.
  - 2. Storage and handling requirements and recommendations.
  - 3. Installation methods.
- C. Shop Drawings: Provide detailed drawings of atypical non-standard applications of cementitious siding materials and/or conditions which are outside the scope of the standard details and specifications provided by the manufacturer. Shop drawings are to show the extent and type of each material, including any required fastening and fastener types.



## **1.05 QUALITY ASSURANCE**

- A. Installer Qualifications: Minimum of 2 years experience with installation of similar products.
- B. Source Responsibility: The provided exterior wall system, including the weather-resistive barrier (and accessories), self-adhered flashings, metal flashings, sealants, and siding/trim products shall be manufactured by a single manufacturer, or by as few manufacturers as is practical. Regardless of number of manufacturers, all products shall be acceptable to the siding manufacturer in order to provide the required warranties, and shall be compatible with each other.
- C. Sheet metal items not specifically noted on the Drawings or in the specification shall be in accordance with recommendations of The Architectural Sheet Metal Manual published by Sheet Metal and Air-Conditioning Contractors National Association, Inc. (SMACNA).

## **1.06 DELIVERY, STORAGE, AND HANDLING**

- A. Store products in manufacturer's unopened packaging until ready for installation, in compliance with all manufacturer's requirements for product storage and handling.
- B. Store siding on edge or lay flat on a smooth level surface. Protect edges and corners from chipping. Store sheets under cover and keep dry prior to installing.
- C. Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction.
- D. Unload, store, and install sheet metal flashing materials and fabrications in a manner to prevent bending, warping, twisting and surface damage. Store color-coated sheet metal in manner that will protect it from exposure to UV effects, until the time of installation. Avoid damage to the finished surface during fabrication, transport, and installation.

## **1.07 PROJECT CONDITIONS**

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.
- B. Ensure the building interior is protected from water infiltration throughout the duration of the project.

## **1.08 WARRANTY**

- A. Siding Products Warranty:
  - 1. Lap siding: Limited, non-pro-rated product warranty, 30 years.
  - 2. Trim boards: Limited, product warranty, 15 years.
- B. Weather-Resistive Barrier Product Warranty:
  - 1. Limited Weatherization Warranty, 10 years.

- C. Self-Adhered Flashings Product Warranty:
  - 1. Manufacturer's standard product warranty, 5 years.
- D. Sealants Product Warranty:
  - 1. Manufacturer's standard product warranty, 5 years. Workmanship Warranty: Application limited warranty for 2 years.
- E. Metals Product Warranty:
  - 1. Manufacturer's written product and finish warranty, 20 years

## **PART 2 - PRODUCTS**

### **2.01 SIDING**

- A. Fiber cement siding products suitable for application on vertical walls and primed for painted finish.
  - 1. Performance Characteristics:
    - a. ASTM C 1186 Type A Grade II.
    - b. ASTM E 136: noncombustible material.
    - c. ASTM E 84: Flame Spread Index = 0, Smoke Developed Index = 5.
  - 2. Acceptable Manufacturers:
    - a. James Hardie Building Products, Inc. (Basis of Design)
    - b. Allura
    - c. Approved Equivalent
  - 3. Basis of Design Products:
    - a. Lap Siding: HardiePlank HZ5
    - b. Trim: 5/4 HardieTrim HZ5

### **2.02 SIDING ACCESSORIES**

- A. Wood Framing Fasteners: 8d box ring common corrosion resistant nails.

## **2.03 WEATHER-RESISTIVE BARRIER**

- A. Provide spunbonded polyolefin, non-woven, non-perforated, weather barrier and related assembly components.
  - 1. Minimum Performance Characteristics:
    - a. Water Vapor Transmission: 15 perms, when tested in accordance with ASTM E96-05, Method A.
    - b. Water Penetration Resistance: 250 cm when tested in accordance with AATCC Test Method 127.
    - c. Basis Weight: 1.8 oz/yd<sup>2</sup>, when tested in accordance with TAPPI Test Method T-410.
    - d. Air Resistance: 1200 seconds, when tested in accordance with TAPPI Test Method T-460.
    - e. Tear Resistance: 8/6 lbs, when tested in accordance with ASTM D1117.
  - 2. Acceptable Products:
    - a. HardieWrap by James Hardie Building Products, Inc. (Basis of Design)
    - b. Tyvek CommercialWrap by Dupont
    - c. Barricade Wrap Plus by Barricade Building Products
    - d. No substitutions accepted

## **2.04 WEATHER RESISTIVE BARRIER ACCESSORIES**

- A. Manufacturer's standard seam tape.
- B. Manufacturer's required fasteners. Provide caps with all fasteners, unless specifically prohibited by manufacturer's requirements.

## **2.05 SELF-ADHERED FLASHING**

- A. Black colored rubberized asphalt adhesive integrally bonded to polyethylene. Membrane shall be interleaved with silicone-coated release paper until installed.
  - 1. Performance Requirements:
    - a. Meets or exceeds the requirements set forth in AAMA 711-13 voluntary specification for self-adhered flashing Level 2 requirement for elevated temperature exposure.
    - b. Meets or exceeds the requirements set forth in ASTM E2112 for Flashing Exterior Windows and Doors

- c. Water Penetration around Nails: ASTM D1970 Section 7.9, modified per section 5.2.1 of AAMA 711 voluntary specification – Pass 1.2 in head of water
  - d. Thickness: ASTM 3652 – Min 20 mils
2. Acceptable Products:
- a. HardieWrap by James Hardie Building Products, Inc. (Basis of Design)
  - b. StraightFlash by DuPont
  - c. Vycor Plus by GCP Applied Technologies, Inc.
  - d. Approved Equivalent

## **2.06 SELF-ADHERED FLASHING ACCESSORIES:**

### **A. Primer:**

- 1. Description: Water-based primer which imparts an aggressive, high tack finish on the treated substrate.
  - a. Flash Point: No flash to boiling point
  - b. Solvent Type: Water
  - c. VOC Content: Not to exceed 10 g/L
  - d. Application Temperature: -4°C (25°F) and above
  - e. Freezing point (as packaged): -7°C (21°F)

## **2.07 SEALANTS**

### **A. Single-component polyurethane sealant for use in building façade joints and at joints between dissimilar materials.**

- 1. Performance Requirements:
  - a. ASTM C920 compliant
  - b. Color selected and approved by Owner
- 2. Acceptable Products:
  - a. Sikaflex 1c by Sika Corporation
  - b. MasterSeal NP-1 by BASF Corporation
  - c. Approved Equivalent
- 3. Provide sealant tests of compatibility and staining of surrounding construction.

4. Non-sag sealants shall be used for vertical joints and cove/fillet beads.

## 2.08 SEALANT ACCESSORIES

- A. Backer Rod: ASTM C1330, Type B, bi-cellular material with surface skin, non-staining, non-gassing, rod with 25 to 50 percent greater diameter than the width of the joint. Backer rod shall be compatible with sealant and recommended by the sealant manufacturer.
- B. Primer: Provide non-staining, quick-drying type and consistency recommended by joint sealant manufacturer where required for adhesion of sealant to joint substrates indicated, as determined from preconstruction joint sealant-substrate and field tests.
- C. Cleaners for Nonporous Surfaces: Provide non-staining, chemical cleaner of type acceptable to manufacturer of sealant and sealant backing materials which are not harmful to substrates and adjacent nonporous materials.
- D. Masking Tape: Provide non-staining, non-absorbent type compatible with joint sealants and to surfaces adjacent to joints.
- E. Bond Breaker Tape: Polyethylene tape or other plastic tape as recommended by sealant manufacturer for preventing bond between sealant and joint filler or other materials at back surface of joint. Provide self-adhesive tape where applicable.

## 2.09 METAL FLASHINGS

- A. Color-coated steel: Kynar 500 fluoropolymer coating factory applied to 24-gauge galvanized steel, ASTM A653.
  1. Color shall be selected by owner from the manufacturer's standard colors.
  2. Acceptable materials:
    - a. ColorKlad by Ryerson
    - b. Pac-Clad by Petersen Aluminum Corporation
    - c. Approved equal.
  3. Fabrication:
    - a. General: Custom fabricate sheet metal flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item indicated and in accordance with Aluminum Association Aluminum Sheet Metal Work in Building Construction. Shop fabricate items where practicable. Obtain field measurements for accurate fit before shop fabrication.
    - b. Fabricate sheet metal flashing and trim in thickness or weight needed to comply with performance requirements, but not less than that specified for each application and metal.

- c. Fabricate sheet metal flashing and trim without excessive oil canning, buckling, and tool marks and true to line and levels indicated, with exposed edges folded back to form hems.
- d. Form pieces in 8 ft maximum lengths. Make allowance for expansion at joints.
- e. Hem exposed edges on underside 1/2". Miter and seal corners with sealant.
- f. Form sections square, true and accurate to size, free from distortion and other defects detrimental to appearance or performance.

## **2.10 METAL FLASHING ACCESSORIES**

- A. Fasteners are to be composed of the same material as the flashings. Exposed fasteners through sheet metal shall match new sheet metal color.
  - 1. Zinc or cadmium plated for galvanized steel.
  - 2. Fasteners exposed to the weather shall have EPDM washers under heads to ensure watertightness.
    - a. EPDM bonded washers:
      - i. Fabco Fastening System Weath-R-Seal Bonded Washers
      - ii. Best Materials EPDM Sealing Washers
      - iii. Approved equal
- B. Butyl Sealant: ASTM C 1311, single-component, solvent-release butyl rubber sealant, polyisobutylene plasticized, heavy bodied for hooked-type expansion joints with limited movement.
- C. Dissimilar metals:
  - 1. Where dissimilar materials occur, provide written notification to the Engineer.
  - 2. Coating for Dissimilar Metals: Bitumastic paint or as required to be compatible with adjacent materials and finishes. Coordinate requirements with paint systems and coatings furnished under Division 09 Section "Painting".
- D. Metal Accessories: Sheet metal clips, straps, anchoring devices, and similar accessory units as required for installation of work, matching or compatible with material being installed, non-corrosive, size and gauge as required for performance.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. Do not begin installation until substrates have been properly prepared.

- B. If framing preparation is the responsibility of another trade, notify the Engineer of unsatisfactory preparation before proceeding.
- C. Installation of materials implies that Contractor has inspected and accepts the existing conditions.
- D. Nominal 2-inch by 4-inch (51 mm by 102 mm) wood framing selected for minimal shrinkage and complying with local building codex. Minimum 1-1/2 inches (38 mm) face and straight, true, of uniform dimensions and properly aligned.
  - 1. Install water-resistive barriers and claddings to dry surfaces.
  - 2. Repair any punctures or tears in the water-resistive barrier prior to the installation of the siding.
  - 3. Protect siding from other trades.

### **3.02 PREPARATION**

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Install a water-resistive barrier as required in accordance with local building code requirements.
- D. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements.

### **3.03 WEATHER BARRIER INSTALLATION**

- A. Install weather barrier over exterior face of exterior wall substrate in accordance with manufacturer recommendations.
- B. Start weather barrier installation at a building corner, leaving 6-12 inches of weather barrier extended beyond corner to overlap.
- C. Install weather barrier in a horizontal manner starting at the lower portion of the wall surface. Maintain weather barrier plumb and level.
- D. Where applicable, extend bottom roll edge over sill plate interface 2" to 3" minimum. Seal weather barrier with sealant or tape. Shingle weather barrier over back edge of thru-wall flashings and seal weather barrier to flashing with sealant or tape. Ensure weeps are not blocked.
- E. Subsequent layers shall overlap lower layers a minimum of 6 inches horizontally in a shingling manner.
- F. Window and Door Openings: Extend weather barrier completely over openings.
- G. Weather Barrier Attachment:

1. Attach weather barrier to studs through exterior sheathing. Secure using weather barrier manufacturer recommended fasteners, space 12 -18 inches vertically on center along stud line, and 24 inch on center, maximum horizontally.

### **3.04 WEATHER RESISTIVE BARRIER SEAMING**

- A. Seal seams of weather barrier with seam tape at all vertical and horizontal overlapping seams.
- B. Seal any tears or cuts as recommended by weather barrier manufacturer.

### **3.05 OPENING PREPARATION (ALTERNATES #1 AND #2 ONLY)**

- A. Flush cut weather barrier at edge of sheathing around full perimeter of opening.
- B. Cut a head flap at 45-degree angle in the weather barrier at window head to expose 8 inches of sheathing. Temporarily secure weather barrier flap away from sheathing with tape.
- C. Cut weather barrier in an “I-cut” pattern.
  1. Cut weather barrier horizontally along the bottom and top of the window opening.
  2. From the top center of the window opening, cut weather barrier vertically down to the sill.
  3. Cut off side and bottom weather barrier flaps into window opening and fasten.
- D. Cut a head flap at 45-degree angle in the weather barrier membrane at window head to expose 8 inches of sheathing. Temporarily secure weather barrier membrane flap away from sheathing with tape.

### **3.06 OPENING FLASHING (ALTERNATES #1 AND #2 ONLY)**

- A. General installation requirements for self-adhered flashings:
  1. Precut pieces of flashing to easily handled lengths for each location.
  2. Remove silicone-coated release paper and position flashing carefully before placing it against the surface.



3. When properly positioned, place against surface by pressing firmly into place by hand roller. Fully adhere flashing to substrate to prevent water from migrating under flashing.
  4. Do not expose flashing membrane to sunlight for more than the manufacturer's stated maximum UV exposure limit prior to enclosure.
- B. Cut 9-inch wide self-adhering flashing a minimum of 18 inches longer than width of sill rough opening. Apply primer as recommended by the manufacturer.
  - C. At windows, tuck under existing window sill flange (at flanged windows), or align with edge of sill opening (at non-flanged windows).
  - D. Apply 9-inch wide strips of self-adhered flashing at jambs. At flanged windows, fully overlap mounting flange. At non-flanged windows, align flashing with interior edge of jamb framing. Extend jamb flashing 9-inches above top of rough opening and below bottom edge of sill flashing.
  - E. Install head flashing metal, as required by ASTM E2112, window manufacturer's installation instructions, and/or siding manufacturer's requirements, whichever is most stringent. Do not use pieces of flashing metal less than 2-feet in length.
  - F. Apply 9-inch wide strip of self-adhered flashing as head flashing, overlapping the mounting flange (at flanged windows) or with the bottom edge aligned with the top of the rough opening (at non-flanged windows). Head flashing should extend 1-inch beyond outside edges of both jamb flashings, and shall lap over the vertical leg of the head flashing metal.
  - G. On exterior, install backer-rod in joint between window frame and flashed rough framing. Apply sealant at jambs and head, leaving sill unsealed. Apply sealants in accordance with sealant manufacturer's instructions and ASTM C1193.
  - H. Position weather barrier head flap across head flashing. Adhere using 4-inch wide self-adhering flashing over the 45-degree seams.
  - I. Tape head flap in accordance with manufacturer recommendations.

### **3.07 LAP SIDING INSTALLATION**

- A. Install materials in strict accordance with manufacturer's installation instructions.
- B. Starting: Install a minimum 1/4 inch (6 mm) thick lath starter strip at the bottom course of the wall. Apply planks horizontally with minimum 1-1/4 inches (32 mm) wide laps at the top. The bottom edge of the first plank overlaps the starter strip.
- C. Allow minimum vertical clearance between the edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
- D. Align vertical joints of the planks over framing members.
- E. Maintain clearance between siding and adjacent finished grade.

- F. Locate splices at least one stud cavity away from window and door openings. Stagger splices between adjacent siding boards a minimum of two stud cavities.

### **3.08 SIDING TRIM INSTALLATION**

- A. Fasten through trim into structural framing or code complying sheathing. Fasteners must penetrate minimum 3/4 inch (19 mm) or full thickness of sheathing. Additional fasteners may be required to ensure adequate security.
- B. Place fasteners no closer than 3/4 inch (19 mm) and no further than 2 inches (51 mm) from side edge of trim board and no closer than 1 inch (25 mm) from end. Fasten maximum 16 inches (406 mm) on center.
- C. Maintain clearance between trim and adjacent finished grade.
- D. Trim inside corner with a single board trim both sides of corner.
- E. Outside Corner Board: Attach Trim on both sides of corner with 16 gage corrosion resistant finish nail 1/2 inch (13 mm) from edge spaced 16 inches (406 mm) apart, weather cut each end spaced minimum 12 inches (305 mm) apart.
- F. Allow 1/8-inch gap between trim and siding.
- G. Seal gap with specified sealant. Tool all sealants concave.
- H. Shim frieze board as required to align with corner trim.

### **3.09 PROTECTION**

- A. Protect installed products until completion of project.
- B. Touch-up, repair, or replace damaged products before Substantial Completion.

**END OF SECTION 07 46 01**

## SECTION 08 32 16

### VINYL SLIDING GLASS DOORS

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. Section Includes:
  - 1. Sliding Glass, Vinyl-Framed Patio/Balcony Doors
- B. Related Sections:
  - 1. Division 07 Section "Cement Board Siding"
  - 2. Division 08 Section "Vinyl Windows"

##### 1.02 SUBMITTALS

- A. Reference Section 01 33 00 – Submittals and Mockups; submit following items:
  - 1. Product Data: Submit manufacturer's product data for each door type, to include the U-factor and SHGC of the products to be installed to verify compliance with the code requirements.
  - 2. Shop Drawings: Include door schedule, elevations, sections, details, & multiple-door assembly details. Include head, sill & jamb conditions; operable parts & direction/handing; and special mullion reinforcement details.
  - 3. Samples: Submit selection samples for verification, include the following:
    - a. Exterior Color: Minimum 1x4 color chips on fiberglass substrate
    - b. Glass.
  - 4. Qualifications: Proof of Manufacturer's qualifications.
  - 5. U-Factor and Structural Rating charts required for NFRC and AAMA labeling requirements.
  - 6. Installation Instructions: AAMA 2400, ("Mounting Flange Installation") or other standard as applicable to the manufacturer.
  - 7. Temporary door labels to identify doors that labels were applied to.
  - 8. Owner's Manual/Maintenance Instructions.
  - 9. Special Warranties.

### **1.03 QUALITY ASSURANCE**

- A. Overall Standards: Comply with ANSI/AAMA/101/I.S.2, except where noted herein.
- B. Manufacturer Qualifications:
  - 1. Minimum 10 years experience in producing vinyl doors.
  - 2. Member AAMA & NFRC.
- C. Certifications for Insulated Glass Units:
  - 1. Insulated glass units are certified to ASTM E2188/E2190 per the Associated Laboratories Incorporated (ALI) guidelines.
- D. AAMA: Doors shall be Gold Label certified with label attached to frame per AAMA requirements.
- E. NFRC: Doors shall be NFRC certified with temporary U-factor label applied to glass and an NFRC tab added to permanent AAMA frame label.

### **1.04 DELIVERY, STORAGE AND HANDLING**

- A. Comply with Manufacturer's/Dealer's ordering instructions and lead time requirements to avoid construction delays.
- B. Delivery: Deliver materials in Manufacturer's standard packaging for protection of product.
- C. Storage & Protection: Store products away from exposure to environmental conditions that may be harmful to materials.
- D. Store materials off ground in an upright position. Provide cover from weather and construction activity.
- E. Follow Manufacturer's instructions on label applied to units.

### **1.05 WARRANTY**

- A. Commercial Warranty:
  - 1. 10 Year Warranty.
  - 2. Warranty doors against defects in materials and workmanship including costs for replacement parts and skilled labor.

## **PART 2 - PRODUCTS**

### **2.01 SYSTEM REQUIREMENTS**

- A. Provide pre-manufactured door units to include frames constructed of polyvinyl chloride (PVC), glazing, and accessories.
- B. General Performance Requirements: Products and systems provided must be manufactured, fabricated, and installed to the following performance criteria:

1. Comply with ANSI/AAMA/NWDA 101/I.S.2, except as noted herein
  2. Performance Class: CW
  3. Performance Grade: 30
  4. U-Factor (NFRC 100): 0.63 maximum
  5. SHGC – Solar Heat Gain Coefficient (NFRC 200): 0.33 maximum
- C. Structural Requirements: Products and systems provided must be capable of withstanding wind loads based on testing units representative of those indicated for Project that pass AAMA/NWDA 101/I.S.2/NAFS, Uniform Structural Load Test:
1. Design Wind Loads:
    - a. Design Wind Speed (Ultimate): 115 mph (per City of Louisville Amendments)
    - b. Exposure Category: B (per City of Louisville Amendments)
    - c. Wind Load Requirement: +22.7 / -29.7 psf

## 2.02 DOOR TYPES

- A. Sliding Patio Door –1-3/8” nail fin setback, XO configuration:
1. Frame: 4-5/8” minimum depth. Multi-chambered vinyl profile.
  2. Panel: 2-3/4” x 1-1/2” minimum. Multi-chambered vinyl profile.
  3. Sill: 4-5/8” x 1-1/2” high. Multi-chambered vinyl profile.
  4. Sightlines: Equal for operating and fixed panel(s).
  5. Hardware:
    - a. Handle and lock: Interior and exterior pull with lever-operated multi-point lock.
    - b. Rollers: Dual stainless steel, 1-3/16” diameter. Raised monorail stainless steel track.
  6. Weatherstripping: Fin seal polypropylene pile.
  7. Basis of Design Product: “Trinsic V300” Series by Milgard Windows and Doors.

## 2.03 FRAME MATERIALS

- A. Frame Extrusions: Integral color PVC compound containing impact-resistant solid plasticizer, titanium dioxide UV inhibitor, and surface and color stabilizers.
- B. Weatherstripping: Fin seal polypropylene pile

## **2.04 GLAZING MATERIALS**

### **A. Tempered Insulated Glass Units: ASTM E 774, Class A:**

1. Glazing Type: Clear glass with Low-E coating and spacer as appropriate to meet the required U-factor and SHGC performance requirements.
  - a. Basis of Design: “SunCoat Low-E/Clear” by Milgard Windows and Doors
2. Overall IG Unit Thickness:
  - a. 1”
3. Spacer Type: As required to meet the required U-factor and SHGC performance requirements.
  - a. Basis of Design: “Intercept”
4. Gas Filled: Air
5. Glass Thickness: Per Manufacturer’s Specifications for Wind Design Criteria

## **2.05 GRIDS/GRILLES/MUNTINS**

- A. Do not include grids, grilles, or muntins.

## **2.06 INSECT SCREENS**

### **A. Sliding Screen: Include manufacturer’s standard screen with the following properties.**

1. Hardware:
  - a. Lock: Lever action.
  - b. Rollers: 2 adjustable nylon rollers each at top and bottom.
2. Screen cloth: Charcoal colored fiberglass mesh.
3. Screen Frame: Rolled Formed Steel Frame

## **2.07 FABRICATION**

- A. Fabricate frames and panels with mitered and fusion welded corners and joints.
- B. Trim and finish corners and welds to match adjacent surfaces.
- C. Provide concealed metal reinforcements in panel frame for attachment of lock mechanism.
- D. Factory exterior glaze with snap-on mitered PVC glazing stops. Insulated glass units shall be reglazable without dismantling sash framing.

## **2.08 FINISH**

- A. Frame and Sash Color:

1. Exterior: As selected by Owner from Manufacturer's standard colors.
    - a. For bidding purposes, assume White.
  2. Interior matched to exterior.
- B. Hardware:
1. Interior: matched to interior frame finish.
  2. Exterior: matched to exterior frame finish.
- C. Screen Frame Color: Matched to exterior frame color

## **2.09 SOURCE QUALITY CONTROL**

- A. Inspect doors in accordance with Manufacturer's Quality Control Program as required by AAMA Gold Label Certification.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. Examine openings in which doors will be installed.
1. Verify that framing complies with AAMA 2400 (Mounting Flange Installation) and manufacturer's installation requirements.
  2. Verify that fasteners in framed walls are fully driven and will not interfere with door installation.
- B. Correct unsatisfactory conditions prior to installation of doors.
- C. Commencement of work by installer is acceptance of substrate conditions.

### **3.02 INSTALLATION**

- A. Install doors in framed walls in accordance with AAMA 2400 ("Mounting Flange Installation") and manufacturer's installation instructions.
- B. Do not remove temporary labels.
- C. Install insect screens on operable doors.

### **3.03 CLEANING AND FINISHING**

- A. Remove all debris created by door installation from the project site and properly dispose.
- B. Remove temporary labels and retain for Closeout Submittals.
- C. Clean soiled painted surfaces and glass using a mild detergent and warm water solution with soft, clean cloths.

**END OF SECTION 08 32 16**

## SECTION 08 53 13

### VINYL WINDOWS

#### PART 1 - GENERAL

##### 1.01 SUMMARY

###### A. Section Includes:

1. Horizontal Sliding windows
2. Picture windows
3. Glazing
4. Accessories

###### B. Related Sections:

1. Division 07 Section "Cement Board Siding"
2. Division 08 Section "Vinyl Sliding Glass Doors"

##### 1.02 SUBMITTALS

###### A. Reference Section 01 33 00 – Submittals and Mockups; submit following items:

1. Product Data: Submit manufacturer's product data for each door type, to include the U-factor and SHGC of the products to be installed to verify compliance with the code requirements.
2. Shop Drawings: Include door schedule, elevations, sections, details, & multiple-door assembly details. Include head, sill & jamb conditions; operable parts & direction/handing; and special mullion reinforcement details.
3. Samples: Submit selection samples for verification, include the following:
  - a. Exterior Color: Minimum 1x4 color chips on fiberglass substrate
  - b. Glass.
4. Qualifications: Proof of Manufacturer's qualifications.
5. U-Factor and Structural Rating charts required for NFRC and AAMA labeling requirements.
6. Installation Instructions: AAMA 2400, ("Mounting Flange Installation") or other standard as applicable to the manufacturer.
7. Temporary door labels to identify doors that labels were applied to.
8. Owner's Manual/Maintenance Instructions.



9. Special Warranties.

**1.03 QUALITY ASSURANCE**

- A. Overall Standards: Comply with ANSI/AAMA/101/I.S.2, except where noted herein.
- B. Manufacturer Qualifications:
  - 1. Minimum 10 years experience in producing vinyl doors.
  - 2. Member AAMA & NFRC.
- C. Certifications for Insulated Glass Units:
  - 1. Insulated glass units are certified to ASTM E2188/E2190 per the Associated Laboratories Incorporated (ALI) guidelines.
- D. AAMA: Doors shall be Gold Label certified with label attached to frame per AAMA requirements.
- E. NFRC: Doors shall be NFRC certified with temporary U-factor label applied to glass and an NFRC tab added to permanent AAMA frame label.

**1.04 DELIVERY, STORAGE AND HANDLING**

- A. Comply with Manufacturer's/Dealer's ordering instructions and lead time requirements to avoid construction delays.
- B. Delivery: Deliver materials in Manufacturer's standard packaging for protection of product.
- C. Storage & Protection: Store products away from exposure to environmental conditions that may be harmful to materials.
- D. Store materials off ground in an upright position. Provide cover from weather and construction activity.
- E. Follow Manufacturer's instructions on label applied to units.

**1.05 WARRANTY**

- A. Commercial Warranty:
  - 1. 10 Year Warranty.
  - 2. Guarantee windows against defects in materials and workmanship including costs for replacement parts and labor.

**PART 2 - PRODUCTS**

**1.1 MATERIALS**

- A. Integral color PVC compound containing impact-resistant solid plasticizer, titanium dioxide UV inhibitor, and surface and color stabilizers.

## 2.01 SYSTEM REQUIREMENTS

- A. Provide pre-manufactured window units to include frames constructed of polyvinyl chloride (PVC), glazing, and accessories.
- B. General Performance Requirements: Products and systems provided must be manufactured, fabricated, and installed to the following performance criteria:
  - 1. Comply with ANSI/AAMA/NWDA 101/I.S.2, except as noted herein
  - 2. Performance Class: CW
  - 3. Performance Grade: 30
  - 4. U-Factor (NFRC 100): 0.45 maximum
  - 5. SHGC – Solar Heat Gain Coefficient (NFRC 200): 0.33 maximum
- C. Structural Requirements: Products and systems provided must be capable of withstanding wind loads based on testing units representative of those indicated for Project that pass AAMA/NWDA 101/I.S.2/NAFS, Uniform Structural Load Test:
  - 1. Design Wind Loads:
    - a. Design Wind Speed (Ultimate): 115 mph (per City of Louisville Amendments)
    - b. Exposure Category: B (per City of Louisville Amendments)
    - c. Wind Load Requirement: +22.7 / -29.7 psf

## 2.02 WINDOW TYPES

- A. Horizontal Slider – 1-3/8” nail fin setback, XO configuration
  - 1. Frame: 2-7/8” minimum depth. Multi-chambered vinyl profile.
  - 2. Sash: 1-3/16” minimum depth. Multi-chambered vinyl profile.
  - 3. Sightlines: Equal sightlines between fixed and operable sashes.
  - 4. Hardware:
    - a. Direct action locking mechanism.
      - i. Unlocking: Lock shall function such that the unlocking and movement of the sash are performed with the same continuous motion.
      - ii. Locking: Lock shall function such that the locking mechanism shall be actuated automatically upon closing of the sash.
    - b. Nylon rollers, extruded vinyl snap-on monorail roller track.

5. Weatherstripping: Fin seal polypropylene pile.
6. Basis of Design Product: “Tinsic V300” Series by Milgard Windows and Doors.

B. Picture Window - 1-3/8” nail fin setback.

1. Frame: 2-7/8” minimum depth. Multi-chambered vinyl profile.
2. Basis of Design Product: “Tinsic V300” Series by Milgard Windows and Doors.

### **2.03 FRAME MATERIALS**

- A. Frame Extrusions: Integral color PVC compound containing impact-resistant solid plasticizer, titanium dioxide UV inhibitor, and surface and color stabilizers.

### **2.04 GLAZING MATERIALS**

A. Tempered Insulated Glass Units: ASTM E 774, Class A:

1. Glazing Type: Clear glass with Low-E coating and spacer as appropriate to meet the required U-factor and SHGC performance requirements.
  - a. Basis of Design: “SunCoat Low-E/Clear” by Milgard Windows and Doors
2. Overall IG Unit Thickness:
  - a. 1”
3. Spacer Type: As required to meet the required U-factor and SHGC performance requirements.
  - a. Basis of Design: “Intercept”
4. Gas Filled: Air
5. Glass Thickness: Per Manufacturer’s Specifications for Wind Design Criteria

### **2.05 GRIDS/GRILLES/MUNTINS**

- A. Do not include grids, grilles, or muntins.

### **2.06 INSECT SCREENS**

- A. Provide tight fitting screen (with hardware) for operating windows.
1. Screen Frame: Roll formed aluminum frame.
  2. Screen Mesh: Charcoal colored fiberglass mesh.

### **2.07 FABRICATION**

- A. Fabricate frames and panels with mitered and fusion welded corners and joints.
- B. Trim and finish corners and welds to match adjacent surfaces.

- C. Provide concealed metal reinforcements in panel frame for attachment of lock mechanism.
- D. Factory exterior glaze with snap-on mitered PVC glazing stops. Insulated glass units shall be reglazable without dismantling sash framing.

## **2.08 FINISH**

### **A. Frame and Sash Color:**

- 1. Exterior: As selected by Owner from Manufacturer's standard colors.
  - a. For bidding purposes, assume White.
- 2. Interior matched to exterior.

### **B. Hardware:**

- 1. Interior: matched to interior frame finish.

### **C. Screen Frame Color: Matched to exterior frame color**

## **2.09 SOURCE QUALITY CONTROL**

- A. Inspect windows in accordance with Manufacturer's Quality Control Program as required by AAMA Gold Label Certification.

## **PART 3 - EXECUTION**

### **3.01 EXAMINATION**

- A. Examine openings in which windows will be installed.
  - 1. Verify that framing complies with AAMA 2400 (Mounting Flange Installation) and manufacturer's installation requirements.
  - 2. Verify that fasteners in framed walls are fully driven and will not interfere with window installation.
- B. Coordinate with responsible entity to correct unsatisfactory conditions.
- C. Commencement of work by installer is acceptance of substrate conditions.

### **3.02 INSTALLATION**

- A. Install windows in framed walls in accordance with AAMA 2400 ("Mounting Flange Installation") and manufacturer's installation instructions.
- B. Do not remove temporary labels.
- C. Install insect screens on operable windows.

### **3.03 CLEANING AND FINISHING**

- A. Remove all debris created by window installation from the project site and properly dispose.
- B. Remove temporary labels and retain for Closeout Submittals.
- C. Clean soiled painted surfaces and glass using a mild detergent and warm water solution with soft, clean cloths.

**END OF SECTION 08 53 13**

## SECTION 09 91 00

### PAINTING

#### PART 1 - GENERAL

##### 1.01 SUMMARY

- A. Section includes:
  - 1. Surface preparation, priming, and painting.
- B. Related sections:
  - 1. Section 07 46 01 – Cement Board Siding

##### 1.02 REFERENCES

- A. Code of Federal Regulations (CFR)
  - 1. 29 CFR 1910.1000, Air Contaminants
- B. Commercial Item Descriptions (CID)
  - 1. CID A-A-2904, Thinner, Paint, Mineral Spirits, Regular and Odorless
- C. Steel Structures Painting Council (SSPC)
  - 1. SSPC PA3, Safety in Paint Application (1995)
  - 2. SSPC SP1, Solvent Cleaning (1982)

##### 1.03 SUBMITTALS

- A. Product Data - Provide for the following specified products:
  - 1. Primer, include manufacturer's application instructions and material safety data sheets (MSDS)
  - 2. Paint, include manufacturer's application instructions and material safety data sheets (MSDS)
- B. Sample:
  - 1. Submit color draw down samples of paint, min 12"x12"
- C. Warranty: Signed warranty (Close-out submittal)

##### 1.04 DELIVERY, STORAGE, AND HANDLING

- A. Paints shall be in sealed containers with legible manufacturer's identifying information.

- B. Store in accordance with manufacturer's written directions, and as a minimum, stored off the ground, under cover, with sufficient ventilation to prevent the buildup of flammable vapors, and at temperatures between 40 F to 95 F.
- C. Safety Methods: Apply coating materials using safety methods and equipment in accordance with the following:
  - 1. SSPC PA3
  - 2. 29 CFR 1910.1000
  - 3. Manufacturer's material safety data sheets (MSDS)
  - 4. To protect personnel from overexposure to toxic materials, conform to the guidance of the chemical manufacturer when using mineral spirits or other chemicals. Use recommended protective clothing and equipment to avoid exposure of skin, eyes, and respiratory system. Conduct work in manner to minimize exposure of building occupants and the general public.

### **1.05 PROJECT CONDITIONS**

- A. Apply materials only in dry weather with no precipitation expected during the work period.
- B. For exterior coatings, do not apply materials when surface temperatures are less than 5° F above the dew point; or below 40° F for oil-based paints; below 50° F for latex paints; or above 95° F.

### **1.06 WARRANTY**

- A. Submit manufacturer's standard warranty covering applied paints.

### **1.07 MOCK-UPS**

- A. Prepare mock-up of paint, to include 100 square feet of wall, for final color review/acceptance by Owner.
- B. Accepted mock-up panel is considered basis of quality for the finished work. Keep mock-up exposed to view for duration of work.

## **PART 2 - PRODUCTS**

### **2.01 EXTERIOR COATING SYSTEMS:**

- A. Fiber Cement Siding System: Elastomeric painting system appropriate for application over existing fiber cement siding.
  - 1. General System
    - a. Cleaner: Coating Manufacturer's recommended cleaner

- b. Primer Coat: Acrylic Primer acceptable for use on concrete surfaces at 2-3 dry mils, if required due to substrate pH. For bidding purposes, assume primer will be required.
- c. Intermediate Coat: Acrylic Latex Coating acceptable for use on primed surfaces at 5-7 dry mils.
- d. Finish Coat: Acrylic Latex Coating acceptable for use on primed surfaces at 5-7 dry mils.
  - i. Finish color and sheen selected by Owner from manufacturer's standard colors.
    - 1) For bidding purposes, assume a low-sheen finish with two different colors, one for the trim and exposed framing and one for the siding/soffits.

2. Acceptable Products:

- a. Sherwin Williams, [www.sherwin-williams.com](http://www.sherwin-williams.com) (Basis of Design)
  - i. Primer Coat: Loxon Concrete & Masonry Primer (if required)
  - ii. Intermediate Coat: Super Paint Exterior Acrylic Latex
  - iii. Finish Coat: Super Paint Exterior Acrylic Latex
- b. Approved Equivalent, Refer to Division 01 Specification Section "Substitutions".

**2.02 ACCESSORIES**

- A. Provide all primers, sealers, cleaning agents, cleaning cloths, sanding materials, brushes, rollers, sprayers, masking, and clean-up materials required per manufacturer's specifications.

**PART 3 - EXECUTION**

**3.01 EXAMINATION AND PROTECTION**

- A. Do not begin application of coatings until substrates have been properly examined and prepared. Notify Engineer and Owner of unsatisfactory conditions in writing before proceeding.
- B. Proceed with work only after conditions have been corrected, and approved by all parties, otherwise application of coatings will be considered as an acceptance of surface conditions.
- C. Protect adjacent surfaces which are not to be painted, such as landscaping, windows, sidewalks, etc.



## 3.02 SURFACE PREPARATION

### A. General:

1. Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority. Removal must be done in accordance with EPA Renovation, Repair and Painting Rule and all related state and local regulations. Care should be taken to follow all state and local regulations which may be more strict than those set under the federal RRP Rule.
2. Proper product selection, surface preparation, and application affect coating performance. Coating integrity and service life will be reduced because of improperly prepared surfaces. Selection and implementation of proper surface preparation ensures coating adhesion to the substrate and prolongs the service life of the coating system.
3. Selection of the proper method of surface preparation depends on the substrate, the environment, and the expected service life of the coating system. Economics, surface contamination, and the effect on the substrate will also influence the selection of surface preparation methods. Consult with painting system manufacturer for proper surface preparation techniques.

B. The surface must be dry and in sound condition. Remove oil, dust, dirt, loose rust, peeling paint or other contamination to ensure good adhesion.

C. Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.

1. Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

D. No exterior painting should be done immediately after a rain, during foggy weather, when rain is predicted, or when the temperature is below 50°F, unless products are designed specifically for these conditions. On large expanses of metal siding, the air, surface and material temperatures must be 50°F or higher to use low temperature products.

E. Methods:

1. Siding: Must be clean and free of any loose material. The pH of the surface should be between 6 and 9, unless the products are designed to be used in high pH environments such as Loxon.

### 3.03 APPLICATION

A. General

1. Apply all coatings and materials with the manufacturer's specifications in mind. Mix and thin coatings according to manufacturer's recommendation.
2. Do not apply to wet or damp surfaces.
  - a. Test cementitious and/or porous substrates for moisture content prior to coating.
3. Apply coatings using methods recommended by manufacturer.
4. Uniformly apply coatings without runs, drips, or sags, without brush marks, and with consistent sheen.
5. Apply coatings at spreading rate required to achieve the manufacturer's recommended dry film thickness.
6. Regardless of number of coats specified, apply as many coats as necessary for complete hide.

B. Priming: Apply primer as recommended by the paint manufacturer.

C. Painting:

1. Apply in accordance with SSPC PA 1. Thoroughly work coating materials into joints, crevices, and open spaces. Touch up damaged coatings before applying subsequent coats.
2. Drying time: Allow time between coats, as recommended by the manufacturer, to permit thorough drying, but not to present topcoat adhesion problems. Provide each coat in specified condition to receive next coat.
3. Primers and intermediate coats: Do not allow primers or intermediate coats to dry more than 30 days, or longer than recommended by the manufacturer, before applying subsequent coats. Follow manufacturer's recommendations for surface preparation if primers or intermediate coats are allowed to dry longer than recommended by manufacturers of subsequent coatings. Each coat shall cover surface of preceding coat or surface completely, and there shall be a visually perceptible difference in shades of successive coats.
4. Finished surfaces: Provide finished surfaces free from runs, drops, ridges, waves, laps, brush marks, and variations in colors.

- D. Equipment: Apply with approved brushes, rollers or spray equipment, unless specified otherwise. Spray areas made inaccessible to brushing by items such as ducts and other equipment.
- E. Thinning of Paints: Reduce paints to proper consistency by adding fresh paint, except when thinning is mandatory for the type of paint being used. Obtain written permission from the Engineer to use thinners. The written permission shall include quantities and types of thinners to use.

### **3.04 CLEANING AND PROTECTION**

- A. Protect finished coatings from damage until completion of project.
- B. Touch-up damaged coatings after substantial completion, following manufacturer's recommendation for touch up or repair of damaged coatings. Repair any defects that will hinder the performance of the coatings.
- C. Remove excess materials adjacent to painted surfaces by means recommended by the paint manufacturer.
- D. Leave finished work in a neat, clean condition with no evidence of spillovers onto adjacent surfaces.

**END OF SECTION 09 91 00**

# BOULDER COUNTY HOUSING AUTHORITY

## BALCONY/EXTERIOR STAIR AND SIDING REPAIRS



**Balcony & Siding Repairs**  
**Boulder County Housing Authority (BCHA)**  
**Various Addresses**  
**Boulder County, Colorado**

**ISSUED FOR BIDDING - NOT FOR CONSTRUCTION**

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**G000**  
 COVER SHEET

### PROJECT TEAM

**OWNER:**  
 Boulder County Housing Authority (BCHA)  
  
 1288 Alaska Avenue  
 Longmont, CO 80501  
 Contact: Heather Dehner  
 hdehner@bouldercounty.org

**ENGINEER:**  
 Terracon Consultants, Inc. (Terracon)  
  
 10625 W Interstate-70 Frontage Road North  
 Suite 3  
 Wheat Ridge, CO 80033  
 Contact: Kade Gromowski, P.E., RBEC  
 kade.gromowski@terracon.com

SHEET INDEX			
SHEET No.	DESCRIPTION	SHEET No.	DESCRIPTION
G000	COVER	A505	SIDING DETAILS
G001	GENERAL NOTES	A506	SIDING DETAILS
A100	SITE MAP	A507	SIDING DETAILS
A200	PLAN - 1736 REGAL CT	S200	STAIR ENLARGED PLANS
A201	PLAN - 1753 REGAL CT	S201	STAIR ENLARGED PLANS
A202	PLAN - 1764 REGAL CT	S202	STAIR ENLARGED PLANS
A203	PLAN - 1781 REGAL CT	S203	STAIR ENLARGED PLANS
A204	PLAN - 1815 REGAL CT	S204	STAIR ENLARGED PLANS
A205	PLAN - 1832 REGAL CT	S205	STAIR ENLARGED PLANS
A206	PLAN - 1850 REGAL CT	S206	STAIR ENLARGED PLANS
A207	PLAN - 1867 REGAL CT	S207	STAIR ENLARGED PLANS
A208	PLAN - 1888 REGAL CT	S208	STAIR ENLARGED PLANS
A209	PLAN - 1899 REGAL CT	S210	REGAL PATIO/BALCONY PLANS
A210	PLAN - 256 REGAL PL	S220	GENESEO BALCONY PLANS
A211	PLAN - 1817 REGAL ST	S221	GENESEO BALCONY PLANS
A220	PLAN - 503 W GENESEO ST	S400	REGAL STAIR ELEVATIONS
A221	PLAN - 505 W GENESEO ST	S401	REGAL PATIO ELEVATIONS
A300	DUPLEX ELEVATIONS - REGAL	S402	REGAL BALCONY ELEVATIONS
A301	DUPLEX ELEVATIONS - REGAL	S500	REGAL STAIR DETAILS
A302	DUPLEX ELEVATIONS - REGAL	S501	REGAL STAIR DETAILS
A303	DUPLEX ELEVATIONS - REGAL	S502	REGAL STAIR DETAILS
A304	TRIPLEX ELEVATIONS - REGAL	S503	REGAL STAIR DETAILS
A305	TRIPLEX ELEVATIONS - REGAL	S504	REGAL STAIR DETAILS
A306	TRIPLEX ELEVATIONS - REGAL	S505	REGAL STAIR DETAILS
A307	TRIPLEX ELEVATIONS - REGAL	S506	REGAL STAIR DETAILS
A308	FOUR-PLEX ELEVATIONS - REGAL	S507	REGAL STAIR DETAILS
A309	FOUR-PLEX ELEVATIONS - REGAL	S510	REGAL PATIO/BALCONY DETAILS
A310	FOUR-PLEX ELEVATIONS - REGAL	S511	REGAL PATIO/BALCONY DETAILS
A500	SIDING DETAILS	S512	REGAL PATIO/BALCONY DETAILS
A501	SIDING DETAILS	S520	GENESEO BALCONY DETAILS
A502	SIDING DETAILS	S521	GENESEO BALCONY DETAILS
A503	SIDING DETAILS	S522	GENESEO BALCONY DETAILS
A504	SIDING DETAILS		

**A. DESIGN CRITERIA:**

1. REGAL SITE:
  - a. 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC), WITH CITY OF LOUISVILLE AMENDMENTS
  - b. 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH CITY OF LOUISVILLE AMENDMENTS
2. GENESEO SITE:
  - a. 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC), WITH CITY OF LAFAYETTE AMENDMENTS

**B. GENERAL NOTES:**

1. THESE GENERAL NOTES APPLY UNLESS OTHERWISE SPECIFICALLY NOTED WITHIN THE PLANS, DETAILS AND SPECIFICATIONS. CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING FIELD CONDITIONS (DIMENSIONS, QUANTITIES, PENETRATIONS, ETC.) AND COORDINATING ALL PLANS AND DETAILS PRIOR TO STARTING THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. FABRICATION, CONSTRUCTION, WORKMANSHIP AND MATERIALS ARE TO COMPLY WITH THE MOST STRINGENT REQUIREMENTS. IF THERE IS A CONFLICT BETWEEN THE PLANS, DETAILS AND SPECIFICATIONS; USE THE MOST STRINGENT THAT MEETS THE APPLICABLE BUILDING, PLUMBING CODE, AND/OR OTHER APPLICABLE CODES AS WELL AS, INDUSTRY STANDARDS.
2. WORK COVERED IN THESE PLANS, DETAILS, AND SPECIFICATIONS INCLUDES THE PIECES, PARTS, FEATURES, COMPONENTS, AND TECHNIQUES FOR A COMPLETE ASSEMBLY NORMALLY ASSOCIATED WITH WORK OF THE TYPE BEING CONSTRUCTED, WHETHER OR NOT ALL SUCH PIECES, PARTS AND COMPONENTS ARE SHOWN ON THE PLANS AND DETAILS.
3. COMPLETE AND SUBMIT TO THE OWNERS REPRESENTATIVE A PRE-CONDITION LOG WITH PHOTOS AND VIDEO IF APPLICABLE TO DOCUMENT EXISTING CONDITIONS AND DAMAGE TO THE BUILDING PRIOR TO THE START OF WORK.
4. WOOD BLOCKING AND LUMBER, EXCEPT PLYWOOD, IS TO BE No. 2 OR BETTER HEM-FIR OR DOUGLAS FIR-LARCH.
5. WOOD BLOCKING AND LUMBER IS TO BE FASTENED WITH SCREWS AND NOT NAILS UNLESS NOTED OTHERWISE, WITH ALL JOINTS STAGGERED FROM CONTIGUOUS PIECES. FASTENERS PENETRATING OR COMING INTO CONTACT WITH TREATED LUMBER ARE TO BE STAINLESS STEEL UNLESS OTHERWISE STIPULATED HEREIN.
6. FURNISH AND INSTALL PLYWOOD IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA).
7. STAINLESS STEEL SCREWS WITH BONDED NEOPRENE WASHERS ARE TO BE USED TO SECURE FLASHINGS WHEN FASTENERS ARE TO BE EXPOSED TO THE ELEMENTS IN THE FINAL CONDITION.
8. COORDINATE THE FOLLOWING WITH THE OWNER:
  - a. MOVEMENT, SHUT DOWN, OR TEMPORARY RELOCATION OF EQUIPMENT OR UTILITIES.
  - b. ALL MECHANICAL INTAKE VENTS MUST BE ADEQUATELY FILTERED TO PREVENT ALL FUMES FROM THE WORK AND MECHANIZED EQUIPMENT FROM ENTERING THE BUILDING. IF FILTERING IS NOT POSSIBLE, NO GASOLINE POWERED EQUIPMENT WILL BE ALLOWED ON THE PROJECT.
9. CLEAN THE BUILDING, GROUNDS, AND ANY SURROUNDING STRUCTURES AND RESTORE THE LANDSCAPING TO THE ORIGINAL CONDITION USING APPROVED MATERIALS.
10. ANY MECHANICAL, ELECTRICAL OR PLUMBING WORK SHALL BE COMPLETED BY A LICENSED SUBCONTRACTOR PRE-APPROVED BY THE OWNER.

**C. PLAN/ELEVATION NOTES**

1. UNLESS NOTED OTHERWISE THESE NOTES ARE APPLICABLE TO ALL PLANS/ELEVATIONS IN THIS SET OF DOCUMENTS.
2. DO NOT SCALE DRAWINGS.
3. FIELD VERIFY ALL DIMENSIONS AND LOCATIONS/QUANTITIES OF COMPONENTS.
4. CONTRACTOR IS RESPONSIBLE FOR FLASHING ALL PENETRATIONS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND/OR APPLICABLE INDUSTRY STANDARDS, REGARDLESS OF IF THE PENETRATIONS ARE DEPICTED ON THESE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY PENETRATION QUANTITY AND TYPE.

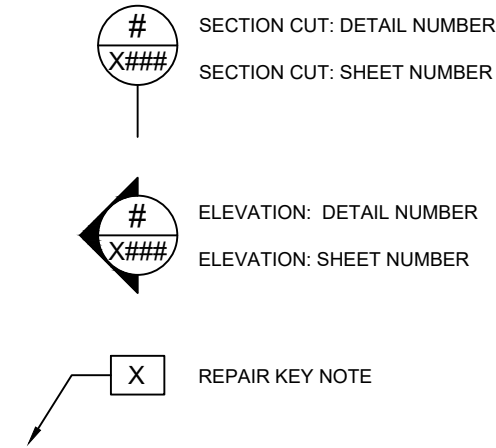
**D. ABBREVIATED SUMMARY OF WORK:**

1. WHERE INDICATED ON THESE DOCUMENTS, REMOVING, DISCARDING, AND REPLACING EXISTING SIDING/CLADDING AND WATER-RESISTIVE BARRIER AT THE REGAL PROPERTY. THIS INCLUDES REFLASHING OF ALL PENETRATIONS, INCLUDING DOORS AND WINDOWS, VENTS, HOSE BIBS, ELECTRICAL FIXTURES/RECEPTACLES, AND ANY OTHER COMPONENTS WHICH PENETRATE THE WEATHER-RESISTIVE BARRIER. THIS WORK ALSO INCLUDES ANY REQUIRED DISCONNECT/RECONNECT OF EXISTING MECHANICAL, ELECTRICAL, OR PLUMBING COMPONENTS REQUIRED TO PERFORM THIS SCOPE, AND PAINTING OF NEW SIDING. FOR BIDDING PURPOSES, CONTRACTOR TO ASSUME PAINT SCHEME OF NEW SIDING IS TO INCLUDE ONE TRIM COLOR AND ONE BUILDING COLOR ONLY.
2. INSTALLATION OF SOFFIT VENTS AT THE REGAL PROPERTY.
3. REMOVAL, SALVAGING, AND REINSTALLATION OF EXISTING DOWNSPOUTS AS REQUIRED TO PERFORM THE WORK.
4. REPLACEMENT OF EXTERIOR STAIR AND LANDING HANDRAILS/GUARDRAILS AT THE REGAL PROPERTY, TO INCLUDE REPAIRS TO STAIRS SUCH AS SUPPLEMENTAL STEEL AT STRINGER BASES, REPLACEMENT OF TREADS, REPLACEMENT OR CLEANING OF TREAD SUPPORT ANGLES, AND REPAINTING.
5. REPLACEMENT OF PATIO AND BALCONY GUARDRAILS AT THE REGAL PROPERTY.
6. REPAIRS TO THE BALCONIES AT THE GENESEO PROPERTY, TO INCLUDE FRAMING SISTERING, REMOVAL OF DETERIORATED FRAMING, REPLACEMENT OF DECKING, AND REPLACEMENT OF GUARDRAIL WALL WHERE INDICATED.
7. **ALTERNATE #1:** REPLACE EXISTING WINDOWS AT THE REGAL PROPERTY, TO BE PERFORMED CONCURRENTLY WITH THE SIDING REPLACEMENT.
8. **ALTERNATE #2:** REPLACE EXISTING SLIDIGN GLASS DOORS AT THE REGAL PROPERTY, TO BE PERFORMED CONCURRENTLY WITH THE SIDING REPLACEMENT.

**E. STANDARD ABBREVIATIONS:**

CONT	CONTINUOUS	NTS	NOT TO SCALE
DET	DETAIL	O.C.	ON CENTER
DIA	DIAMETER (OR Ø)	OPH	OPPOSITE HAND
DIM	DIMENSION	QTY	QUANTITY
DWG	DRAWING	REF	REFERENCE
EA	EACH	REQD	REQUIRED
EQ	EQUAL	REV	REVISION
EXT	EXTERIOR	SIM	SIMILAR
ELEV	ELEVATION	SPEC	SPECIFICATION
EXIST	EXISTING	STD	STANDARD
F.V.	FIELD VERIFY	THRU	THROUGH
INT	INTERIOR	TYP	TYPICAL
JT	JOINT	UNO	UNLESS NOTED OTHERWISE
MAX	MAXIMUM	V.I.F.	VERIFY IN FIELD
MIN	MINIMUM		
NIC	NOT IN CONTRACT		

**F. STANDARD SYMBOLS:**



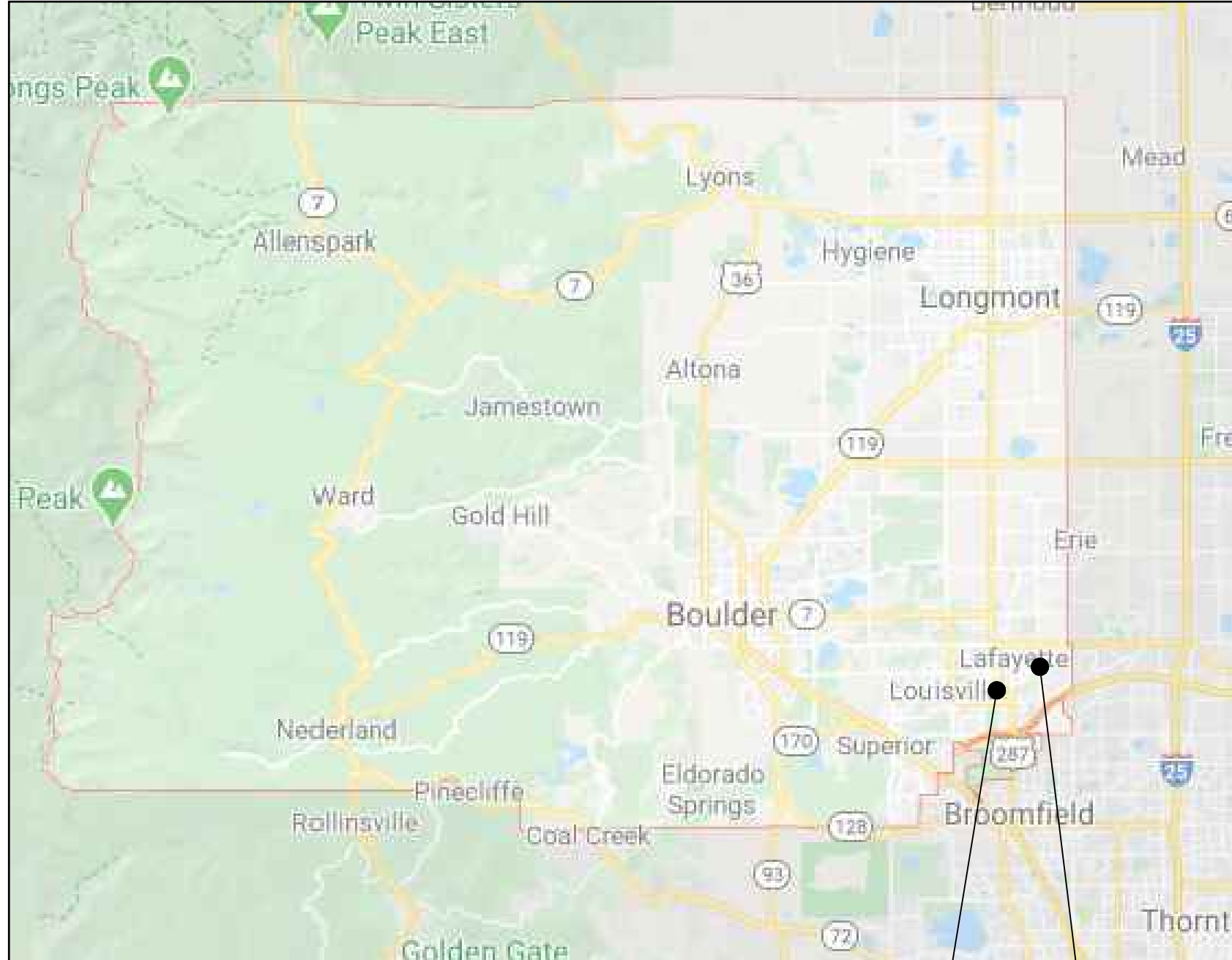
Balcony & Siding Repairs  
 Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**G001**  
 GENERAL NOTES



1 / REGAL

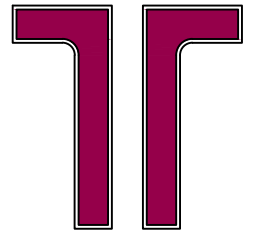
2 / GENESEO

# BOULDER COUNTY



## SITE INDEX

SITE No./NAME	ADDRESS	PLAN / ELEV.
1 / REGAL	1736 REGAL COURT, LOUISVILLE, CO 80027	A200
	1753 REGAL COURT LOUISVILLE, CO 80027	A201
	1764 REGAL COURT, LOUISVILLE, CO 80027	A202
	1781 REGAL COURT, LOUISVILLE, CO 80027	A203
	1815 REGAL COURT, LOUISVILLE, CO 80027	A204
	1832 REGAL COURT, LOUISVILLE, CO 80027	A205
	1850 REGAL COURT, LOUISVILLE, CO 80027	A206
	1867 REGAL COURT, LOUISVILLE, CO 80027	A207
	1888 REGAL COURT, LOUISVILLE, CO 80027	A208
	1899 REGAL COURT, LOUISVILLE, CO 80027	A209
	256 REGAL PLACE, LOUISVILLE, CO 80027	A210
1817 REGAL STREET, LOUISVILLE, CO 80027	A211	
2 / GENESEO	501 WEST GENESEO ST., LAFAYETTE, CO 80026	A212
	505 WEST GENESEO ST., LAFAYETTE, CO 80026	A213



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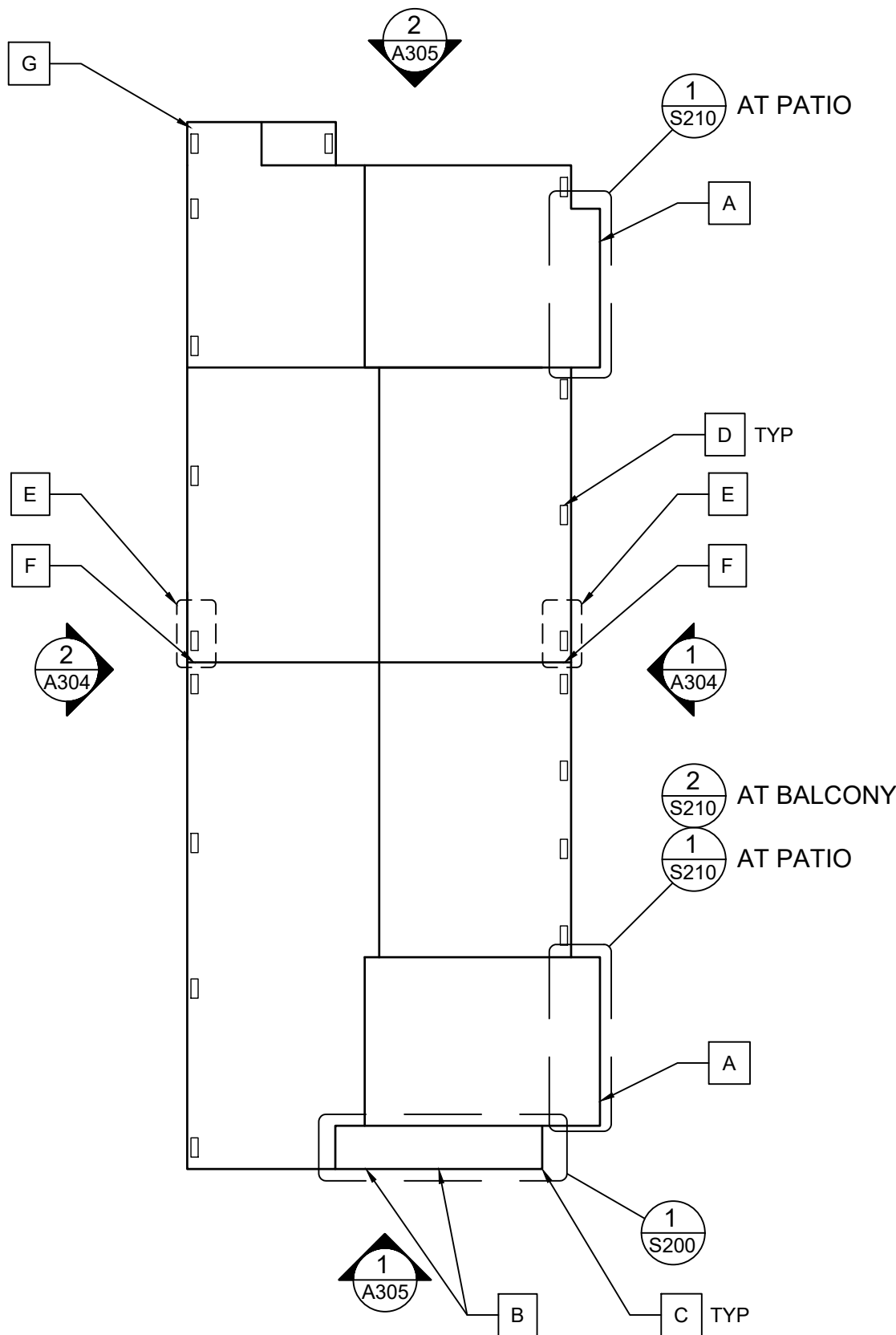
Rev.	Desc.	Date

Project No:	F6236040
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Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

# A100

OVERALL SITE PLAN



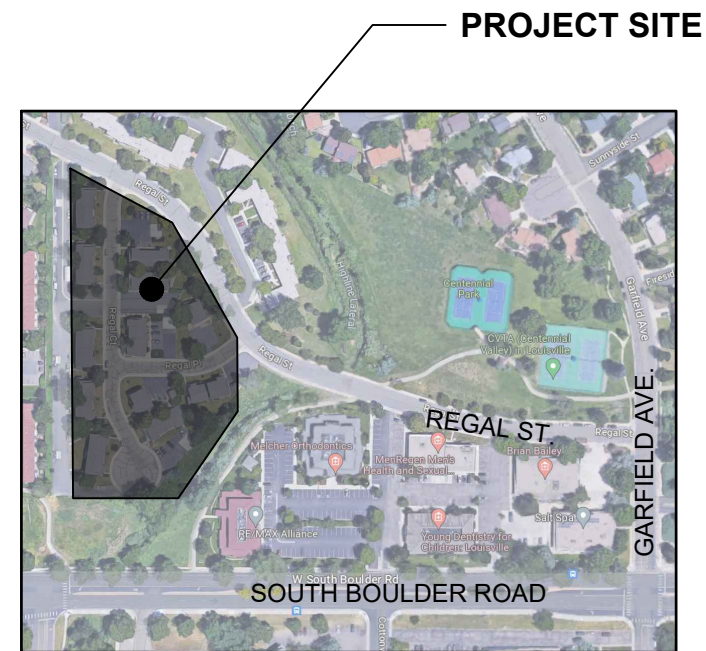


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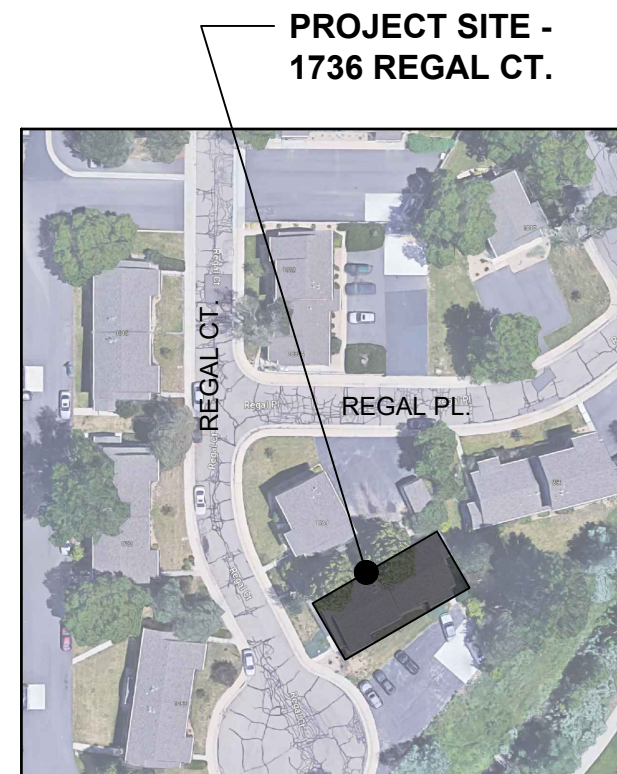
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
- B. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING STAIRS AND LANDINGS. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING FRAMING/DECKING/STRINGERS/TREADS TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
- C. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING EXPOSED COLUMN BASES.
- D. INSTALL NEW 6x16 SOFFT VENT PROVIDING APPROXIMATELY 35 SQUARE INCHES OF NET FREE VENTILATING AREA IN APPROXIMATE POSITION SHOWN. INSTALL IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, INSTALLED SUCH THAT VENTS ARE NOT PLACED OVER EXISTING FRAMING MEMBERS. AT EACH VENT INSTALLATION, CONTRACTOR TO CONFIRM THAT THERE IS NO BLOCKING BETWEEN FRAMING MEMBERS WHICH WOULD IMPEDE VENTILATION. IF SUCH BLOCKING EXISTS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER. VENTS ARE TO BE PROTECTED DURING SOFFT PAINTING TO ENSURE VENTS ARE NOT BLOCKED BY PAINT APPLICATION.
- E. REPLACE DETERIORATED PORTION OF SOFFT AT NOTED LOCATION.
- F. REPLACE ELBOW AT BASE OF EXISTING UPPER ROOF DOWNSPOUT TO DIRECT WATER DOWNSLOPE TOWARD LOWER GUTTER.
- G. INSTALL NEW ELBOW AT BASE OF DOWNSPOUT WITH MISSING ELBOW.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)** NORTH



**SITE PLAN (N.T.S.)** NORTH

**1 PLAN - 1736 REGAL CT.** Scale: 3/32"=1'-0" NORTH

10625 W. I-70 FRONTAGE RD. N., SUITE 3  
WHEAT RIDGE, CO 80033  
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Boulder County, Colorado

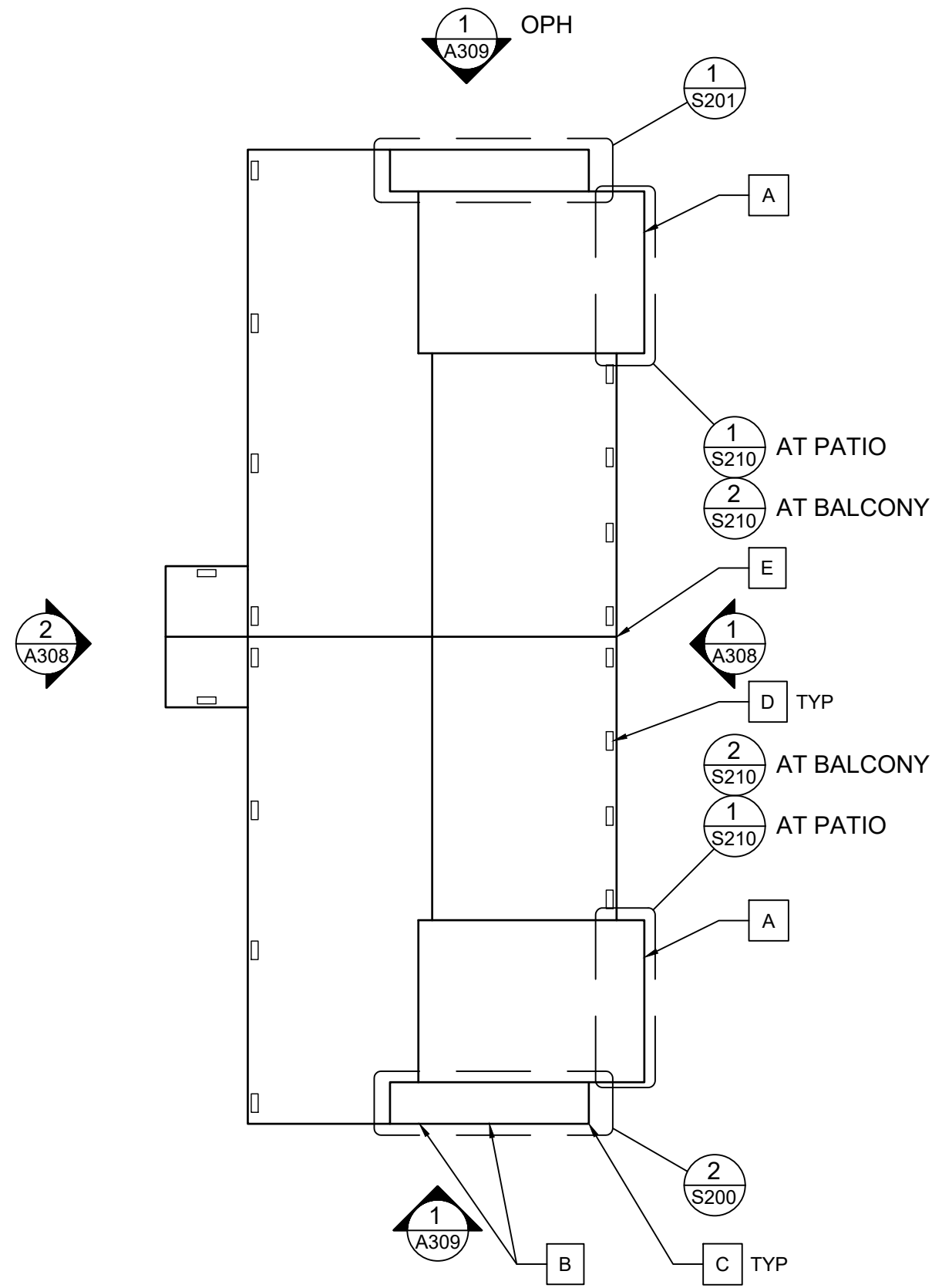
**ISSUED FOR BIDDING - NOT FOR CONSTRUCTION**

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

A200

PLAN - 1736 REGAL CT



1 PLAN - 1753 REGAL CT.

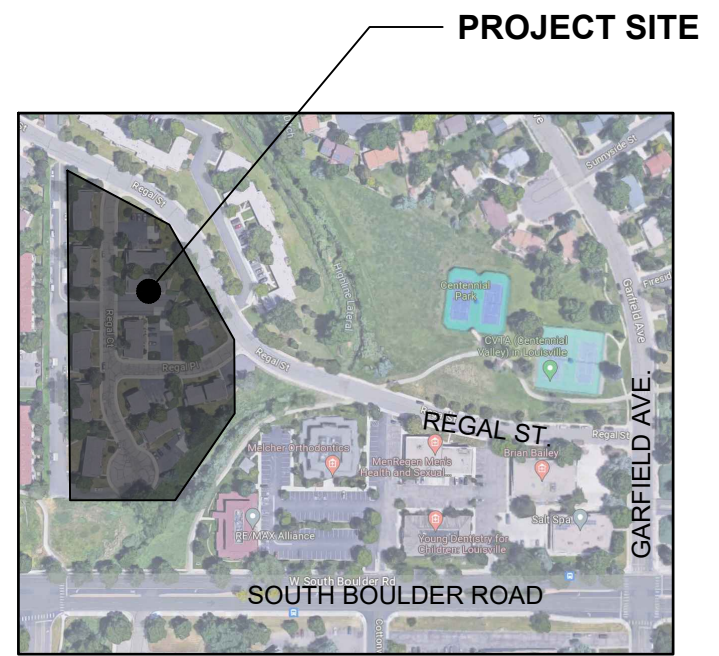
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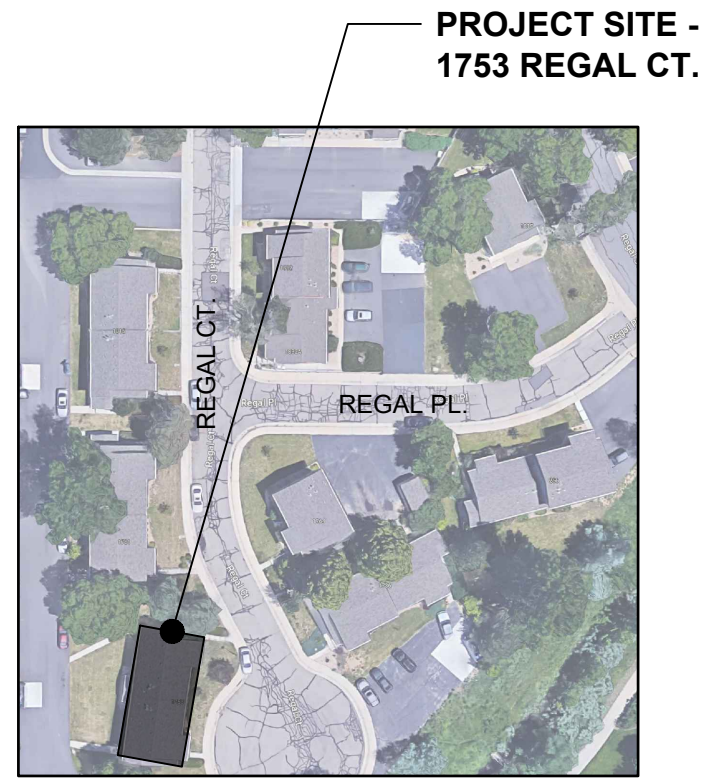
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- E. INSTALL NEW ELBOW AT BASE OF DOWNSPOUT WITH MISSING ELBOW.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



OVERALL SITE MAP (N.T.S.) NORTH



SITE PLAN (N.T.S.) NORTH

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Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A201**  
PLAN - 1753 REGAL CT

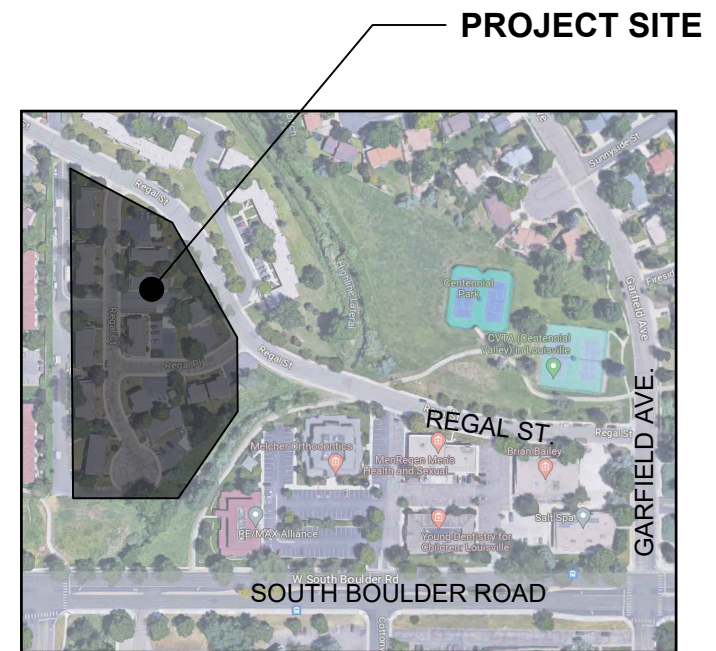


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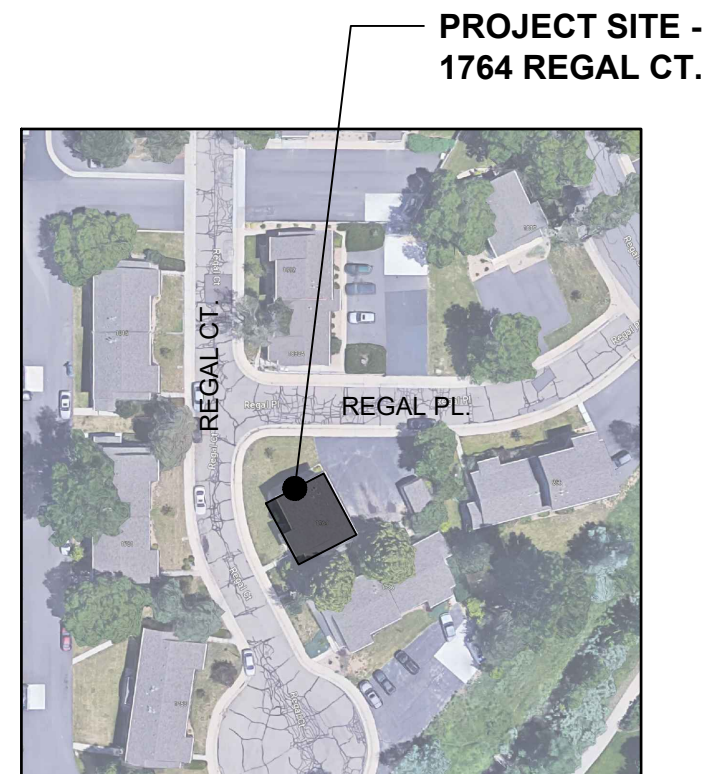
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- E. REFASTEN DISPLACED PORTION OF SOFFT AT NOTED LOCATION.

**PLAN NOTES:**

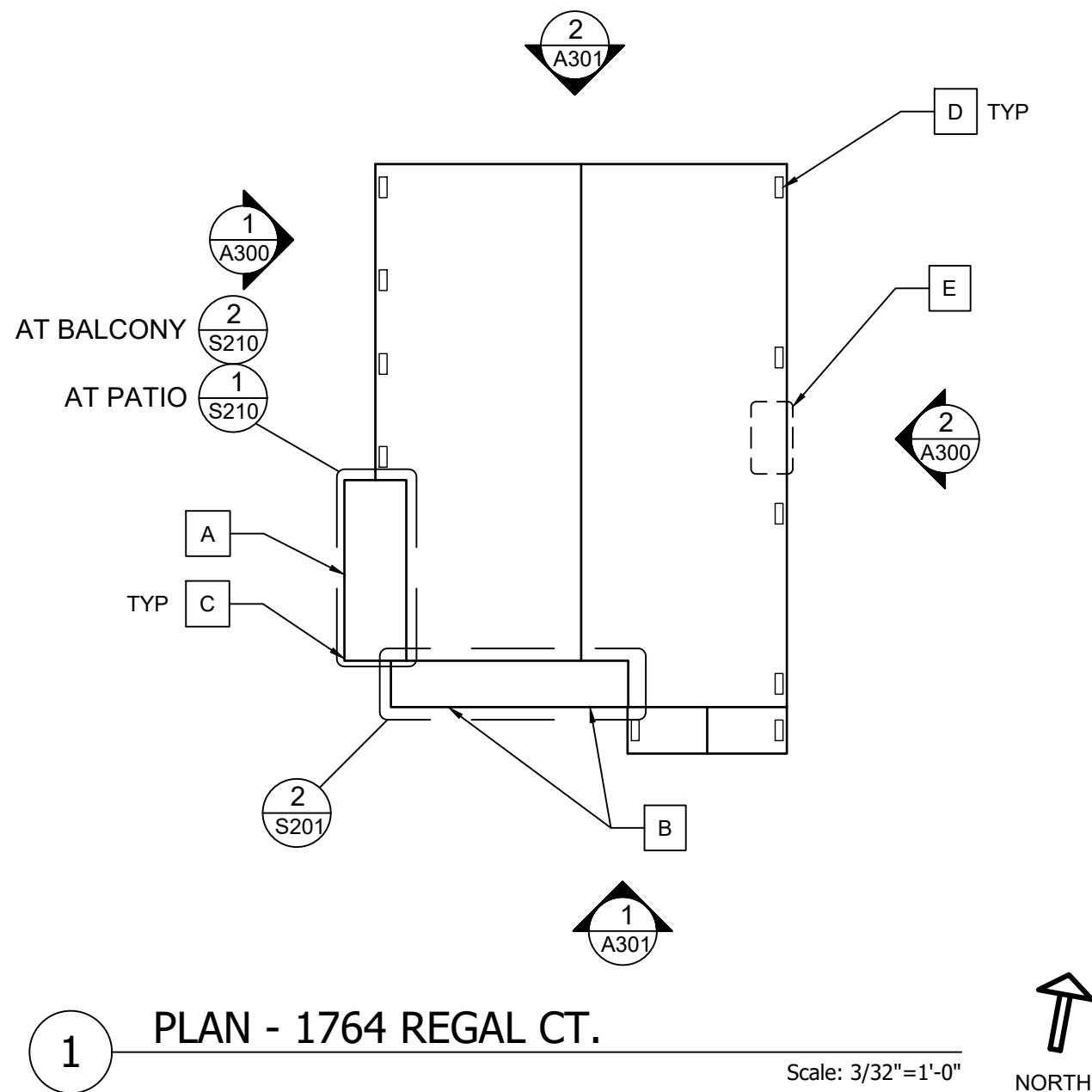
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



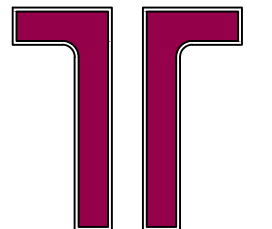
**OVERALL SITE MAP (N.T.S.)**  
NORTH



**SITE PLAN (N.T.S.)**  
NORTH



**1 PLAN - 1764 REGAL CT.**  
Scale: 3/32"=1'-0"  
NORTH



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Boulder County Housing  
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Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A202**

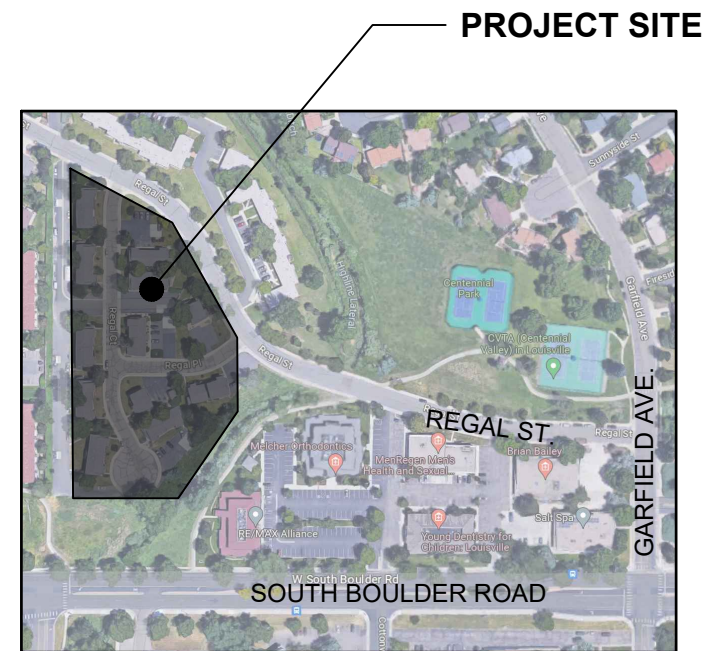
PLAN - 1764 REGAL CT.

**REPAIR KEY NOTES:**

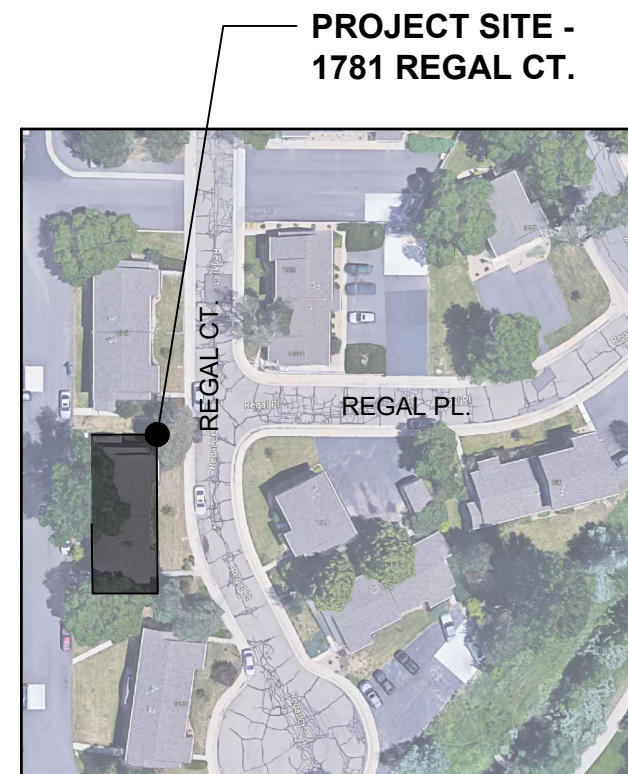
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- E. REPLACE DETERIORATED SHEATHING AT BASE OF WALL IN THIS LOCATION DURING SIDING REPLACEMENT.
- F. CLEAN CORROSION FROM EXISTING HOLLOW STEEL DOOR AND REPAINT.

**PLAN NOTES:**

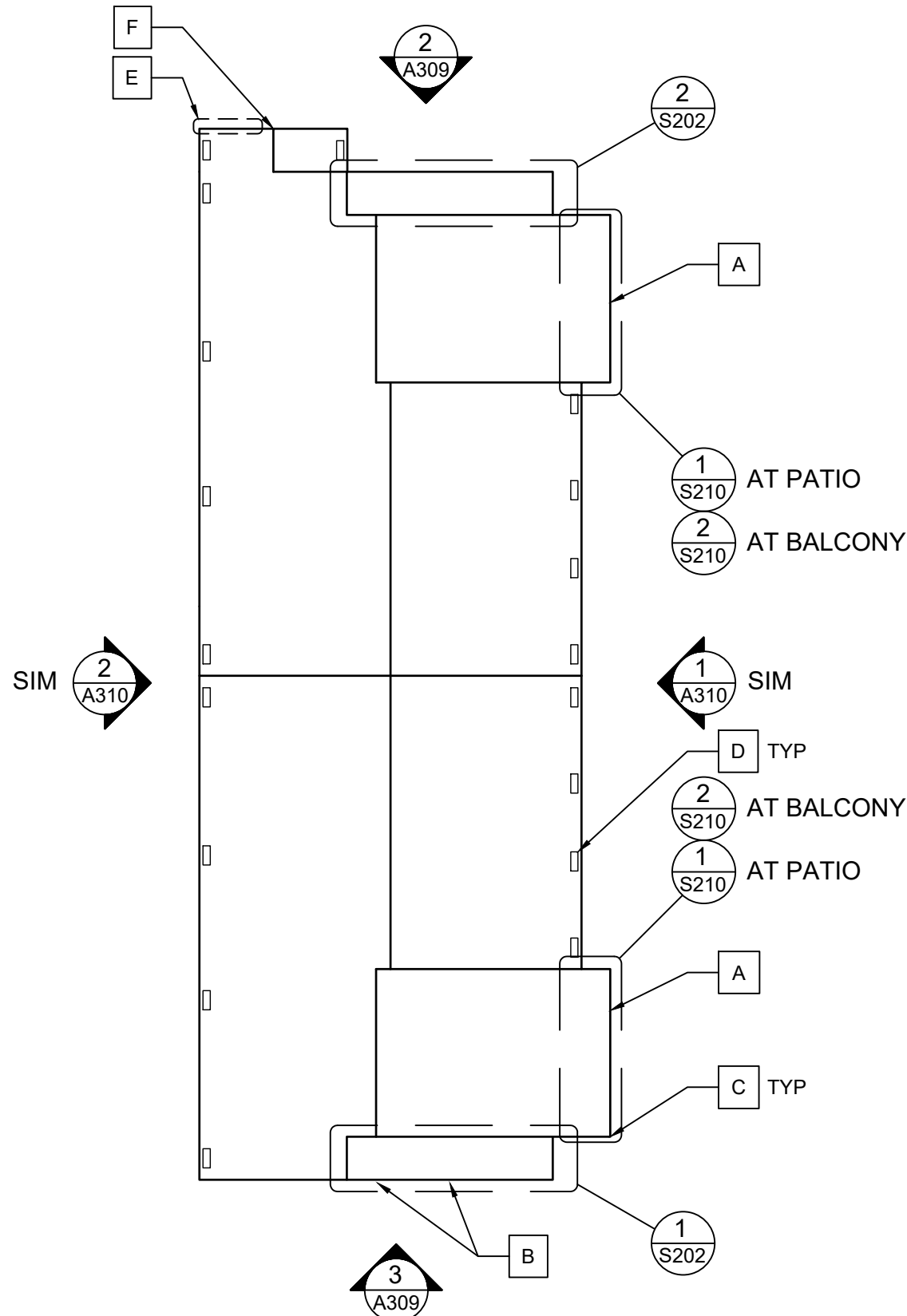
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)**  NORTH

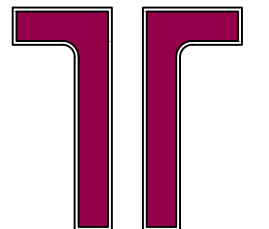
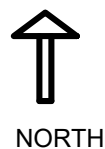


**SITE PLAN (N.T.S.)**  NORTH



**1 PLAN - 1781 REGAL CT.**

Scale: 3/32"=1'-0"



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Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A203**

PLAN - 1781 REGAL CT.

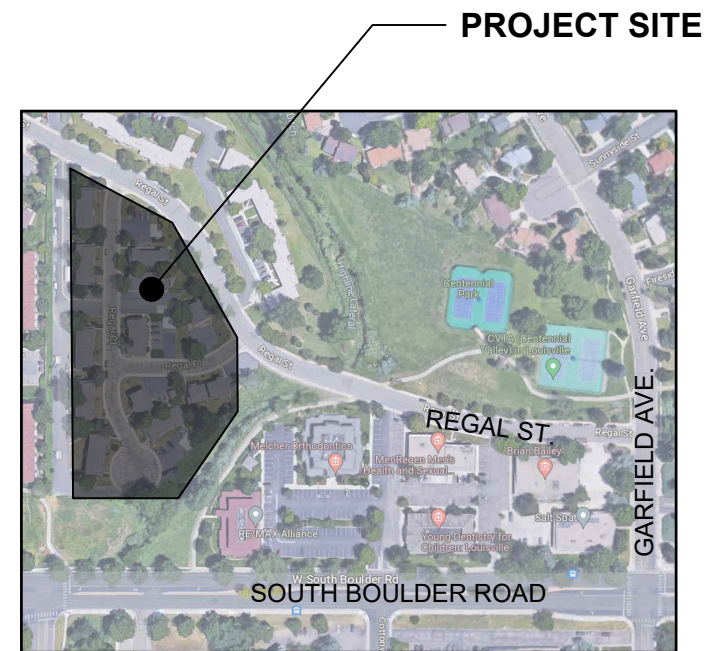


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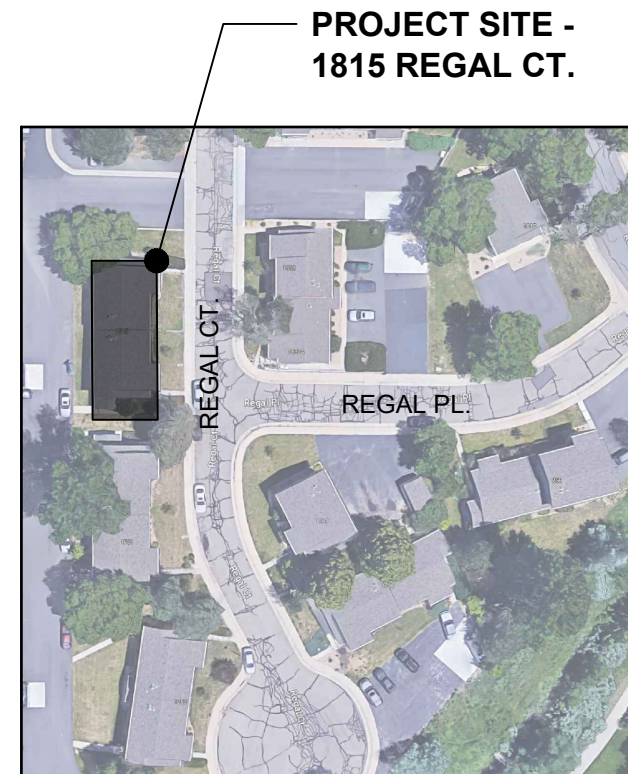
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
- B. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING STAIRS AND LANDINGS. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING FRAMING/DECKING/STRINGERS/TREADS TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
- C. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING EXPOSED COLUMN BASES.
- D. INSTALL NEW 6x16 SOFFT VENT PROVIDING APPROXIMATELY 35 SQUARE INCHES OF NET FREE VENTILATING AREA IN APPROXIMATE POSITION SHOWN. INSTALL IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, INSTALLED SUCH THAT VENTS ARE NOT PLACED OVER EXISTING FRAMING MEMBERS. AT EACH VENT INSTALLATION, CONTRACTOR TO CONFIRM THAT THERE IS NO BLOCKING BETWEEN FRAMING MEMBERS WHICH WOULD IMPEDE VENTILATION. IF SUCH BLOCKING EXISTS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER. VENTS ARE TO BE PROTECTED DURING SOFFIT PAINTING TO ENSURE VENTS ARE NOT BLOCKED BY PAINT APPLICATION.

**PLAN NOTES:**

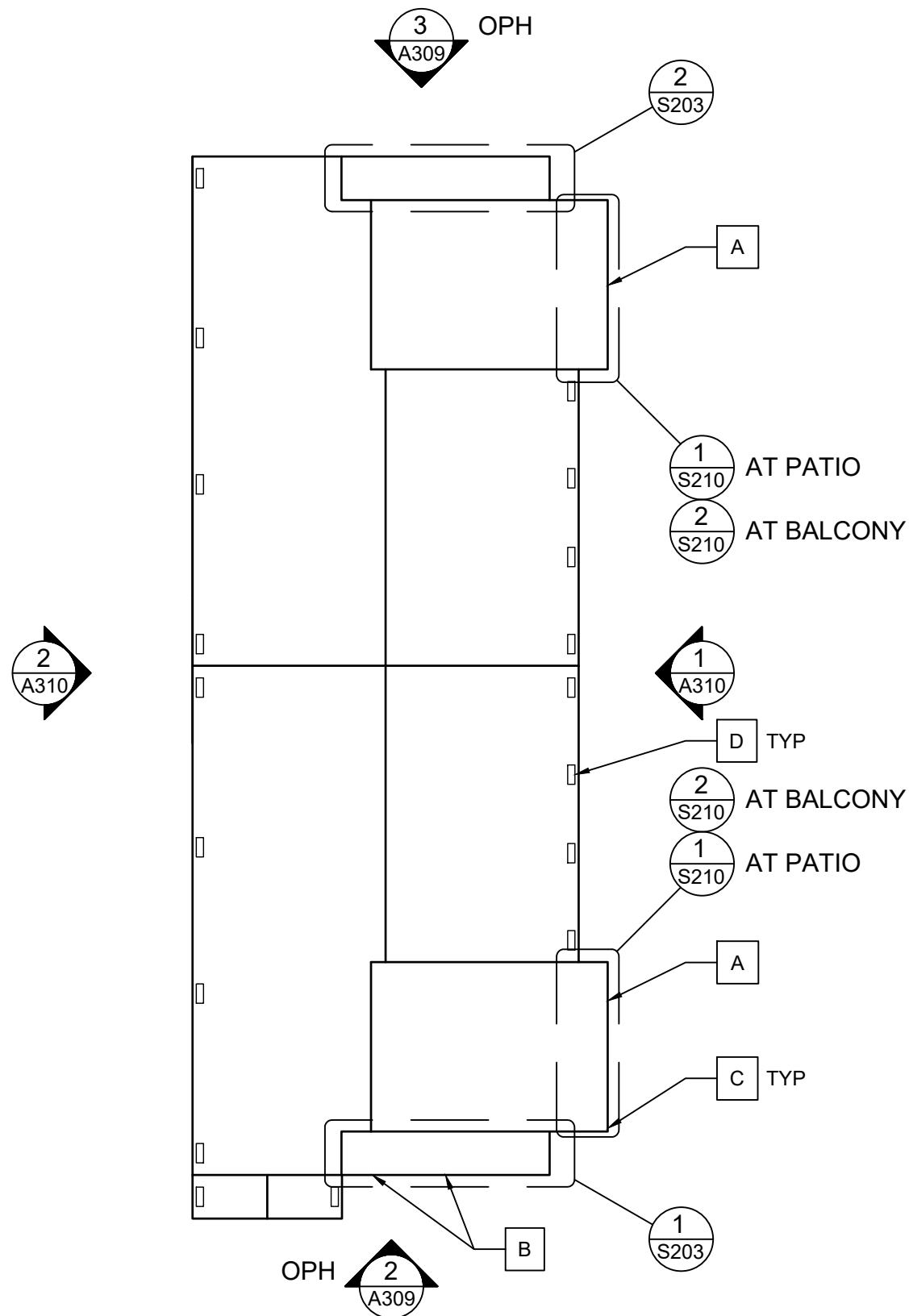
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)**  NORTH

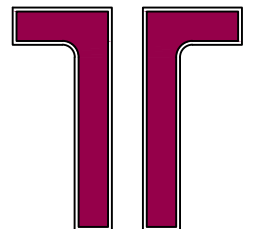
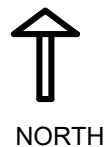


**SITE PLAN (N.T.S.)**  NORTH



**1 PLAN - 1815 REGAL CT.**

Scale: 3/32"=1'-0"



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 10625 W. I-70 FRONTAGE RD. N., SUITE 3  
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Balcony & Siding Repairs

Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

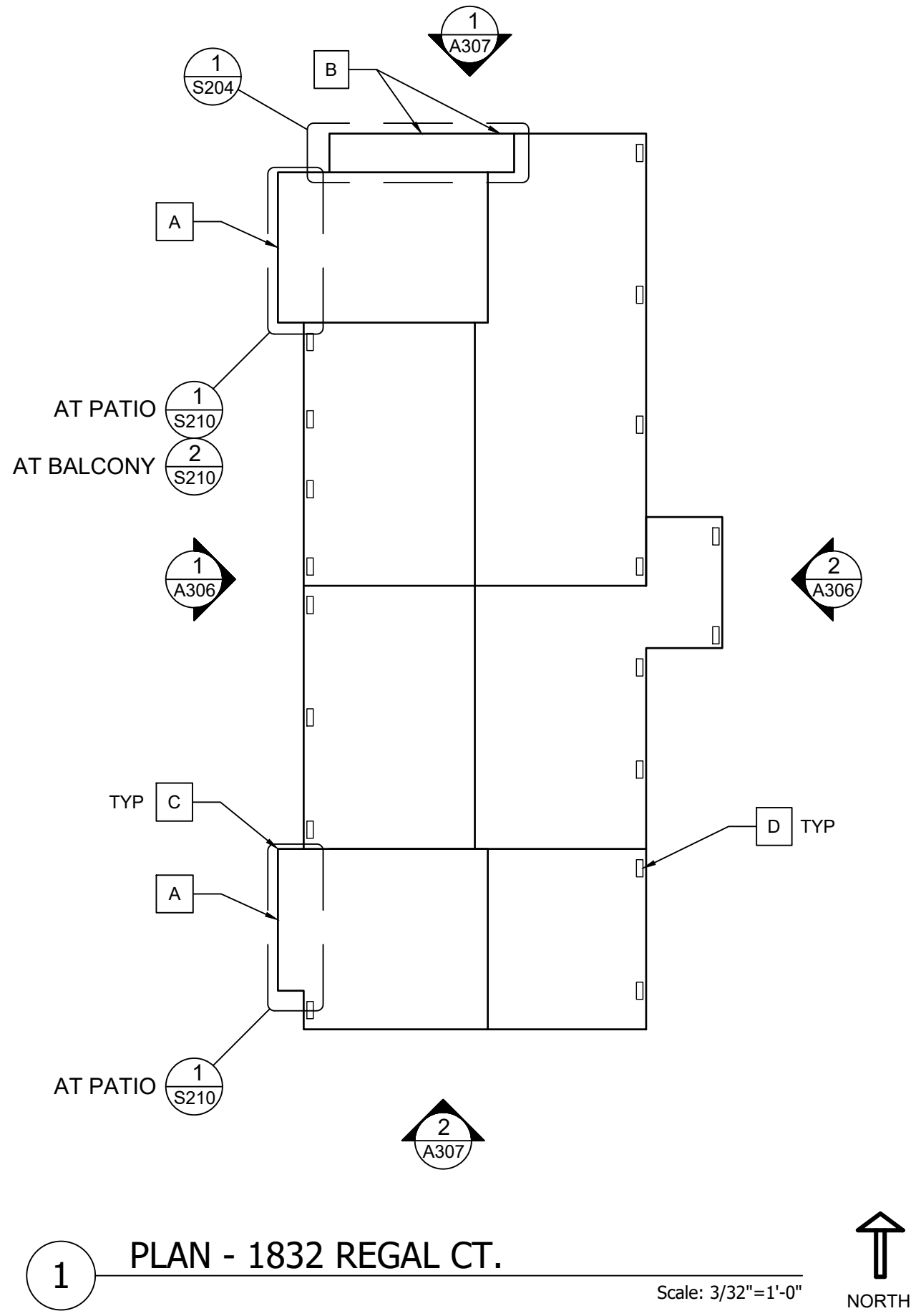
ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A204**

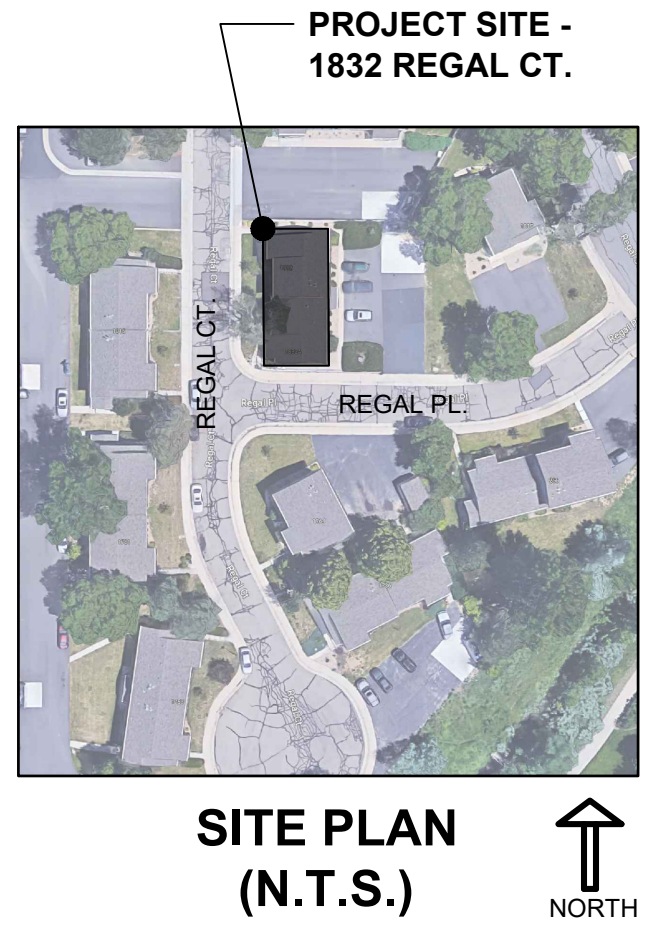
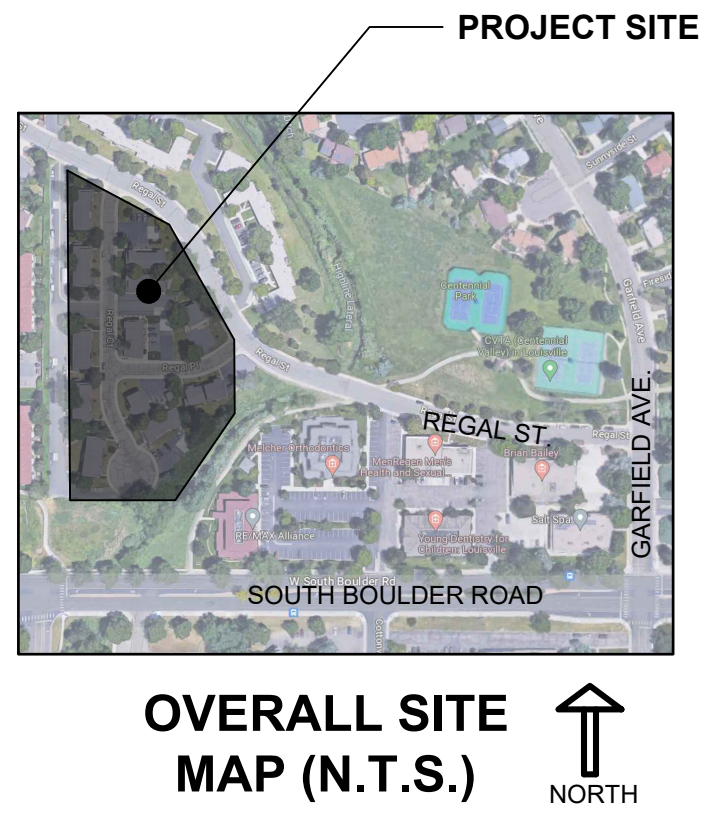
PLAN - 1815 REGAL CT.



**REPAIR KEY NOTES:**

- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
- B. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING STAIRS AND LANDINGS. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING FRAMING/DECKING/STRINGERS/TREADS TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- PLAN NOTES:**
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



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Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

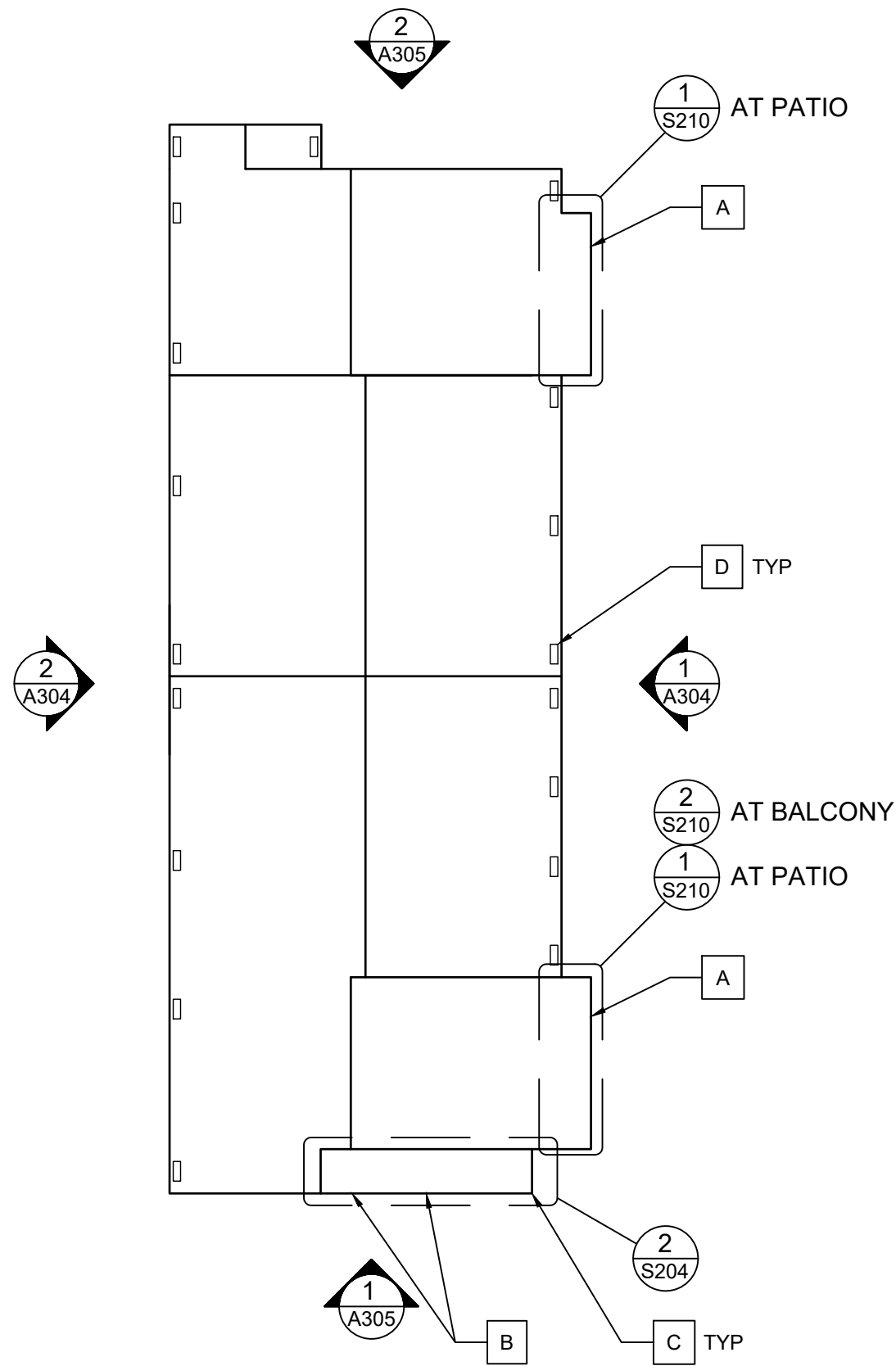
ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A205**  
PLAN - 1832 REGAL CT.





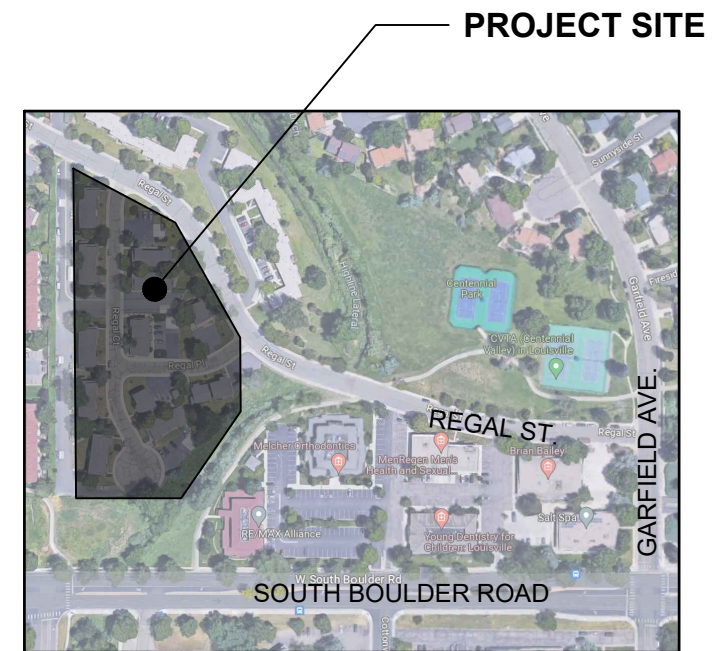
**1 PLAN - 1850 REGAL CT.**  
 Scale: 3/32"=1'-0"  
 NORTH

**REPAIR KEY NOTES:**

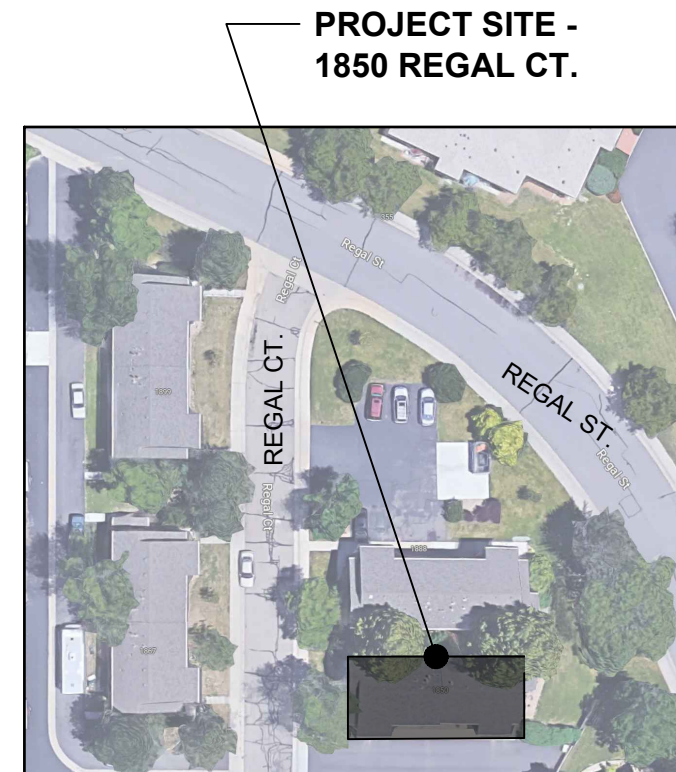
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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**PLAN NOTES:**

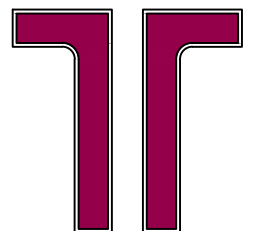
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)**  
 NORTH



**SITE PLAN (N.T.S.)**  
 NORTH



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Balcony & Siding Repairs

Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

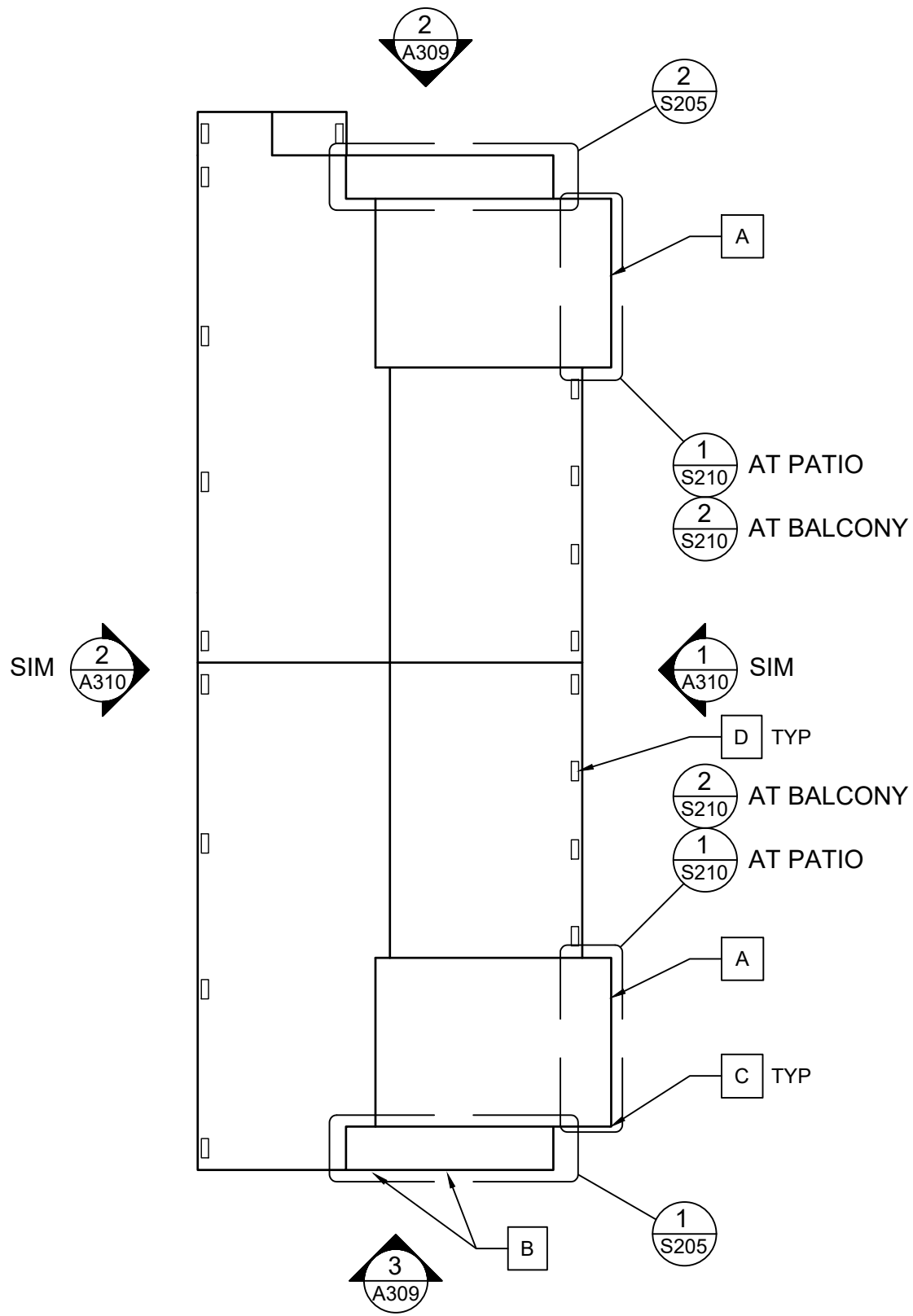
ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A206**

PLAN - 1850 REGAL CT.



1 PLAN - 1867 REGAL CT.

Scale: 3/32"=1'-0"

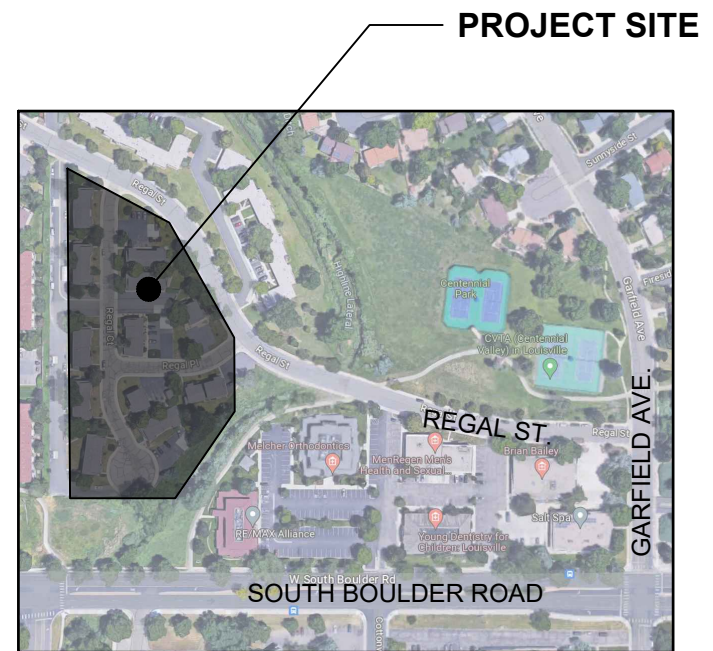


**REPAIR KEY NOTES:**

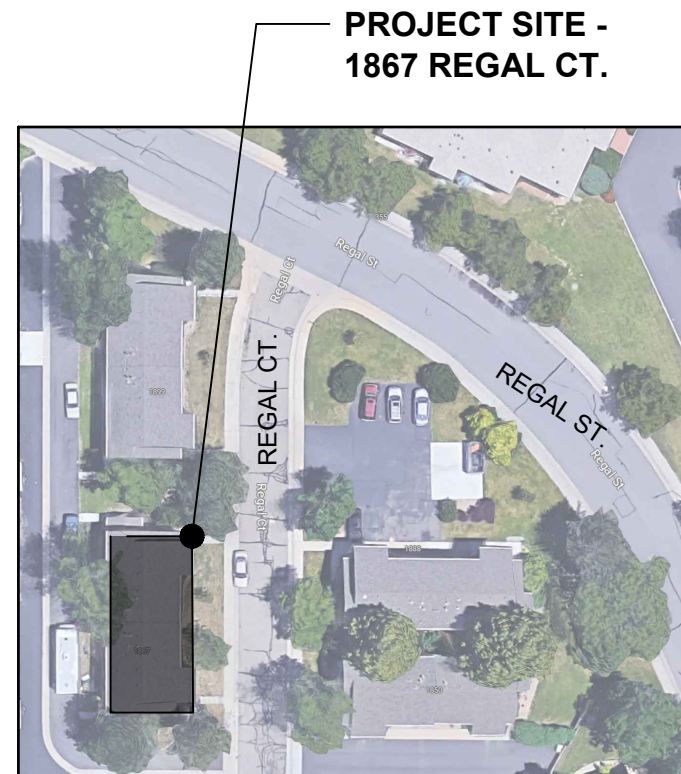
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- C. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING EXPOSED COLUMN BASES.
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**PLAN NOTES:**

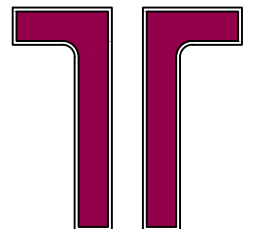
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



OVERALL SITE MAP (N.T.S.)



SITE PLAN (N.T.S.)



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Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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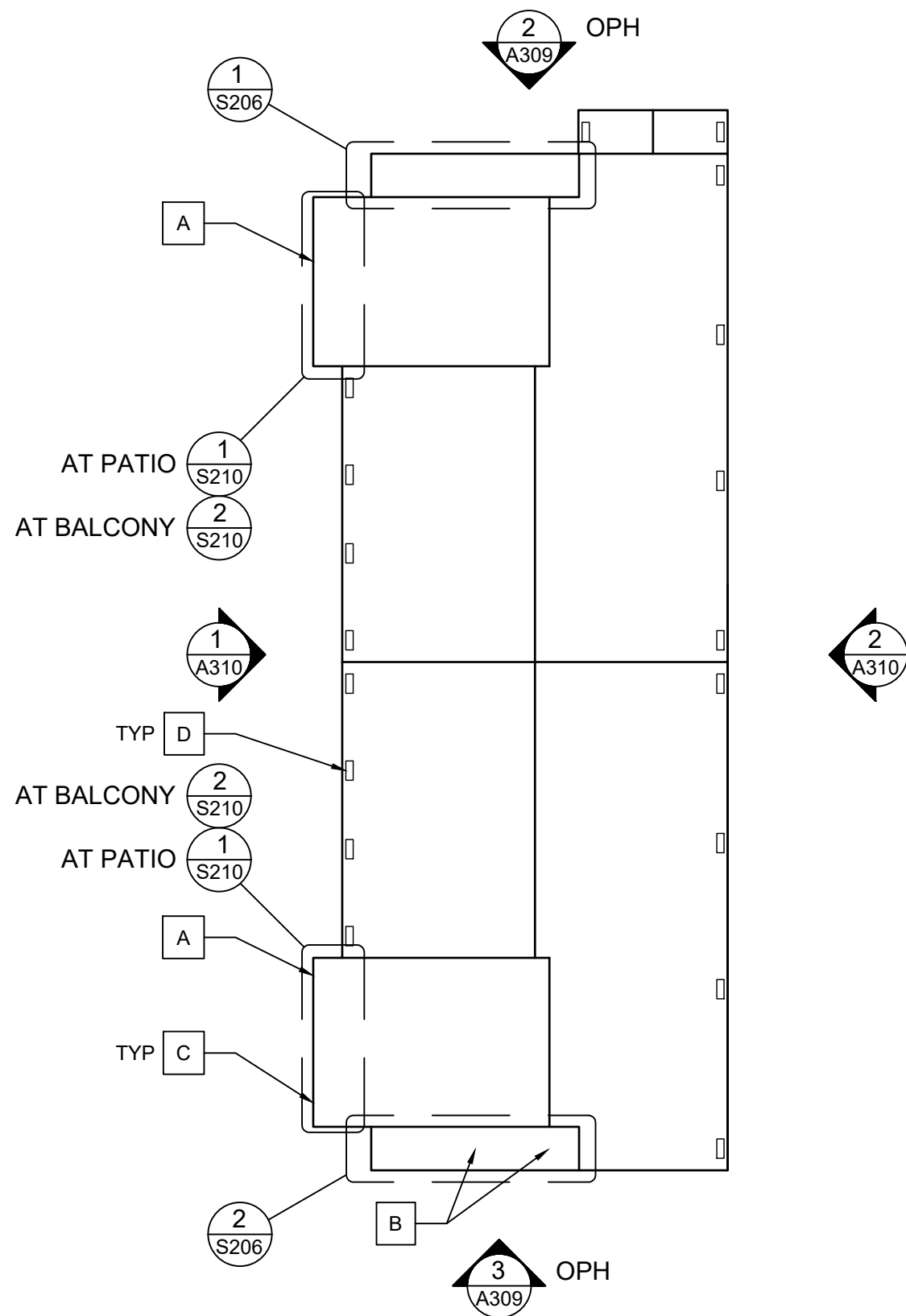
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A207**

PLAN - 1867 REGAL CT.





1 PLAN - 1888 REGAL CT.

Scale: 3/32"=1'-0"

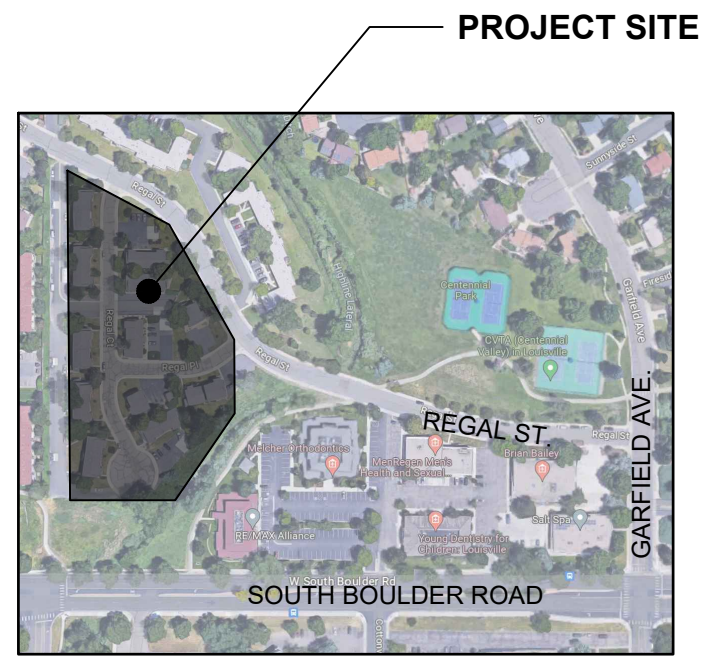


**REPAIR KEY NOTES:**

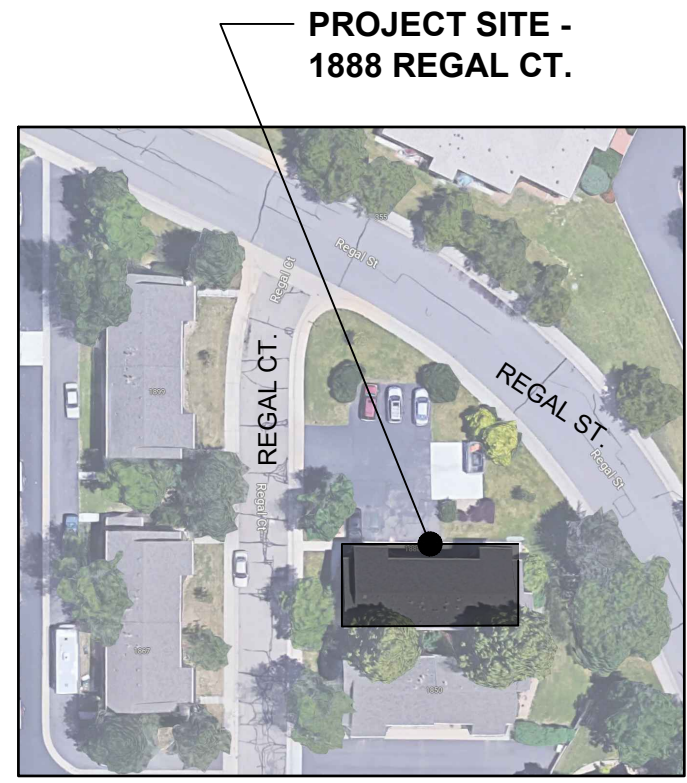
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- C. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING EXPOSED COLUMN BASES.
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**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)**  
NORTH



**SITE PLAN (N.T.S.)**  
NORTH

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WHEAT RIDGE, CO 80033  
PH. (303) 423-3300 FAX. (303) 423-3353  
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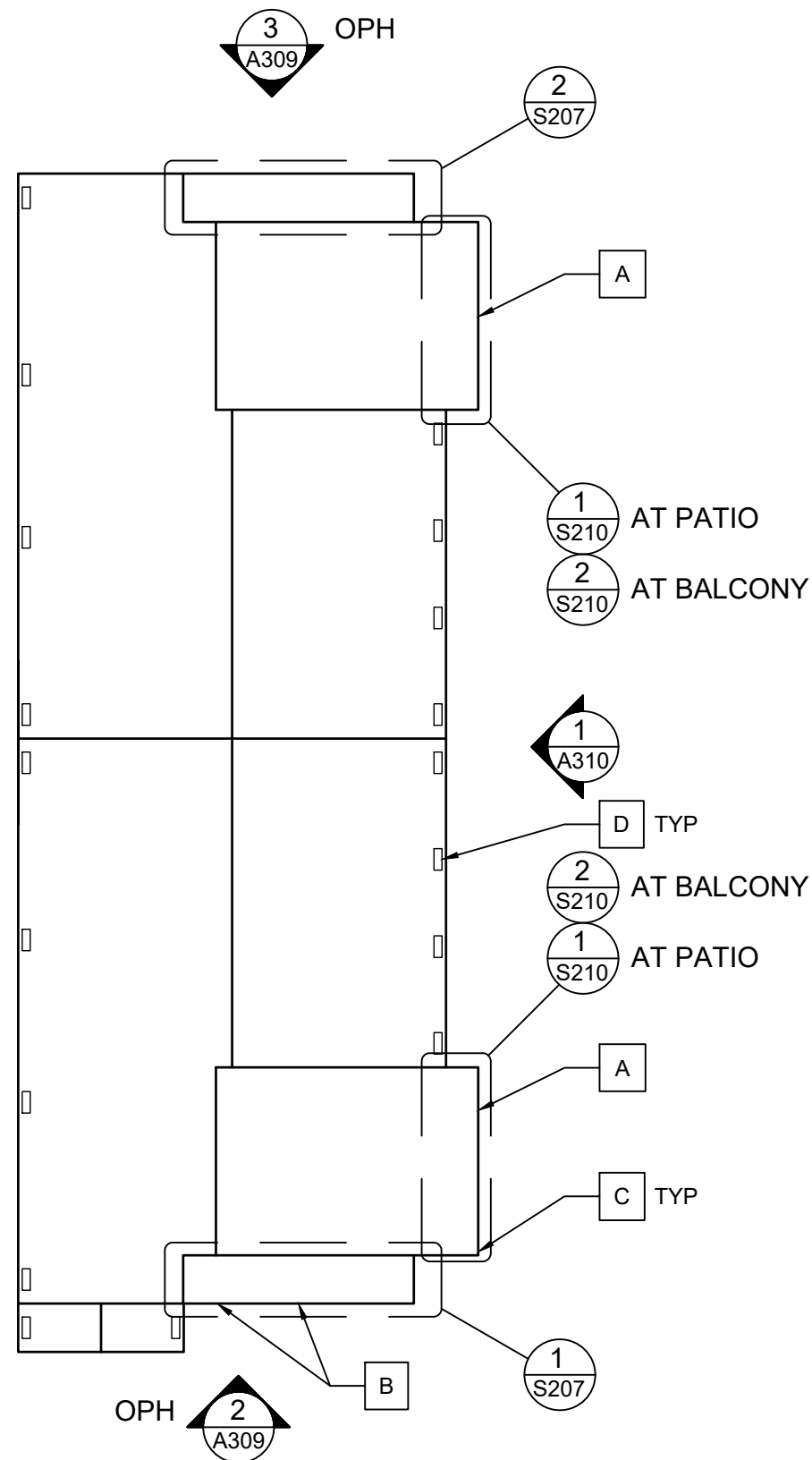
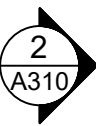
Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A208**  
PLAN - 1888 REGAL CT.



1 PLAN - 1899 REGAL CT.

Scale: 3/32"=1'-0"



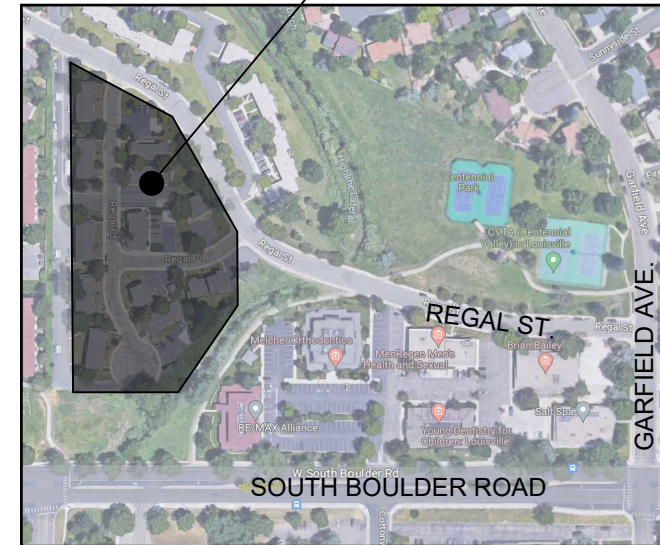
REPAIR KEY NOTES:

- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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PLAN NOTES:

- 1. REFER TO SHEET G001 FOR PLAN NOTES.

**PROJECT SITE**



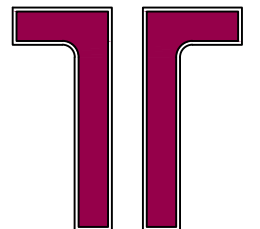
**OVERALL SITE MAP (N.T.S.)**



**PROJECT SITE - 1899 REGAL CT.**



**SITE PLAN (N.T.S.)**



**Terracon**  
 10625 W. I-70 FRONTAGE RD. N., SUITE 3  
 WHEAT RIDGE, CO 80033  
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Balcony & Siding Repairs

Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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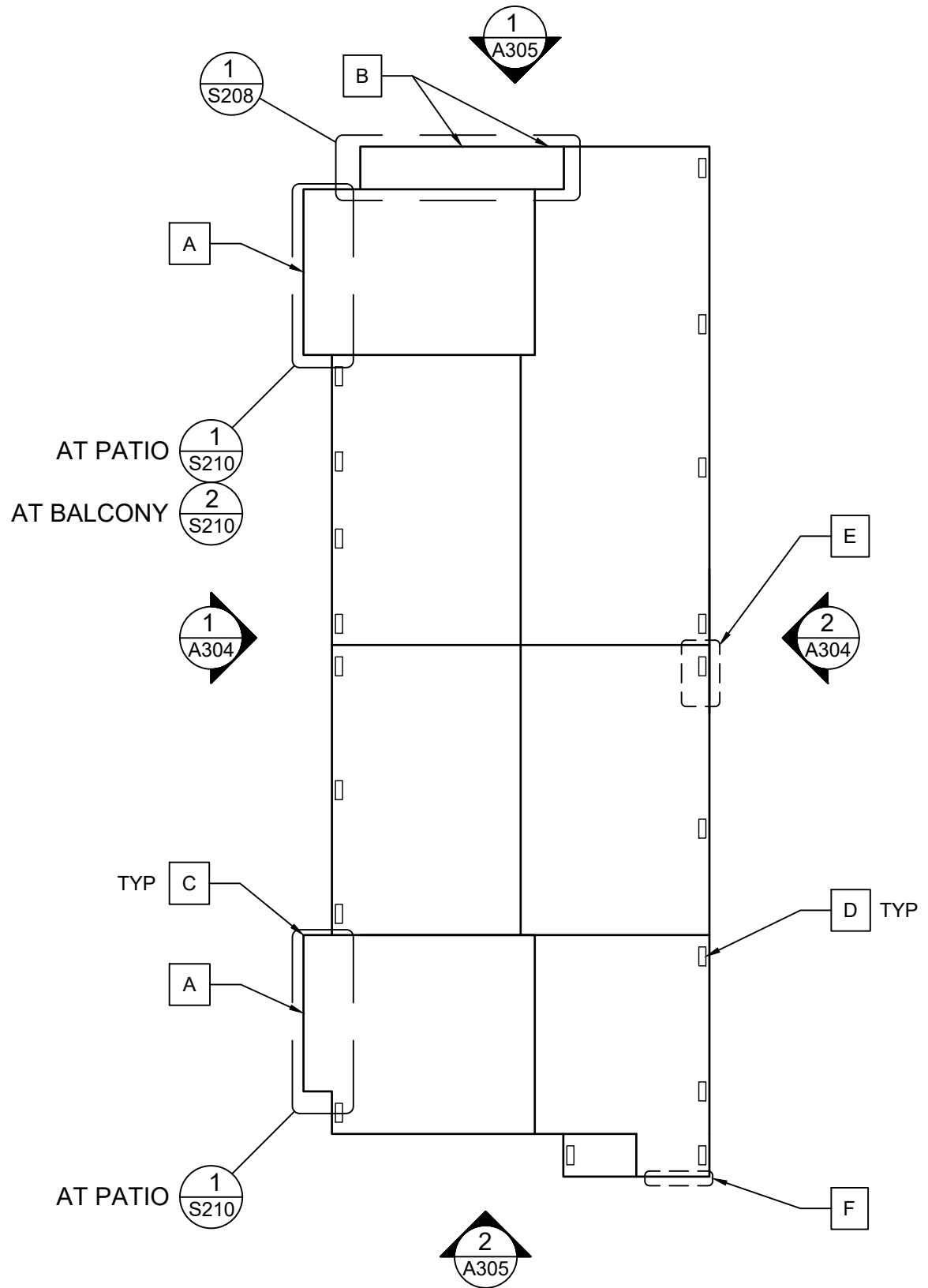
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A209**

PLAN - 1899 REGAL CT.



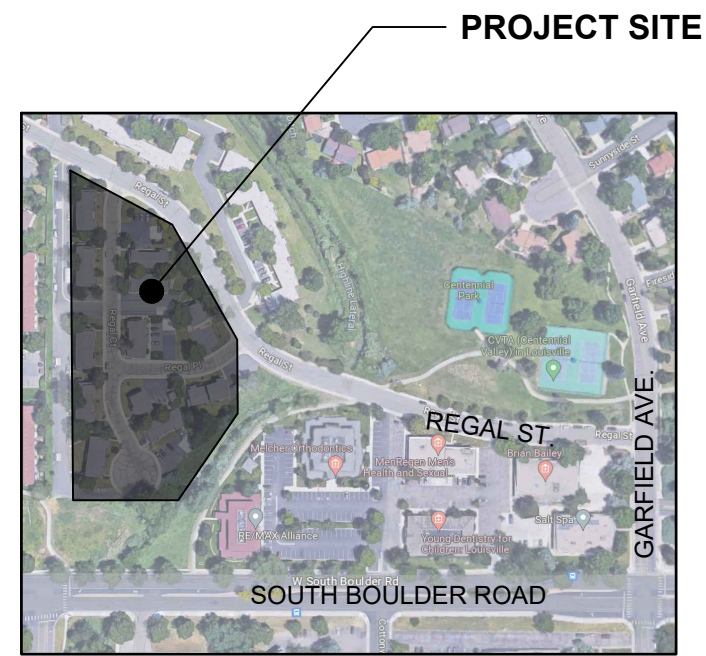


**REPAIR KEY NOTES:**

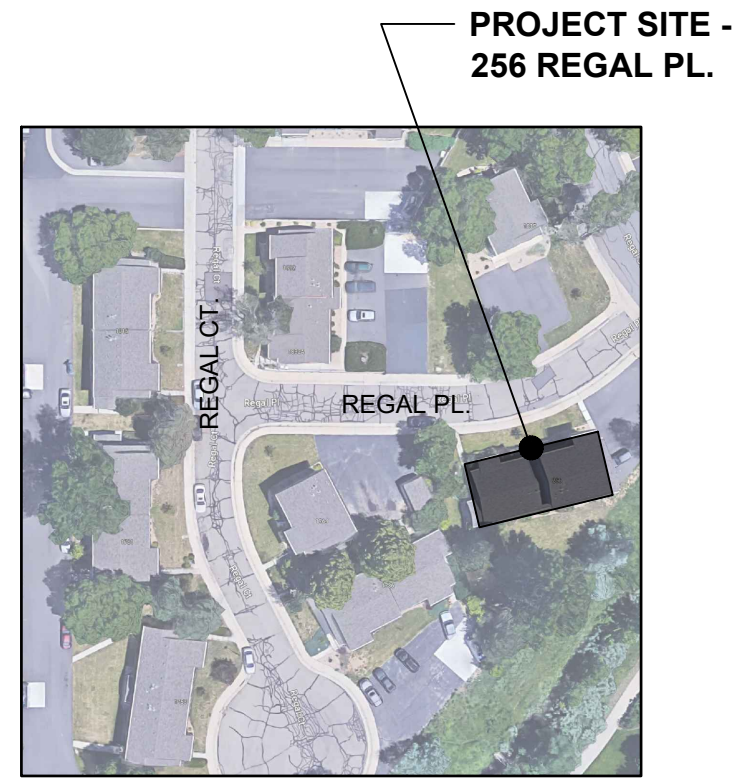
- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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- C. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING EXPOSED COLUMN BASES.
- D. INSTALL NEW 6x16 SOFFT VENT PROVIDING APPROXIMATELY 35 SQUARE INCHES OF NET FREE VENTILATING AREA IN APPROXIMATE POSITION SHOWN. INSTALL IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, INSTALLED SUCH THAT VENTS ARE NOT PLACED OVER EXISTING FRAMING MEMBERS. AT EACH VENT INSTALLATION, CONTRACTOR TO CONFIRM THAT THERE IS NO BLOCKING BETWEEN FRAMING MEMBERS WHICH WOULD IMPEDE VENTILATION. IF SUCH BLOCKING EXISTS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER. VENTS ARE TO BE PROTECTED DURING SOFFIT PAINTING TO ENSURE VENTS ARE NOT BLOCKED BY PAINT APPLICATION.
- E. REPLACE DETERIORATED PORTION OF SOFFT AT NOTED LOCATION.
- F. REPLACE DETERIORATED SHEATHING AT BASE OF WALL IN THIS LOCATION DURING SIDING REPLACEMENT.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**OVERALL SITE MAP (N.T.S.)** NORTH



**SITE PLAN (N.T.S.)** NORTH

10625 W. I-70 FRONTAGE RD. N., SUITE 3  
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PH. (303) 423-3300 FAX. (303) 423-3353  
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Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

**ISSUED FOR BIDDING - NOT FOR CONSTRUCTION**

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

A210

PLAN - 256 REGAL PL.

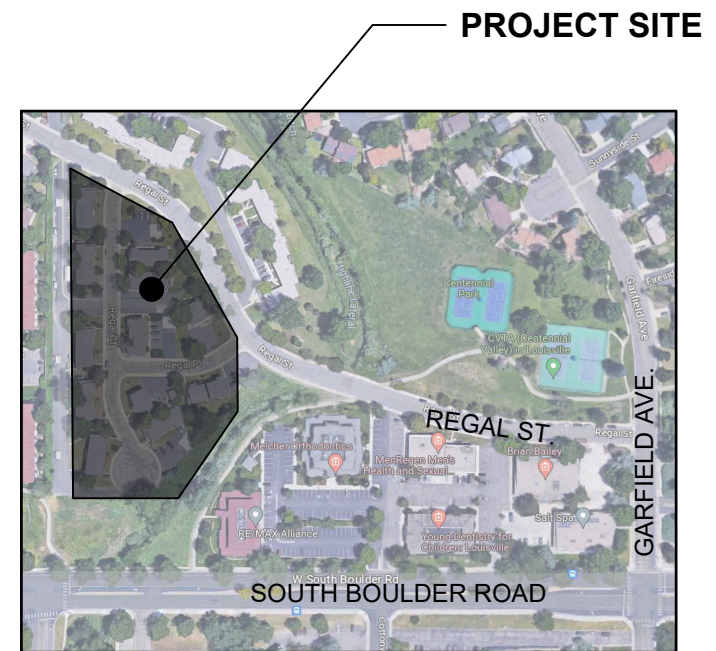
**1 PLAN - 256 REGAL PL.** Scale: 3/32"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING PATIOS AND BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH BUILDINGS AND EXISTING RAILINGS/TRIM TO MATCH BUILDING TRIM.
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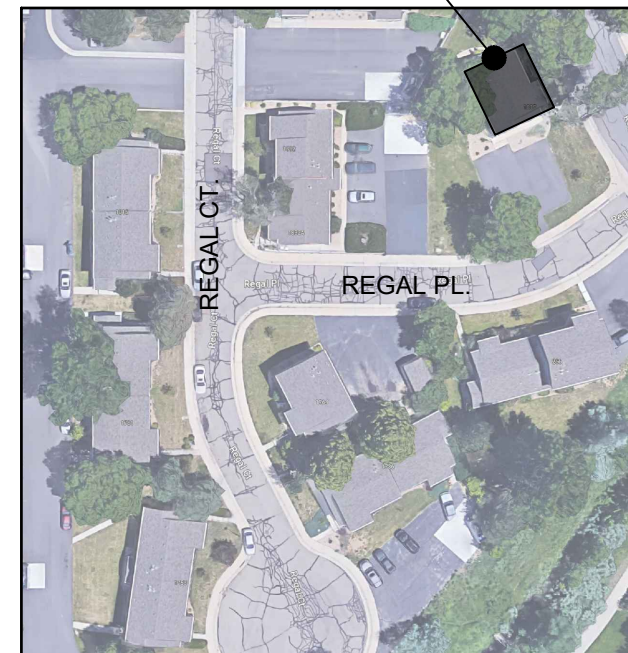
**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.

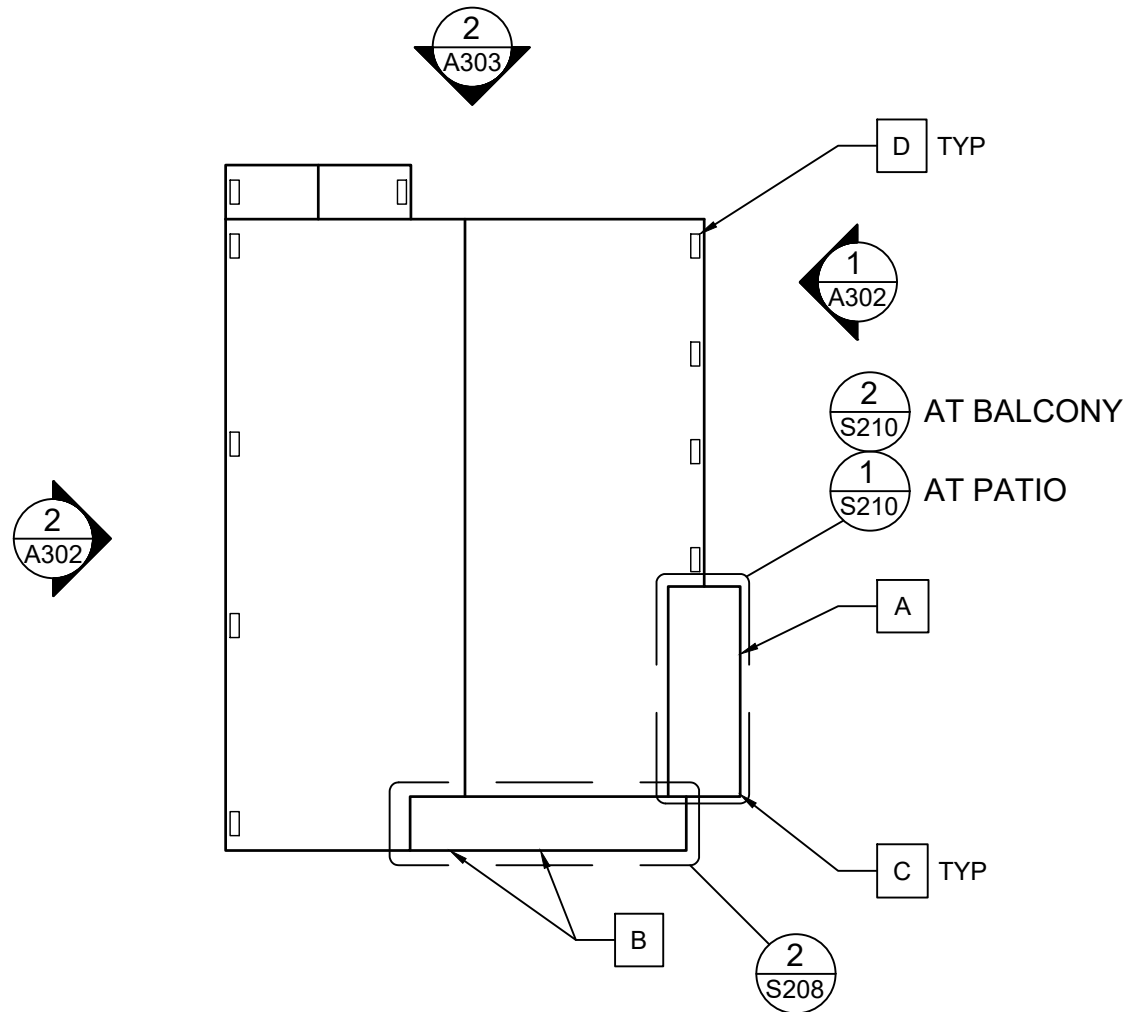


**OVERALL SITE MAP (N.T.S.)**  NORTH

**PROJECT SITE - 1817 REGAL ST.**

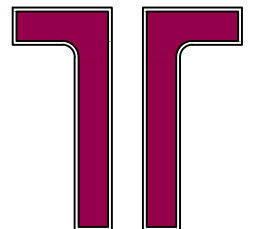


**SITE PLAN (N.T.S.)**  NORTH



**1 PLAN - 1817 REGAL ST.**

Scale: 3/32"=1'-0"



**Terracon**

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Balcony & Siding Repairs

Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR  
BIDDING -  
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CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A211**

PLAN - 1817 REGAL ST.

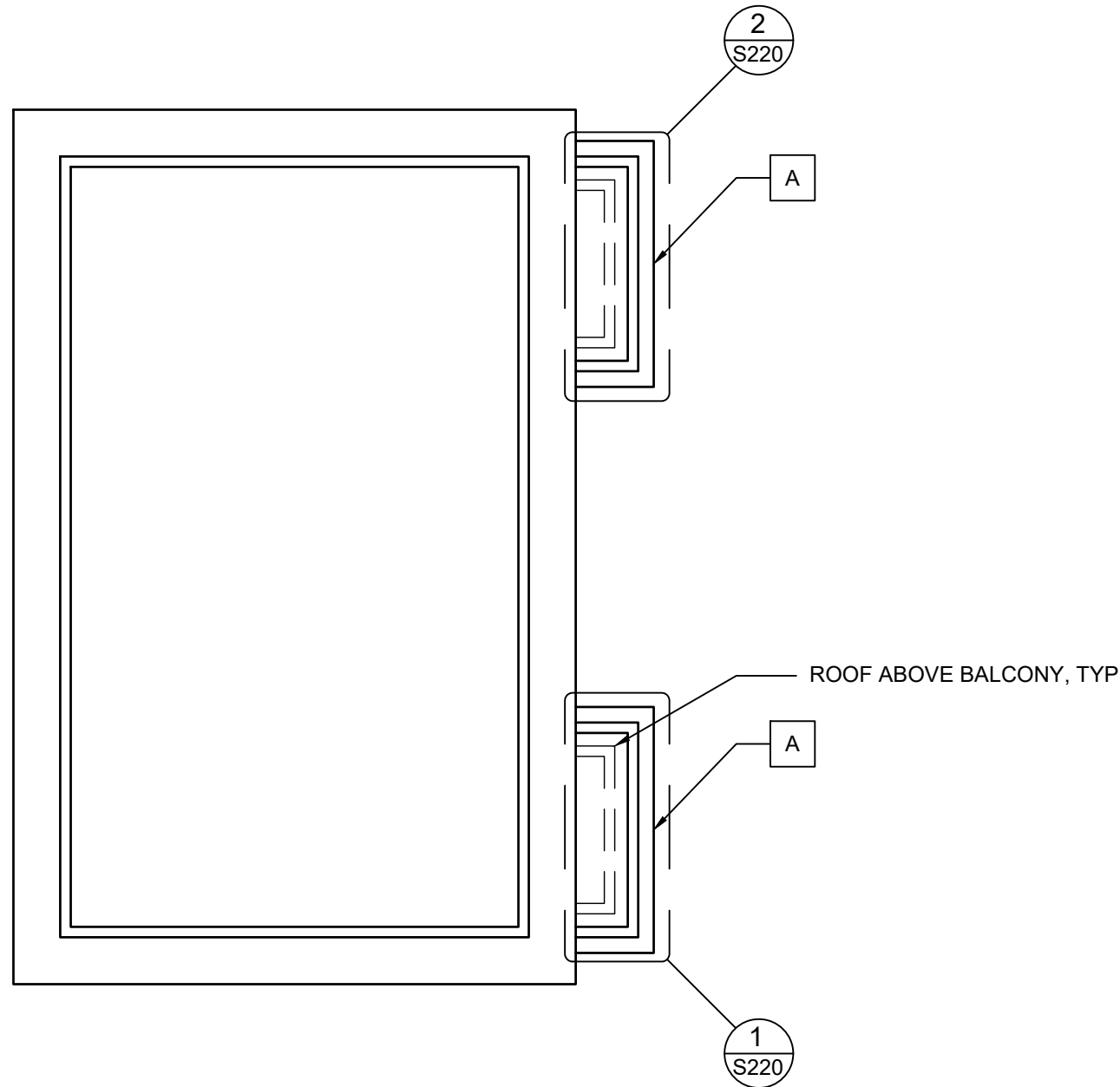


REPAIR KEY NOTES:

- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH EXISTING.

PLAN NOTES:

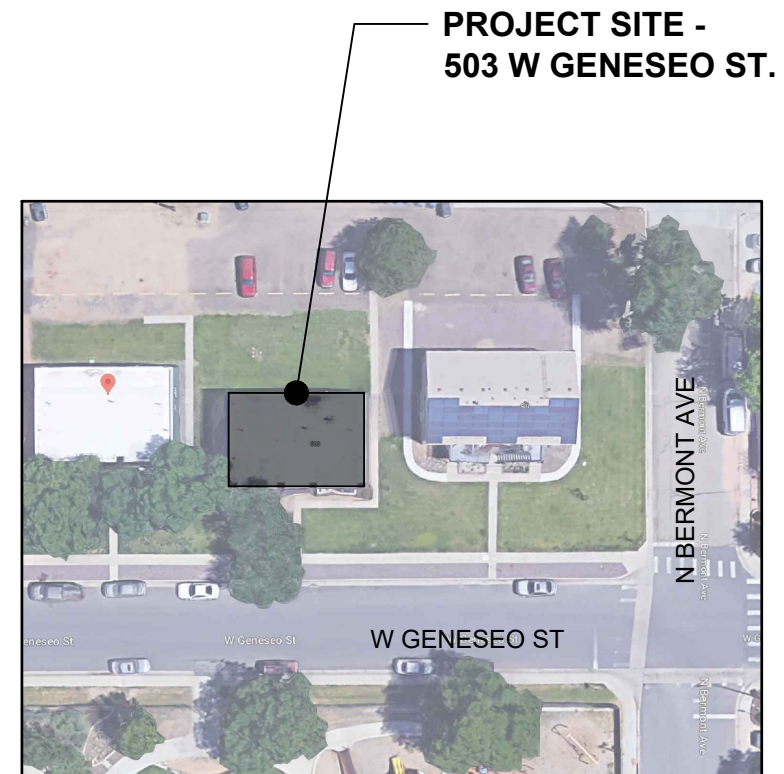
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



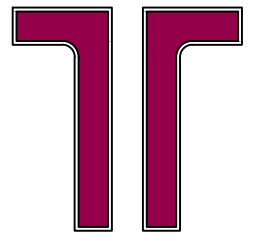
**1** ROOF PLAN - 503 W GENESEO ST.  
Scale: 3/32"=1'-0"



**OVERALL SITE MAP (N.T.S.)**  
NORTH



**SITE PLAN (N.T.S.)**  
NORTH



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Balcony & Siding Repairs

Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR  
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NOT FOR  
CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A220**

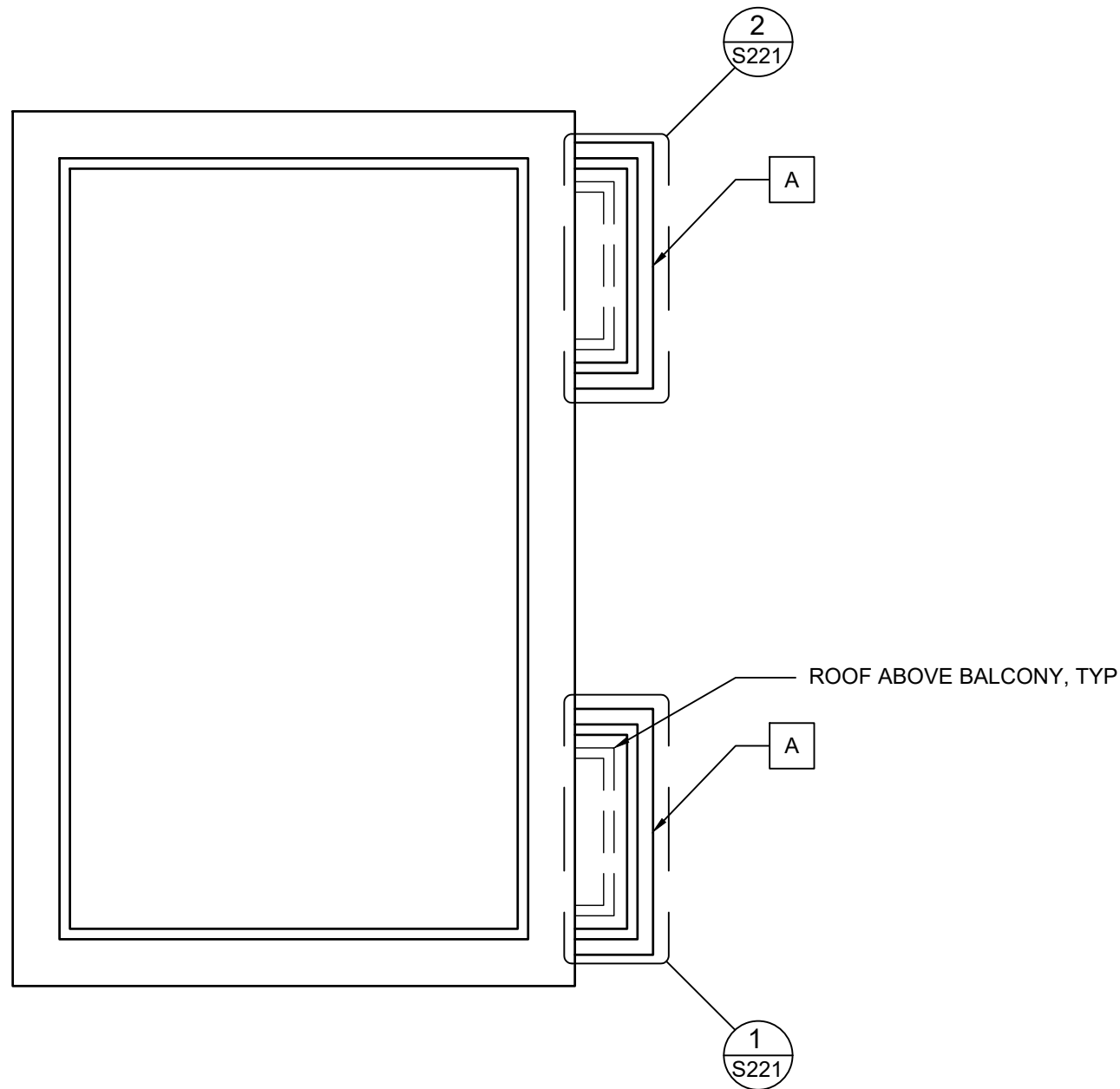
PLAN - 503 W GENESEO ST.

**REPAIR KEY NOTES:**

- A. REFER TO STRUCTURAL PLANS FOR REPAIRS AT EXISTING BALCONIES. FOLLOWING STRUCTURAL REPAIRS, REPAINT EXISTING BALCONY FRAMING/DECKING TO MATCH EXISTING.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.

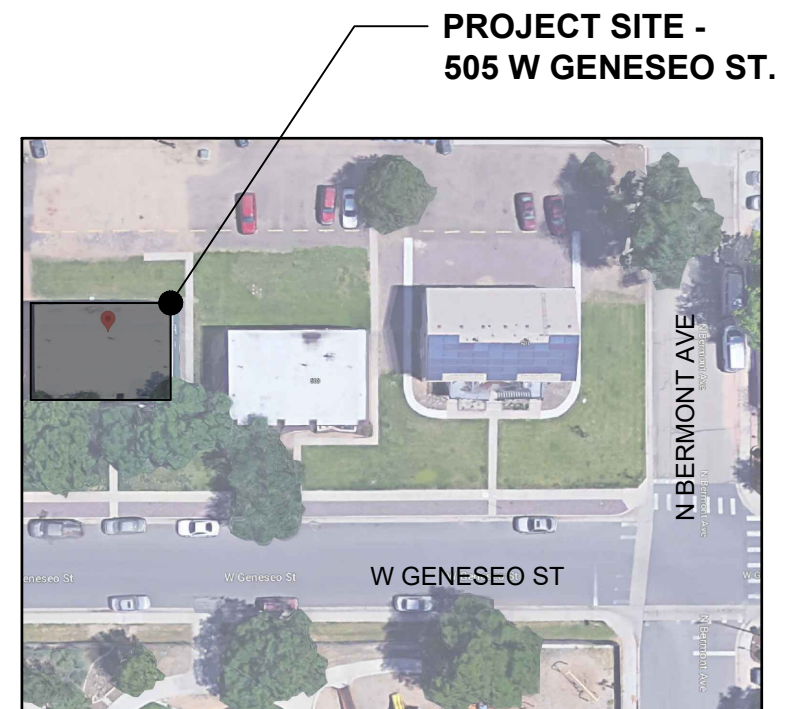


**1 ROOF PLAN - 505 W GENESEO ST.**

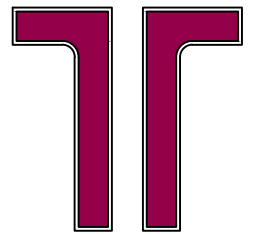
Scale: 3/32"=1'-0"



**OVERALL SITE MAP (N.T.S.)**



**SITE PLAN (N.T.S.)**



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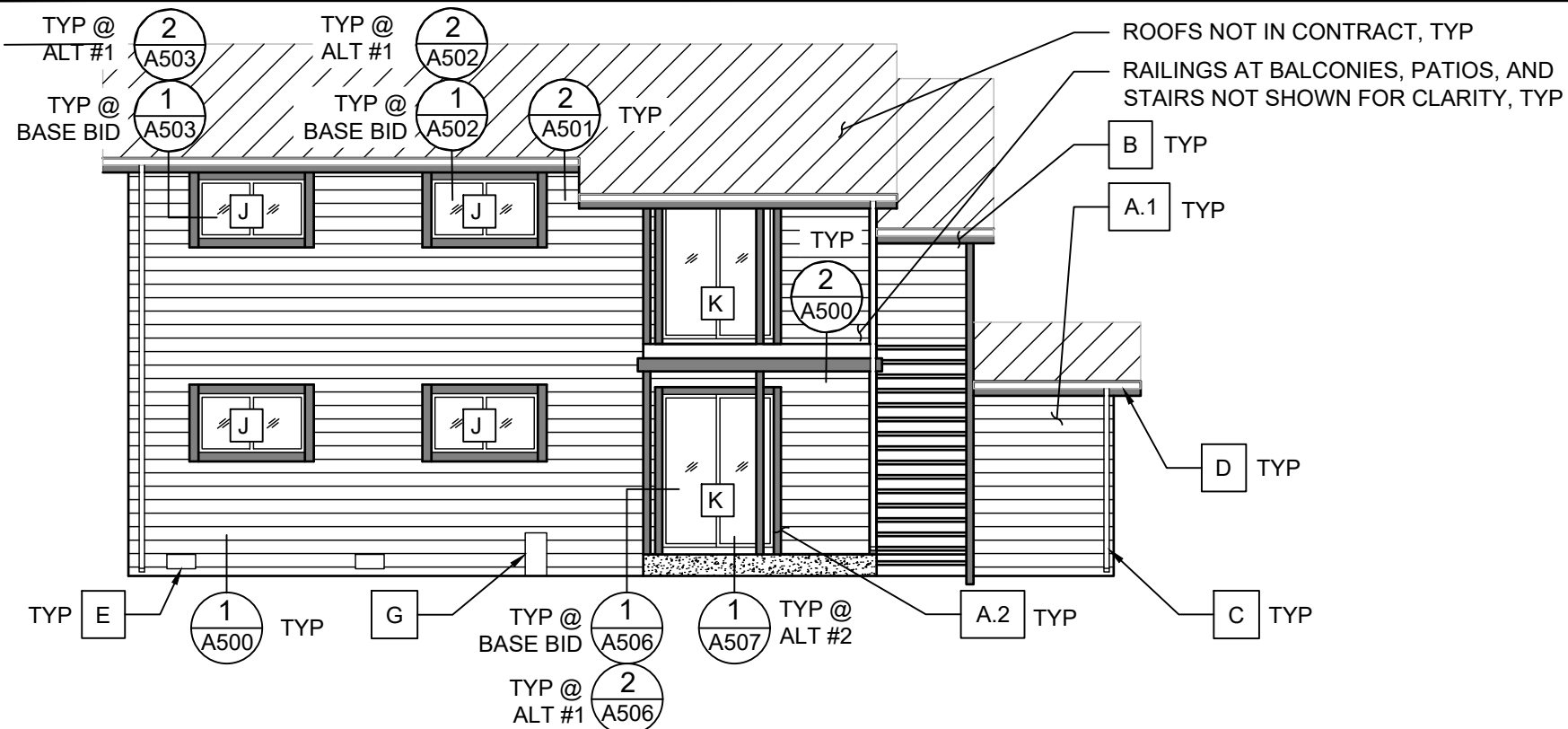
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Rev.	Desc.	Date

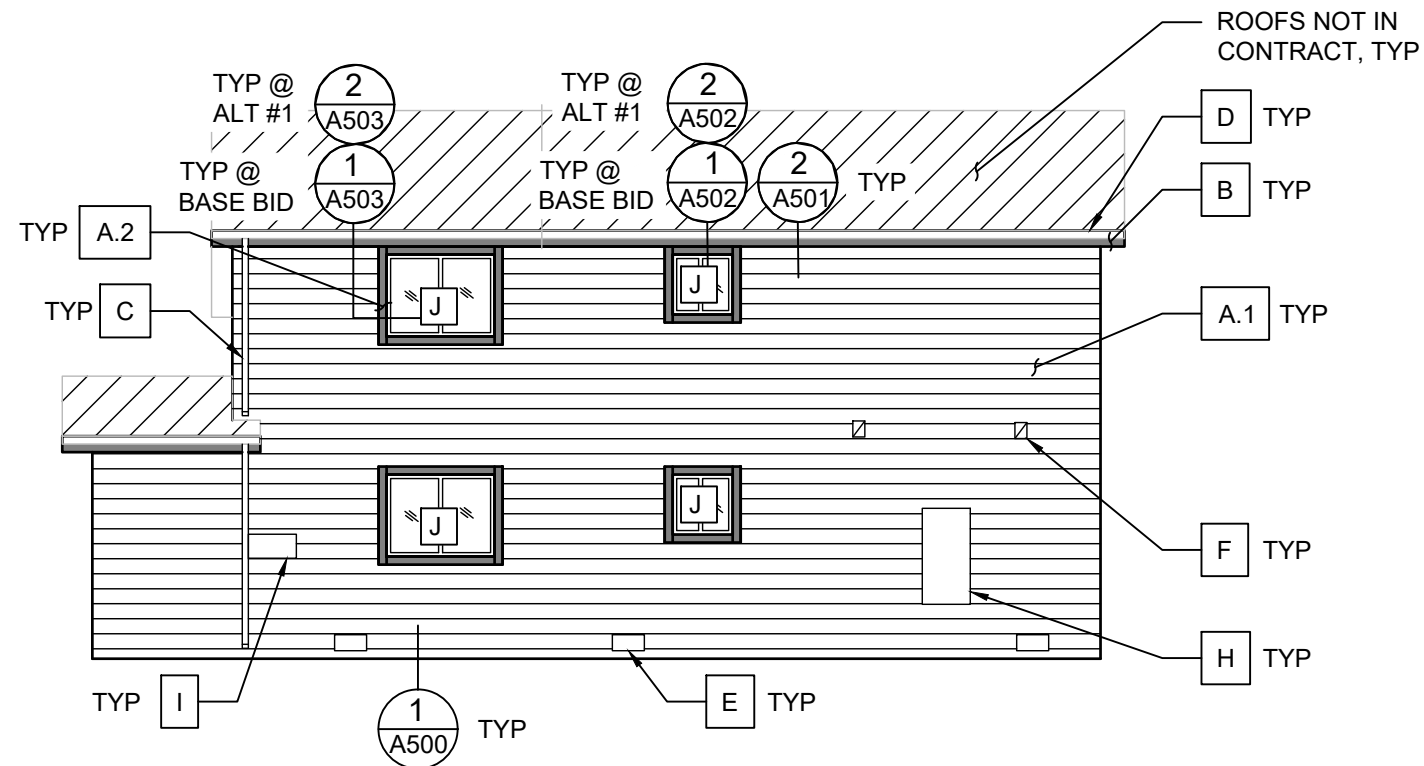
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A221**

PLAN - 505 W GENESEO ST.



**1** DUPLEX FRONT ELEVATION WITH SHED  
Scale: 1/8"=1'-0"



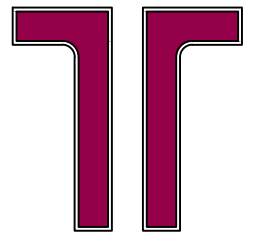
**2** DUPLEX BACK ELEVATION WITH SHED  
Scale: 1/8"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
  - 1. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT SIDING AND SOFFITS COLOR 1.
  - 2. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT TRIM AND EXPOSED COLUMNS/BEAMS COLOR 2.
- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. DETACH AND RESET EXISTING DOWNSPOUTS AS REQUIRED TO INSTALL NEW SIDING/TRIM AND PAINT. DO NOT PAINT DOWNSPOUTS.
- D. EXISTING GUTTERS TO REMAIN. DO NOT PAINT GUTTERS.
- E. EXISTING CRAWL SPACE VENTS TO REMAIN, POSITION MAY VARY.
- F. DRYER VENT CAPS TO REMAIN, POSITION MAY VARY.
- G. BACKFLOW PREVENTER TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND THIS EQUIPMENT.
- H. EXISTING ELECTRICAL METERS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- I. EXISTING CONDENSING UNIT DISCONNECTS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- J. **ALTERNATE 1:** REPLACE EXISTING WINDOWS, REFER TO SPECIFICATIONS FOR MATERIALS.
- K. **ALTERNATE 2:** REPLACE EXISTING SLIDING GLASS DOORS, REFER TO SPECIFICATIONS FOR MATERIALS.

**ELEVATION NOTES:**

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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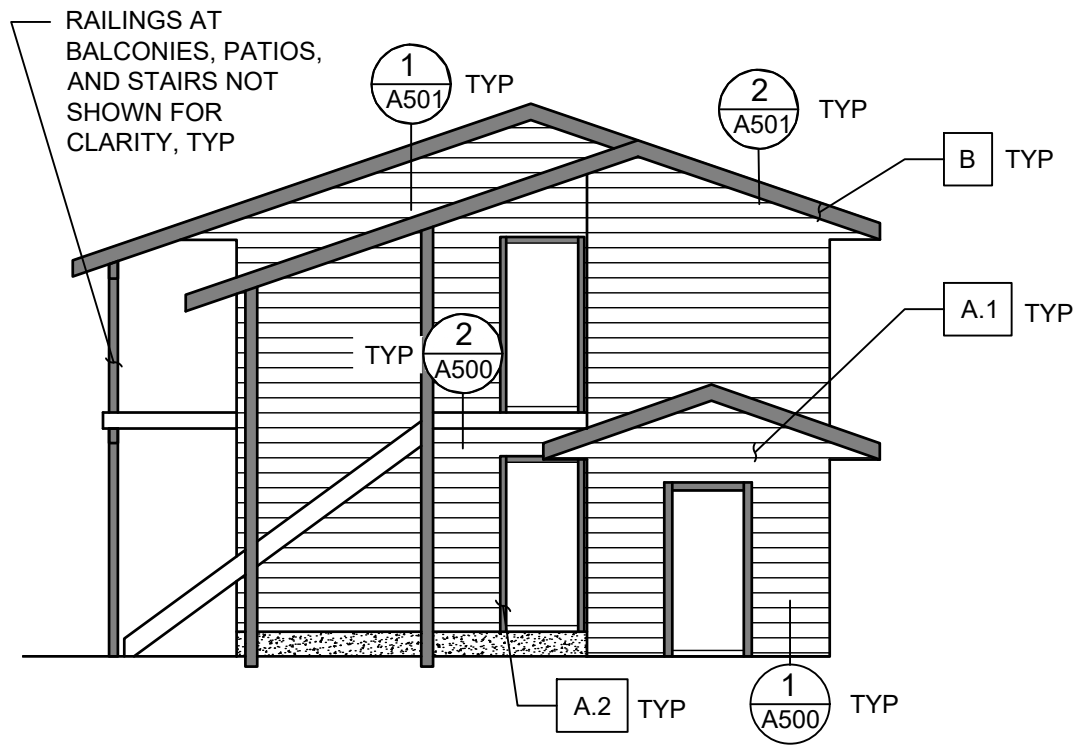
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

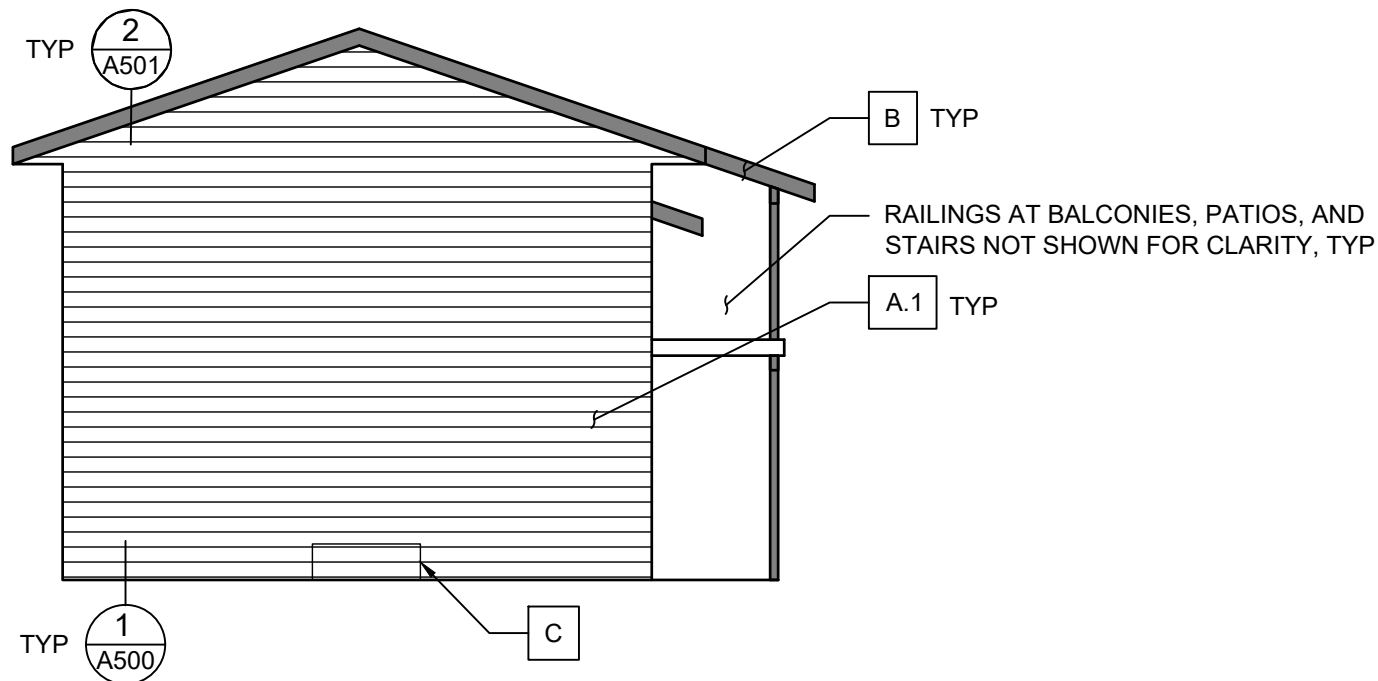
**A300**

DUPLEX ELEVATIONS - REGAL





**1** DUPLEX SIDE ELEVATION WITH SHED  
Scale: 1/8"=1'-0"



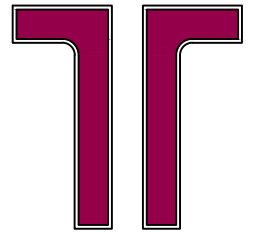
**2** DUPLEX SIDE ELEVATION  
Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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  - 2. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT TRIM AND EXPOSED COLUMNS/BEAMS COLOR 2.
- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. EXISTING NATURAL GAS METERS TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND METERS.

ELEVATION NOTES:

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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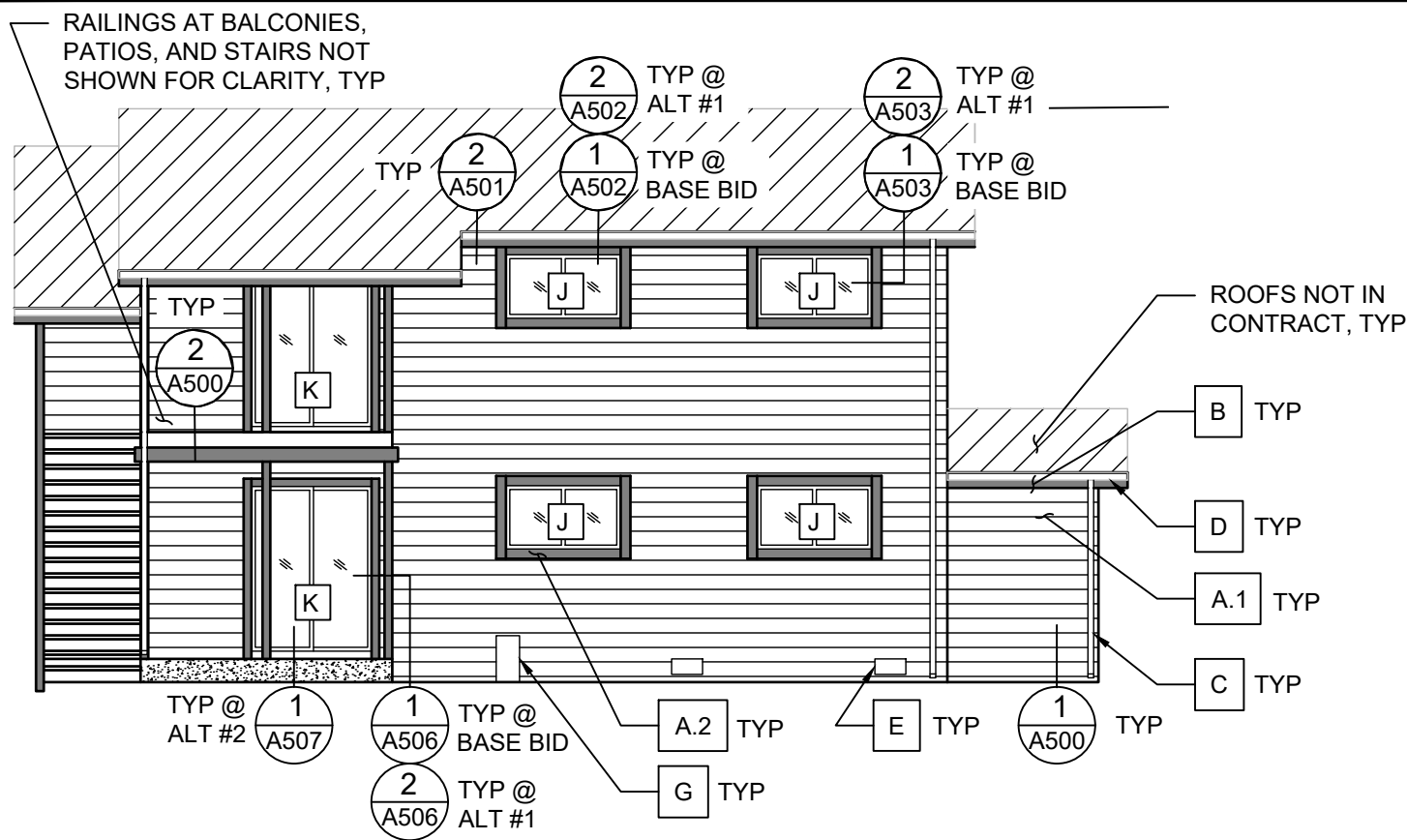
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CONSTRUCTION

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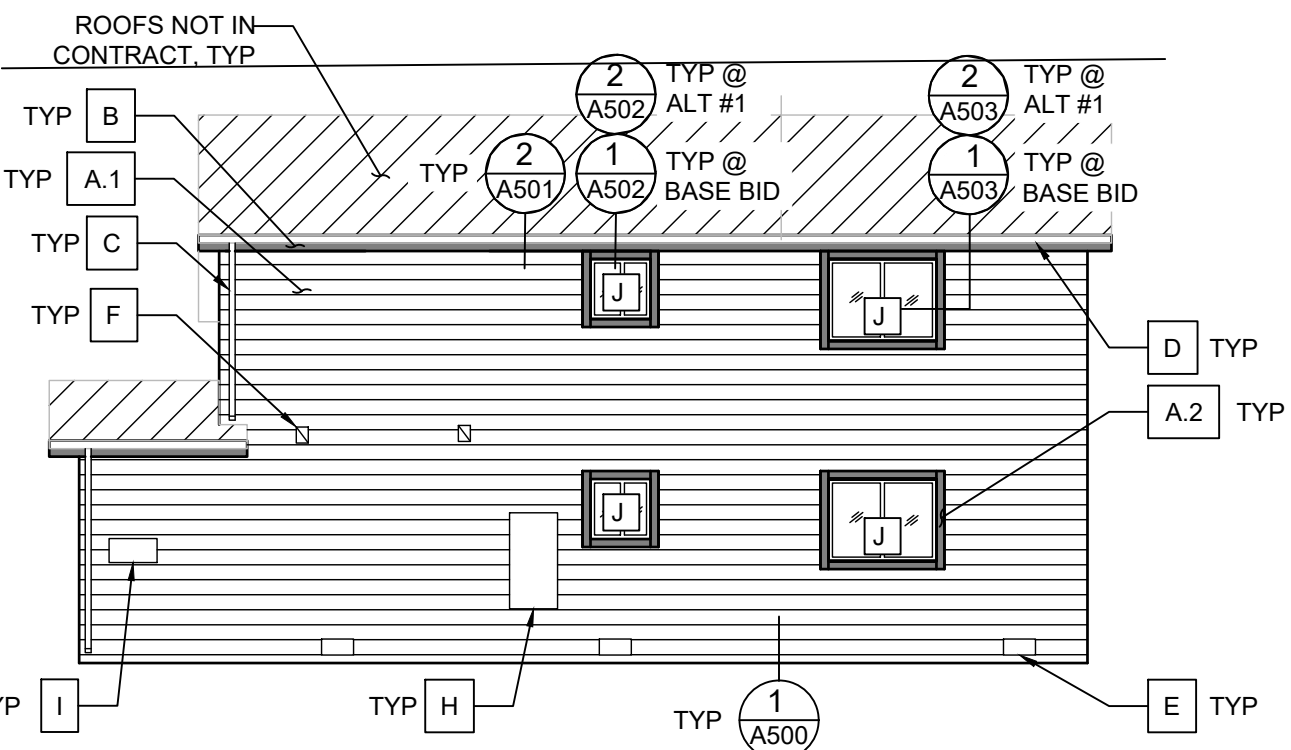
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A301**

DUPLEX ELEVATIONS - REGAL



**1** DUPLEX FRONT ELEVATION WITH SHED  
Scale: 1/8"=1'-0"



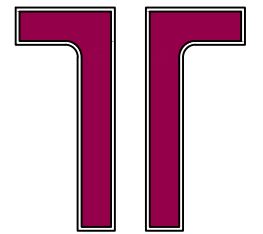
**2** DUPLEX BACK ELEVATION WITH SHED  
Scale: 1/8"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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  - 2. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT TRIM AND EXPOSED COLUMNS/BEAMS COLOR 2.
- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. DETACH AND RESET EXISTING DOWNSPOUTS AS REQUIRED TO INSTALL NEW SIDING/TRIM AND PAINT. DO NOT PAINT DOWNSPOUTS.
- D. EXISTING GUTTERS TO REMAIN. DO NOT PAINT GUTTERS.
- E. EXISTING CRAWL SPACE VENTS TO REMAIN, POSITION MAY VARY.
- F. DRYER VENT CAPS TO REMAIN, POSITION MAY VARY.
- G. BACKFLOW PREVENTER TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND THIS EQUIPMENT.
- H. EXISTING ELECTRICAL METERS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- I. EXISTING CONDENSING UNIT DISCONNECTS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- J. **ALTERNATE 1:** REPLACE EXISTING WINDOWS, REFER TO SPECIFICATIONS FOR MATERIALS.
- K. **ALTERNATE 2:** REPLACE EXISTING SLIDING GLASS DOORS, REFER TO SPECIFICATIONS FOR MATERIALS.

**ELEVATION NOTES:**

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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Boulder County, Colorado

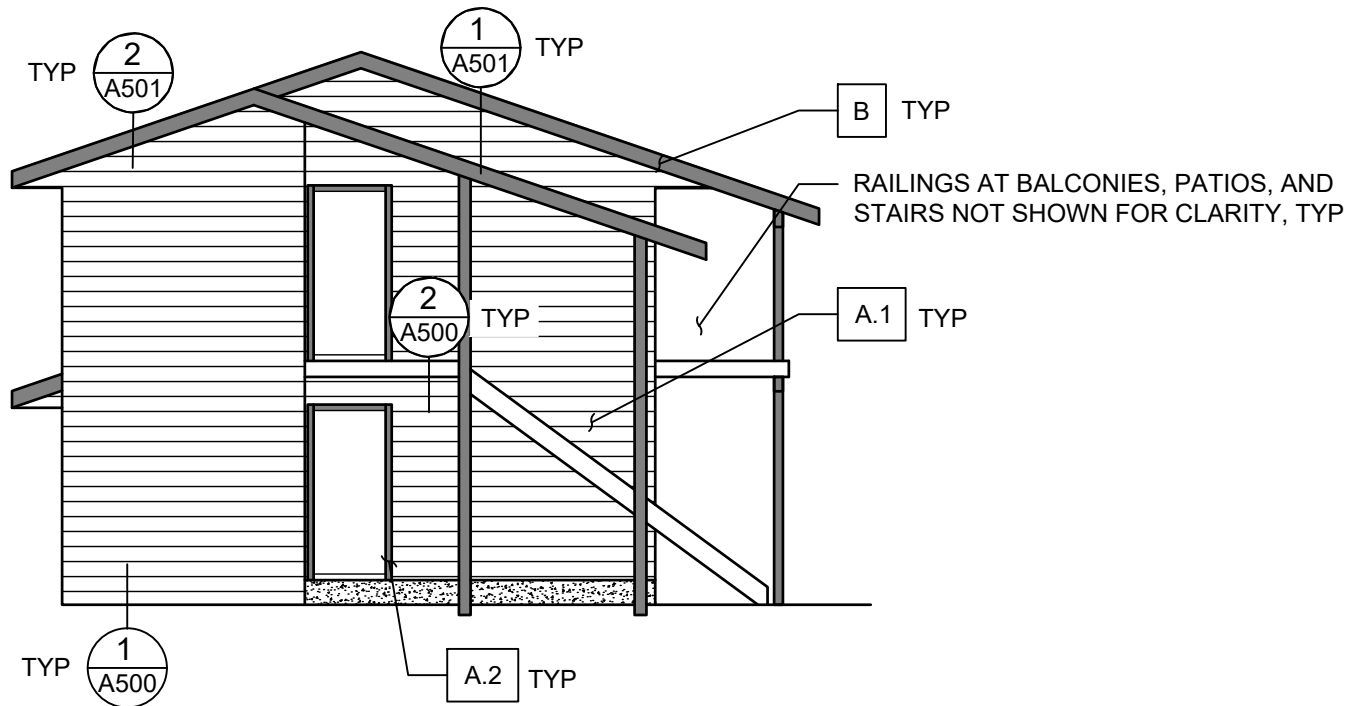
ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

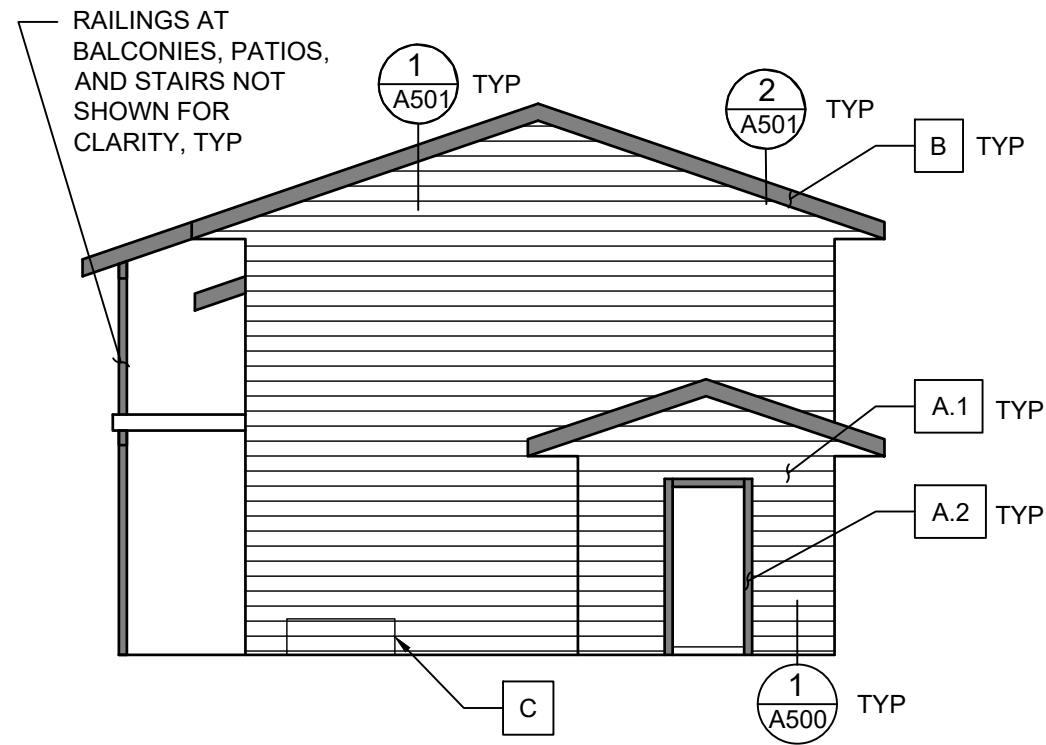
**A302**

DUPLEX ELEVATIONS - REGAL



**1** DUPLEX SIDE ELEVATION

Scale: 1/8"=1'-0"



**2** DUPLEX SIDE ELEVATION WITH SHED

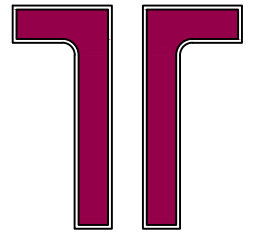
Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. EXISTING NATURAL GAS METERS TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND METERS.

ELEVATION NOTES:

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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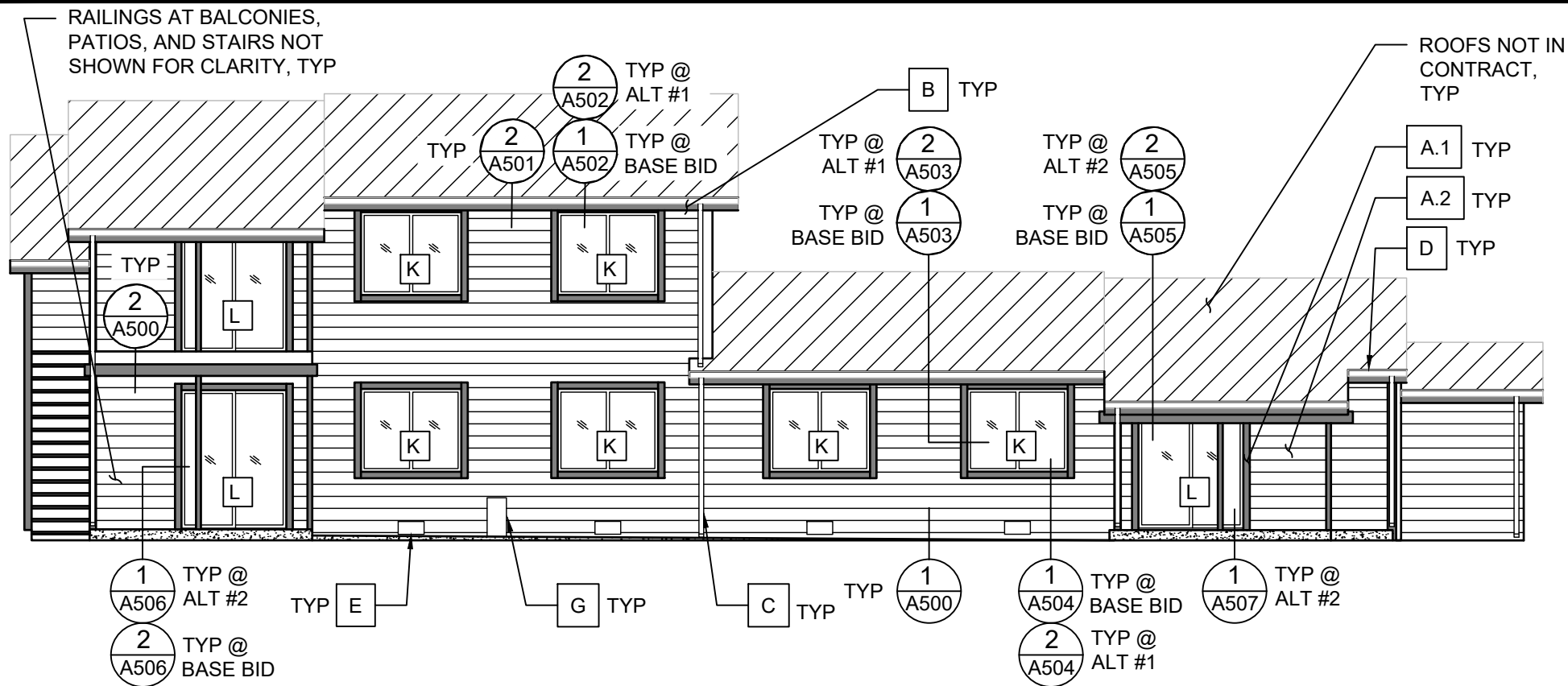
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A303**

DUPLEX ELEVATIONS - REGAL





1 TRI-PLEX FRONT ELEVATION WITH SHED

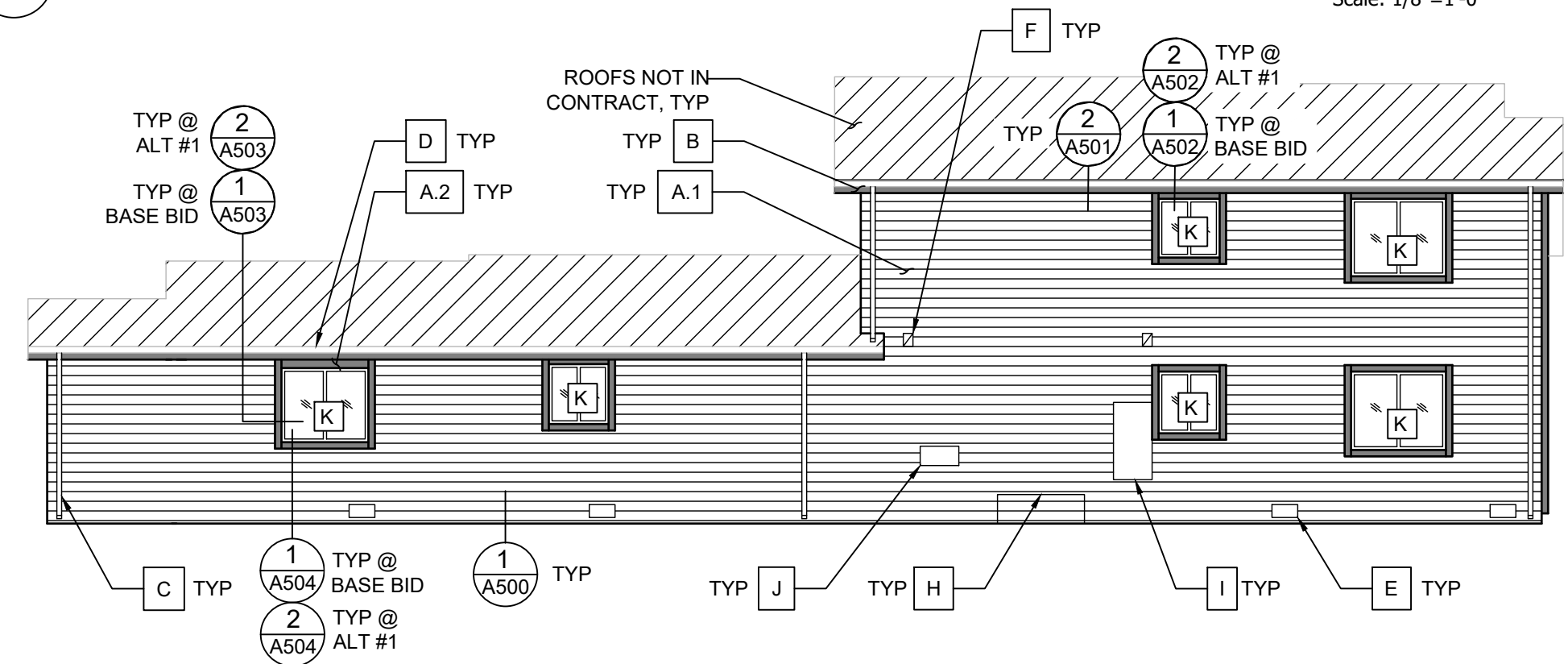
Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. DETACH AND RESET EXISTING DOWNSPOUTS AS REQUIRED TO INSTALL NEW SIDING/TRIM AND PAINT. DO NOT PAINT DOWNSPOUTS.
- D. EXISTING GUTTERS TO REMAIN. DO NOT PAINT GUTTERS.
- E. EXISTING CRAWL SPACE VENTS TO REMAIN, POSITION MAY VARY.
- F. DRYER VENT CAPS TO REMAIN, POSITION MAY VARY.
- G. BACKFLOW PREVENTER TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND THIS EQUIPMENT.
- H. EXISTING NATURAL GAS METERS TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND METERS.
- I. EXISTING ELECTRICAL METERS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- J. EXISTING CONDENSING UNIT DISCONNECTS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- K. **ALTERNATE 1:** REPLACE EXISTING WINDOWS, REFER TO SPECIFICATIONS FOR MATERIALS.
- L. **ALTERNATE 2:** REPLACE EXISTING SLIDING GLASS DOORS, REFER TO SPECIFICATIONS FOR MATERIALS.

ELEVATION NOTES:

1. REFER TO SHEET G001 FOR ELEVATION NOTES.



2 TRI-PLEX BACK ELEVATION WITH SHED

Scale: 1/8"=1'-0"



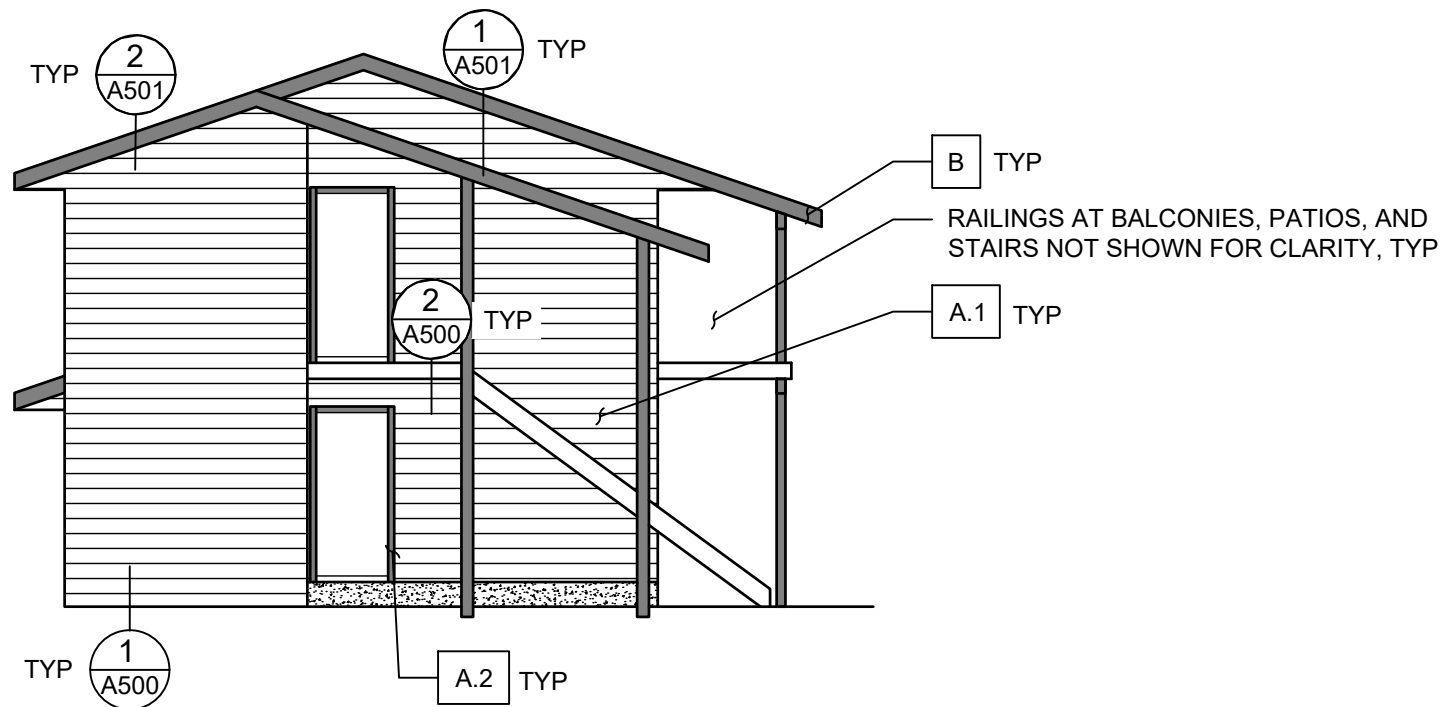
Balcony & Siding Repairs  
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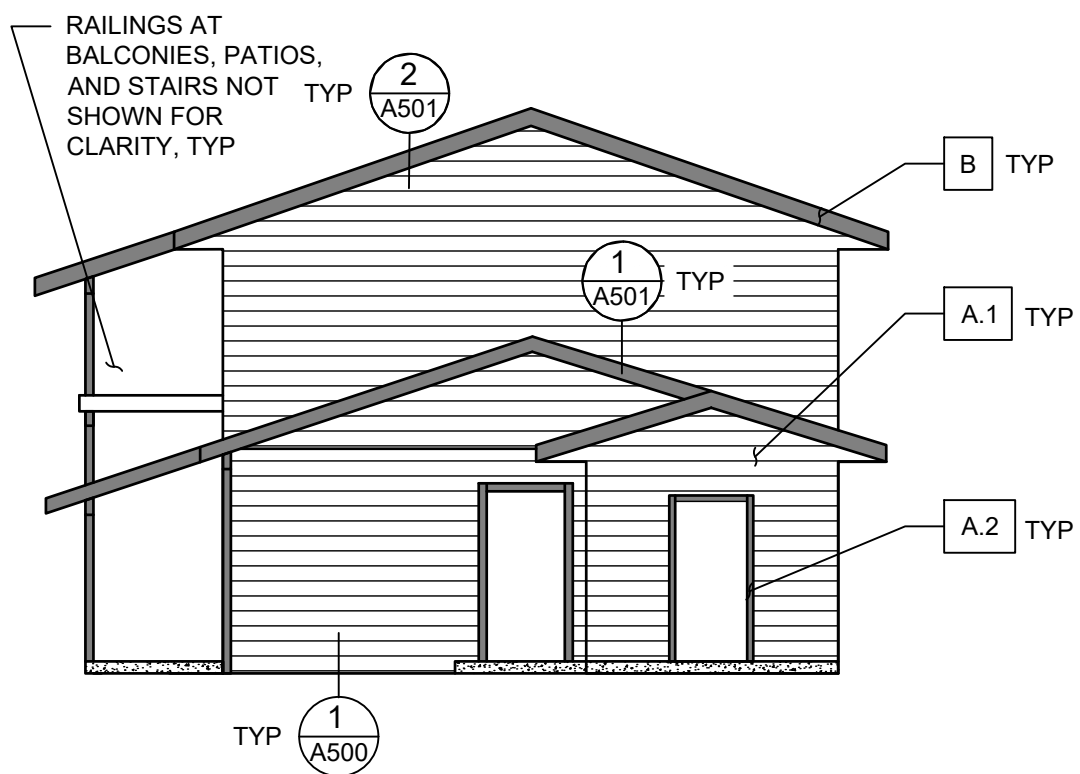
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A304**  
 TRIPLEX ELEVATIONS - REGAL



**1** SIDE ELEVATION WITH STAIR Scale: 1/8"=1'-0"



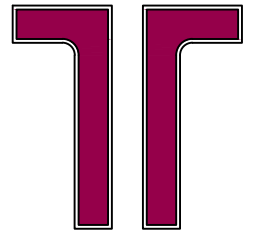
**2** TRI-PLEX SIDE ELEVATION - WITH SHED Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.

ELEVATION NOTES:

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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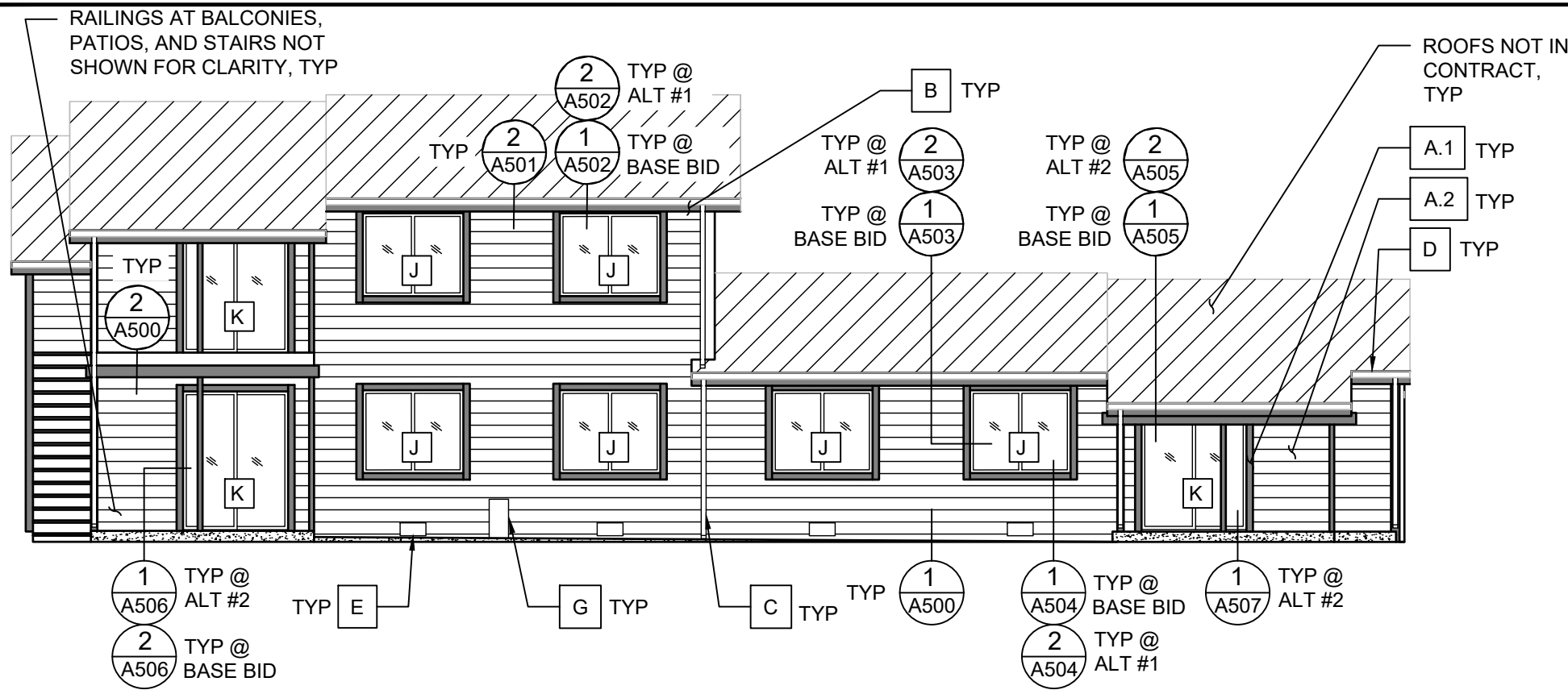
ISSUED FOR  
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Rev.	Desc.	Date

Project No:	F6236040
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Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

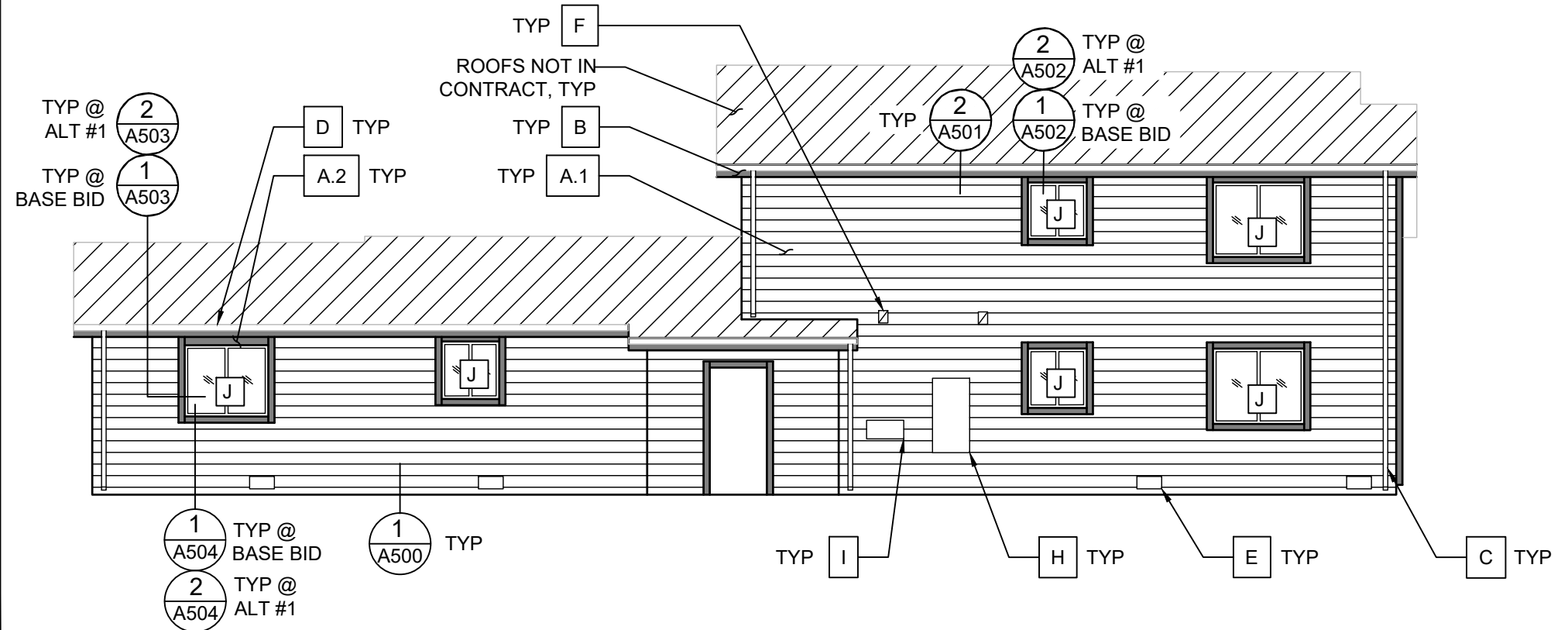
**A305**

TRIPLEX ELEVATIONS - REGAL



**1 TRI-PLEX FRONT ELEVATION**

Scale: 1/8"=1'-0"



**2 TRI-PLEX BACK ELEVATION**

Scale: 1/8"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- E. EXISTING CRAWL SPACE VENTS TO REMAIN, POSITION MAY VARY.
- F. DRYER VENT CAPS TO REMAIN, POSITION MAY VARY.
- G. BACKFLOW PREVENTER TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND THIS EQUIPMENT.
- H. EXISTING ELECTRICAL METERS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
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- J. **ALTERNATE 1:** REPLACE EXISTING WINDOWS, REFER TO SPECIFICATIONS FOR MATERIALS.
- K. **ALTERNATE 2:** REPLACE EXISTING SLIDING GLASS DOORS, REFER TO SPECIFICATIONS FOR MATERIALS.

**ELEVATION NOTES:**

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



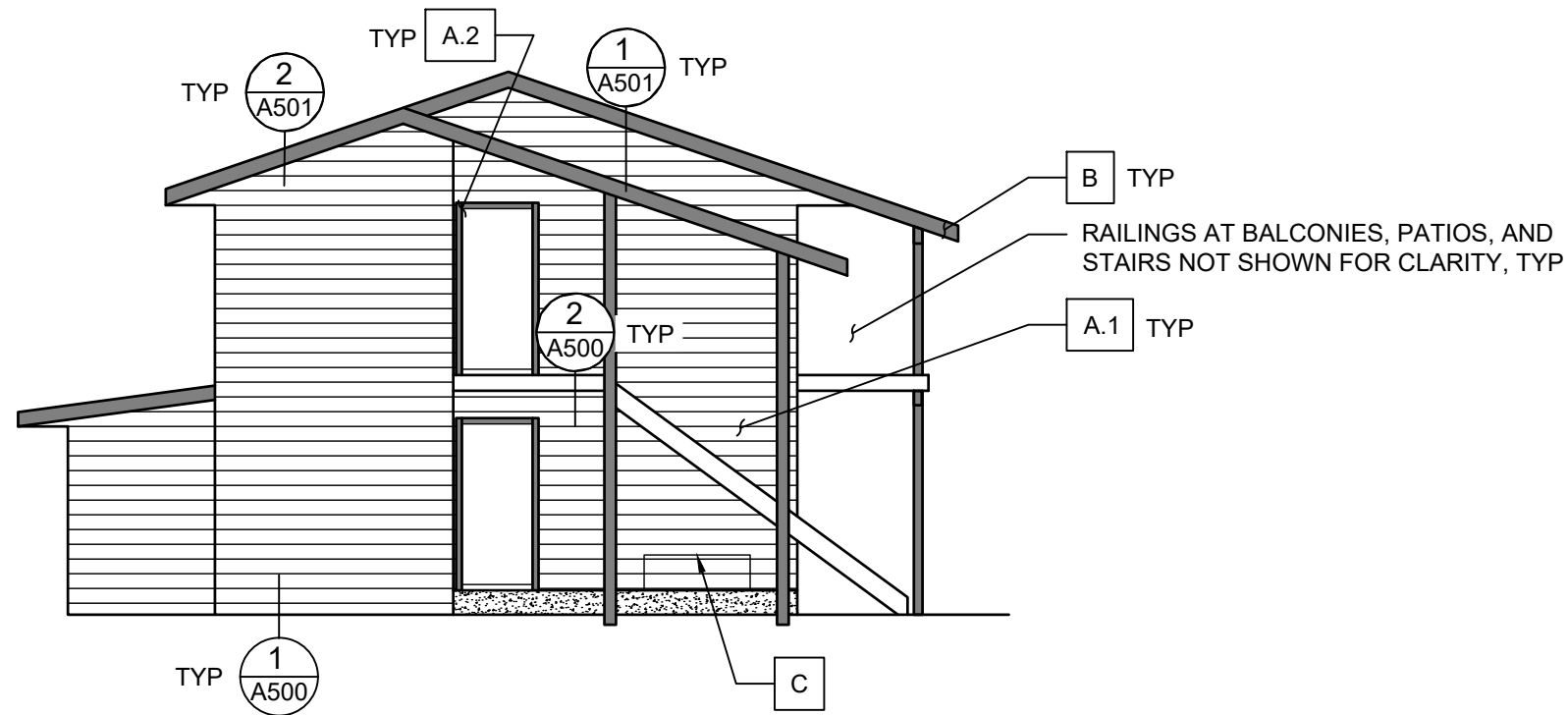
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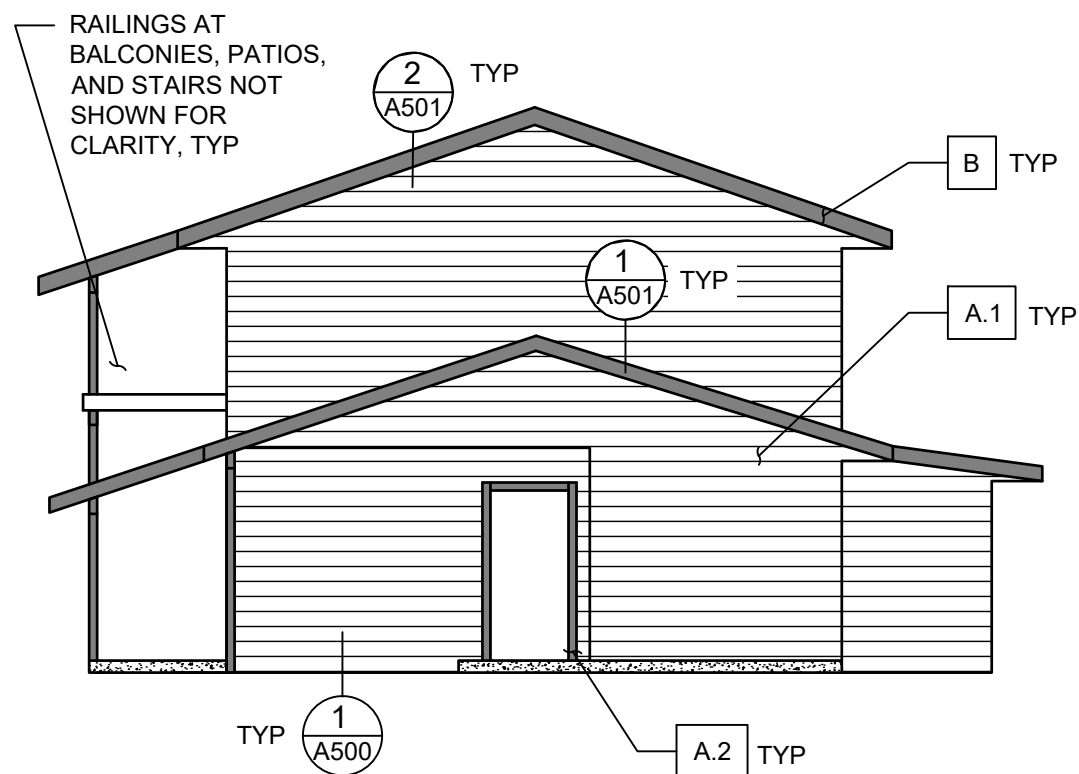
Rev.	Desc.	Date

Project No:	F6236040
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Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A306**  
 TRIPLEX ELEVATIONS - REGAL



**1 SIDE ELEVATION WITH STAIR**  
Scale: 1/8"=1'-0"



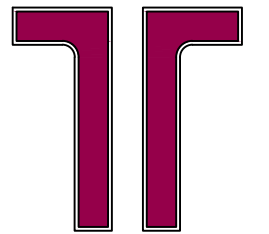
**2 TRI-PLEX SIDE ELEVATION**  
Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
  - 1. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT SIDING AND SOFFITS COLOR 1.
  - 2. FOLLOWING SIDING/TRIM REPLACEMENT, PAINT TRIM AND EXPOSED COLUMNS/BEAMS COLOR 2.
- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. EXISTING NATURAL GAS METERS TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND METERS.

ELEVATION NOTES:

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



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Balcony & Siding Repairs

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Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

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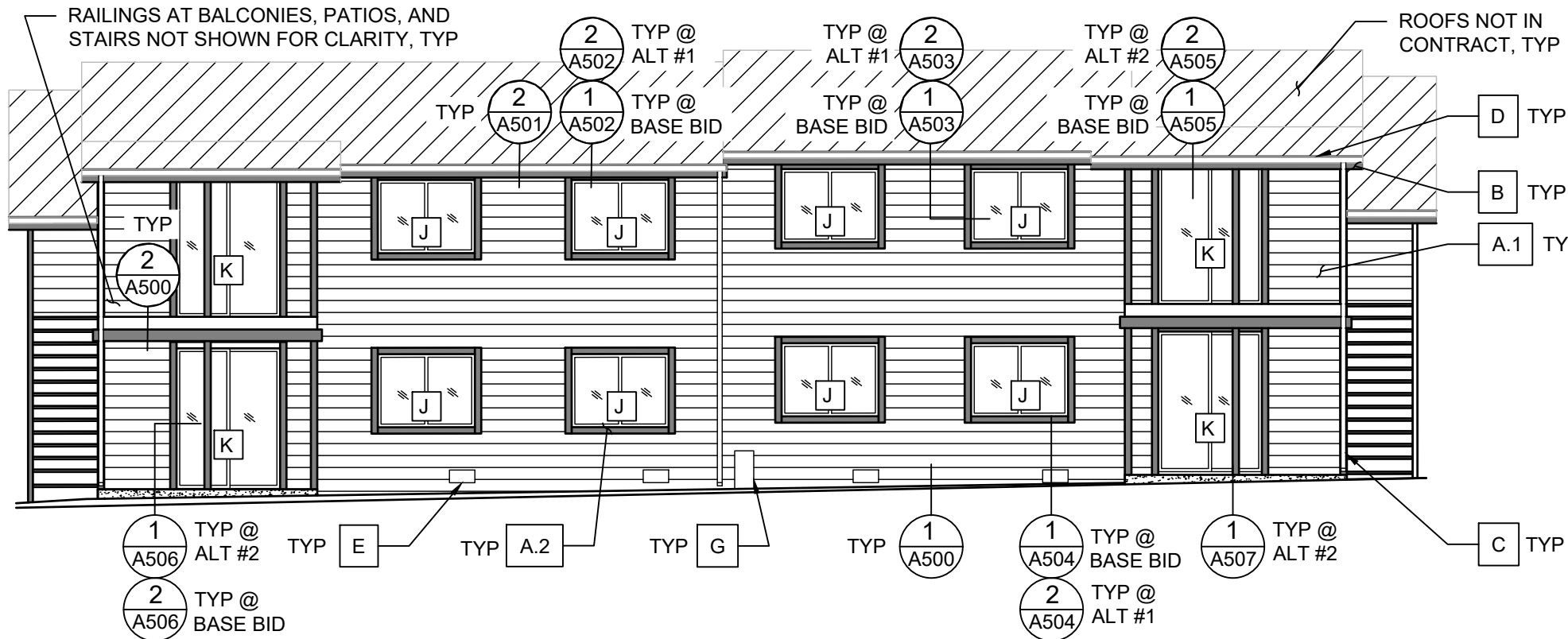
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**A307**

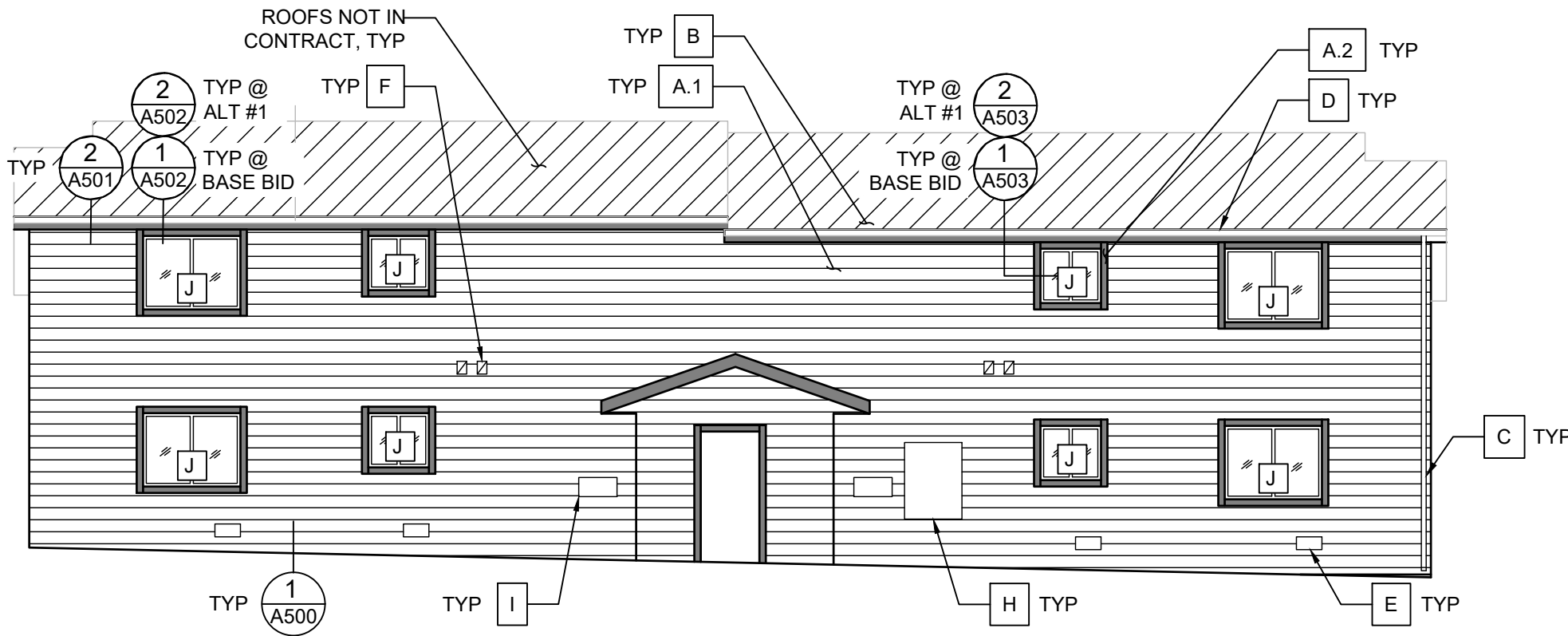
TRIPLEX ELEVATIONS - REGAL





**1** FOUR-PLEX FRONT ELEVATION

Scale: 1/8"=1'-0"



**2** FOUR-PLEX BACK ELEVATION

Scale: 1/8"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. DETACH AND RESET EXISTING DOWNSPOUTS AS REQUIRED TO INSTALL NEW SIDING/TRIM AND PAINT. DO NOT PAINT DOWNSPOUTS.
- D. EXISTING GUTTERS TO REMAIN. DO NOT PAINT GUTTERS.
- E. EXISTING CRAWL SPACE VENTS TO REMAIN, POSITION MAY VARY.
- F. DRYER VENT CAPS TO REMAIN, POSITION MAY VARY.
- G. BACKFLOW PREVENTER TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND THIS EQUIPMENT.
- H. EXISTING ELECTRICAL METERS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- I. EXISTING CONDENSING UNIT DISCONNECTS TO REMAIN, POSITION MAY VARY. SEAL PERIMETER TO NEW WATER-RESISTIVE BARRIER.
- J. **ALTERNATE 1:** REPLACE EXISTING WINDOWS, REFER TO SPECIFICATIONS FOR MATERIALS.
- K. **ALTERNATE 2:** REPLACE EXISTING SLIDING GLASS DOORS, REFER TO SPECIFICATIONS FOR MATERIALS.

**ELEVATION NOTES:**

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



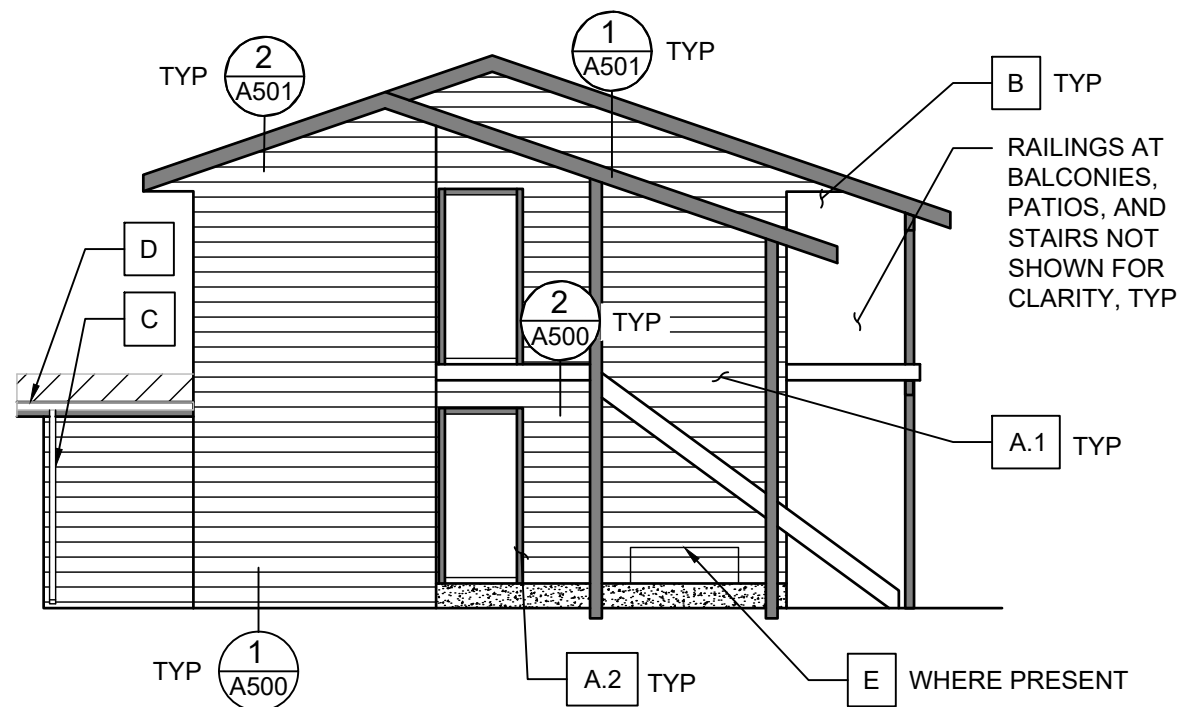
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 Various Addresses  
 Boulder County, Colorado

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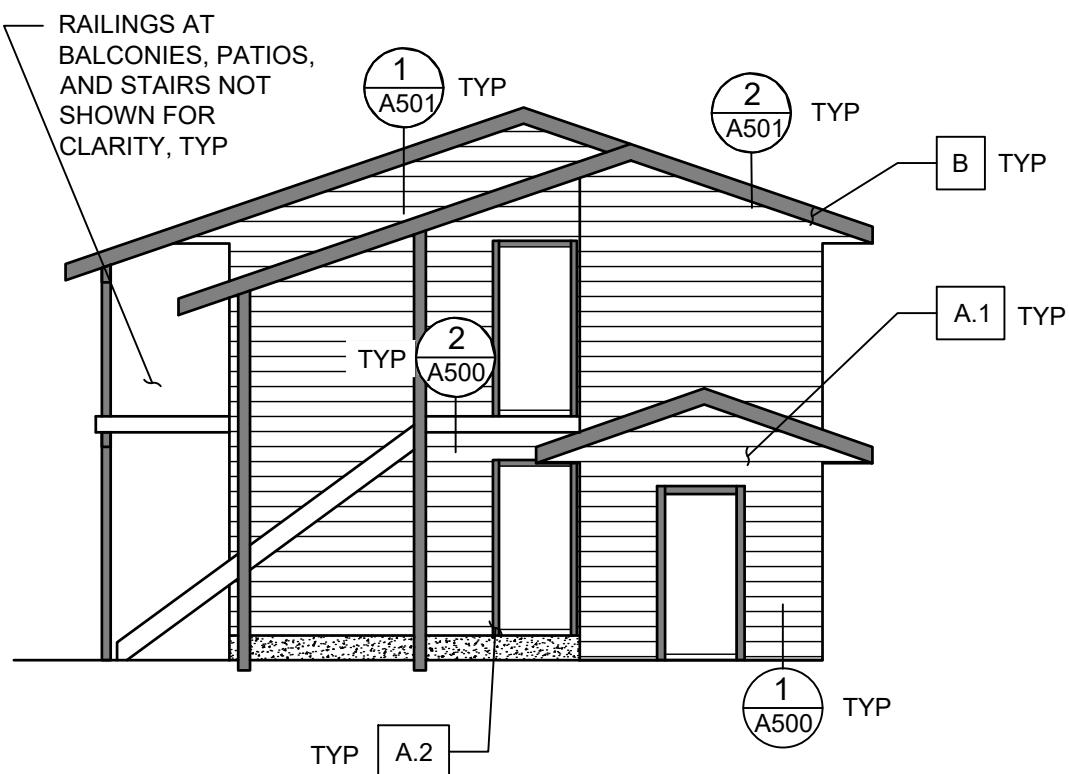
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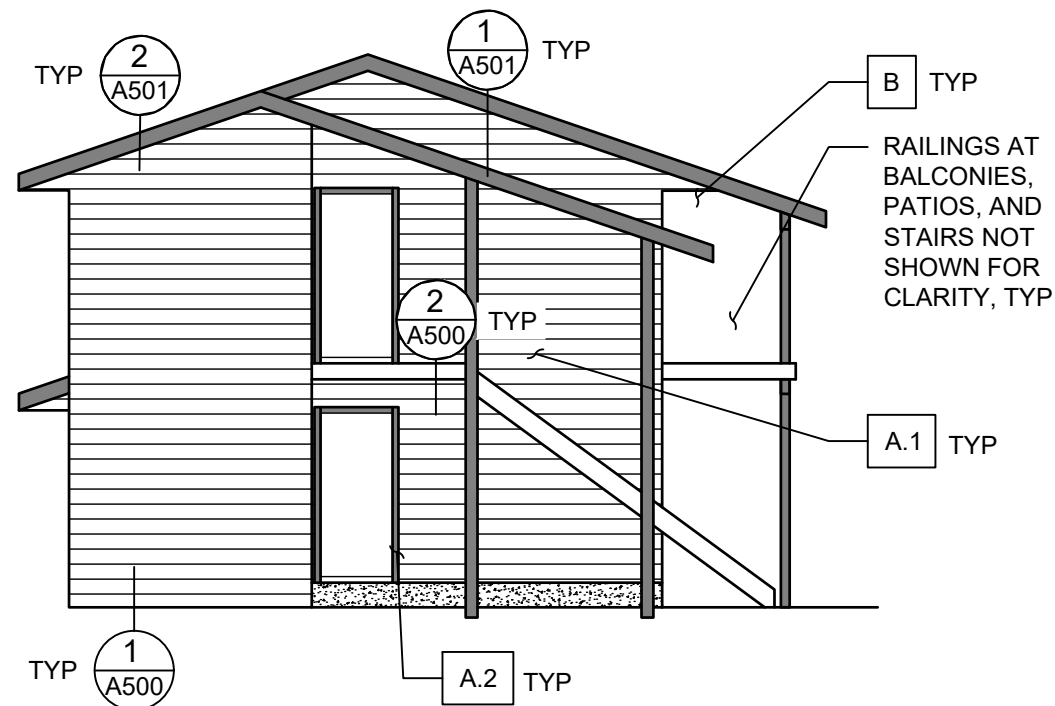
**A308**  
 FOUR-PLEX ELEVS - REGAL



**1 FOUR-PLEX SIDE ELEVATION - BACK SHED**  
Scale: 1/8"=1'-0"



**2 FOUR-PLEX SIDE ELEVATION WITH SHED**  
Scale: 1/8"=1'-0"



**3 FOUR-PLEX SIDE ELEVATION NO SHED**  
Scale: 1/8"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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- B. EXISTING FASCIA TO REMAIN, PAINT EXPOSED PORTION TO MATCH TRIM.
- C. DETACH AND RESET EXISTING DOWNSPOUTS AS REQUIRED TO INSTALL NEW SIDING/TRIM AND PAINT. DO NOT PAINT DOWNSPOUTS.
- D. EXISTING GUTTERS TO REMAIN. DO NOT PAINT GUTTERS.
- E. EXISTING NATURAL GAS METERS TO REMAIN, POSITION MAY VARY. REPLACE SIDING BEHIND METERS.

**ELEVATION NOTES:**

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.

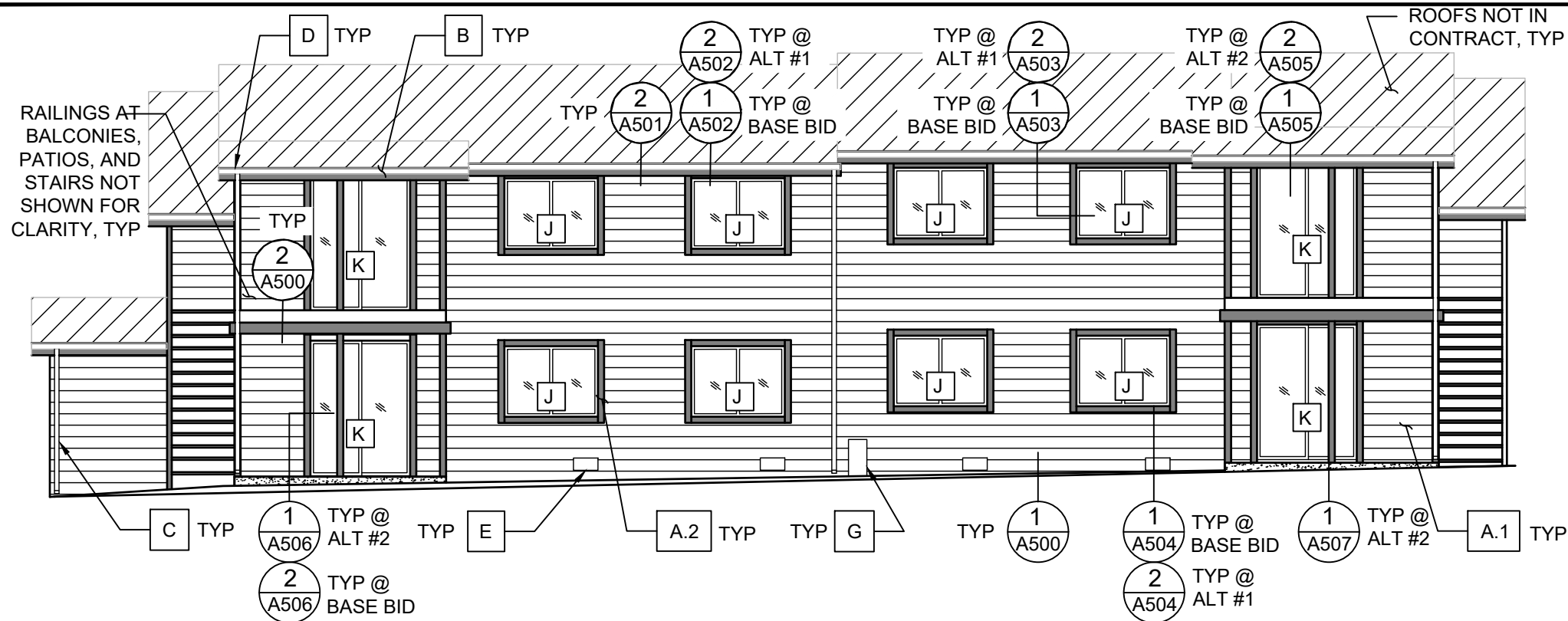


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Boulder County, Colorado

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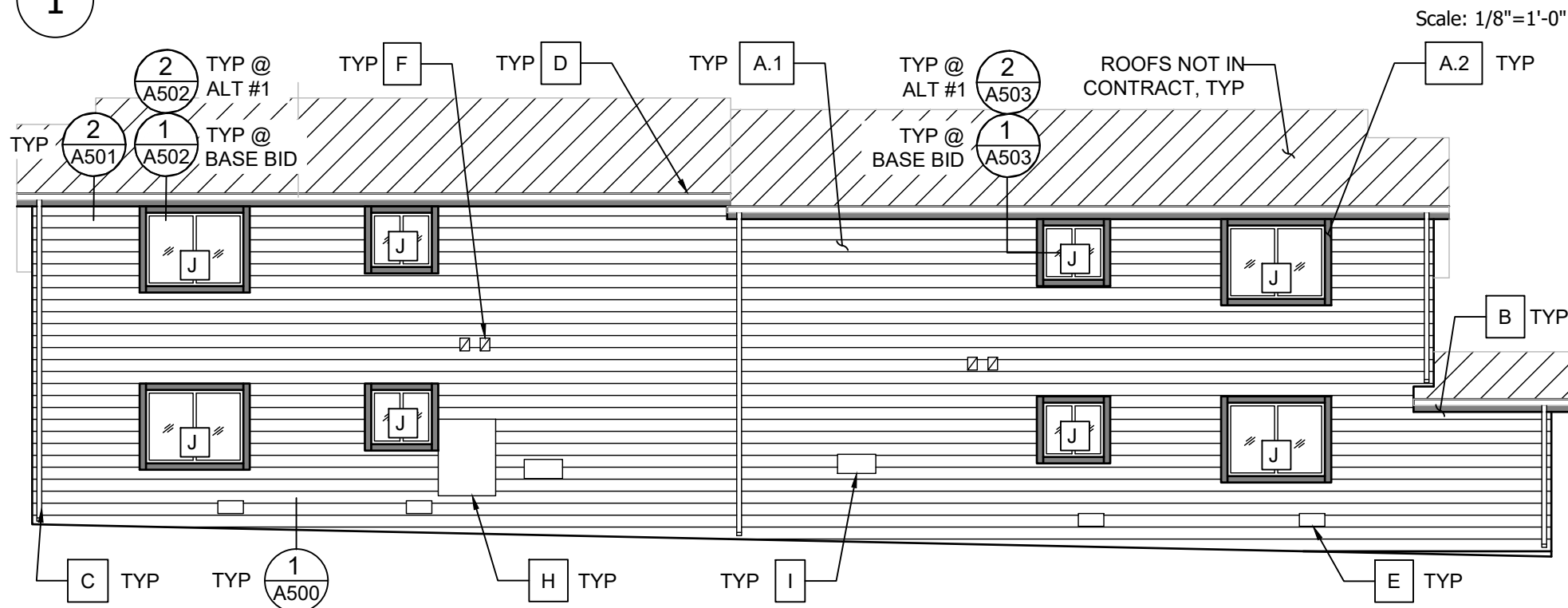
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Date:	06/16/2023	
Drawn By:	K. Gromowski	
Designed By:	K. Gromowski	

**A309**  
FOUR-PLEX ELEVS - REGAL



NOTES:  
 1. SHED ON OPPOSITE SIDE OF BUILDING AT 'SIM' CONDITION.

**1** FOUR-PLEX FRONT ELEVATION



NOTES:  
 1. SHED ON OPPOSITE SIDE OF BUILDING AT 'SIM' CONDITION.

**2** FOUR-PLEX BACK ELEVATION

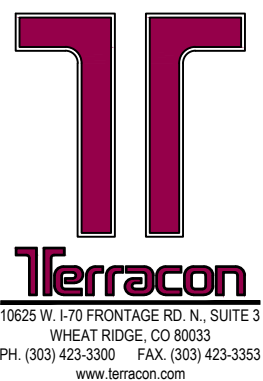
Scale: 1/8"=1'-0"

REPAIR KEY NOTES:

- A. REMOVE, DISCARD, AND REPLACE EXISTING SIDING AND TRIM, INCLUDING WATER-RESISTIVE BARRIER AND FLASHINGS. DETACHMENT AND REINSTALLATION OF SURFACE-MOUNTED BUILDING/UNIT NUMBERS, DOORBELLS, AND SURFACE-MOUNTED CABLES IS CONSIDERED INCIDENTAL TO THIS WORK. EXISTING SOFFITS ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE TRIM BLOCK-OUTS FOR EACH PENETRATION. REFER TO SPECIFICATIONS FOR MATERIALS.
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ELEVATION NOTES:

- 1. REFER TO SHEET G001 FOR ELEVATION NOTES.



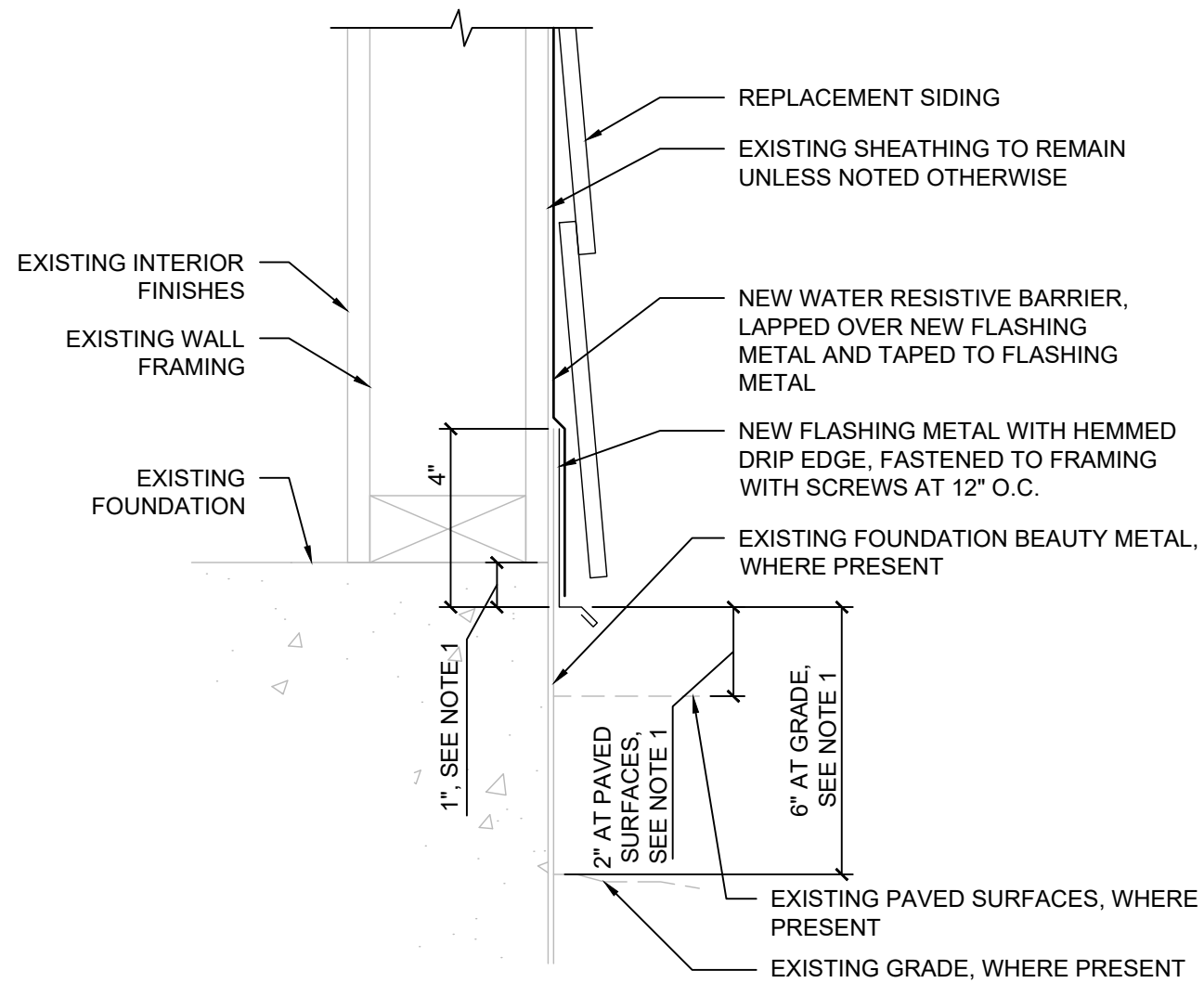
Balcony & Siding Repairs  
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Designed By:	K. Gromowski

**A310**  
 FOUR-PLEX ELEVS - REGAL

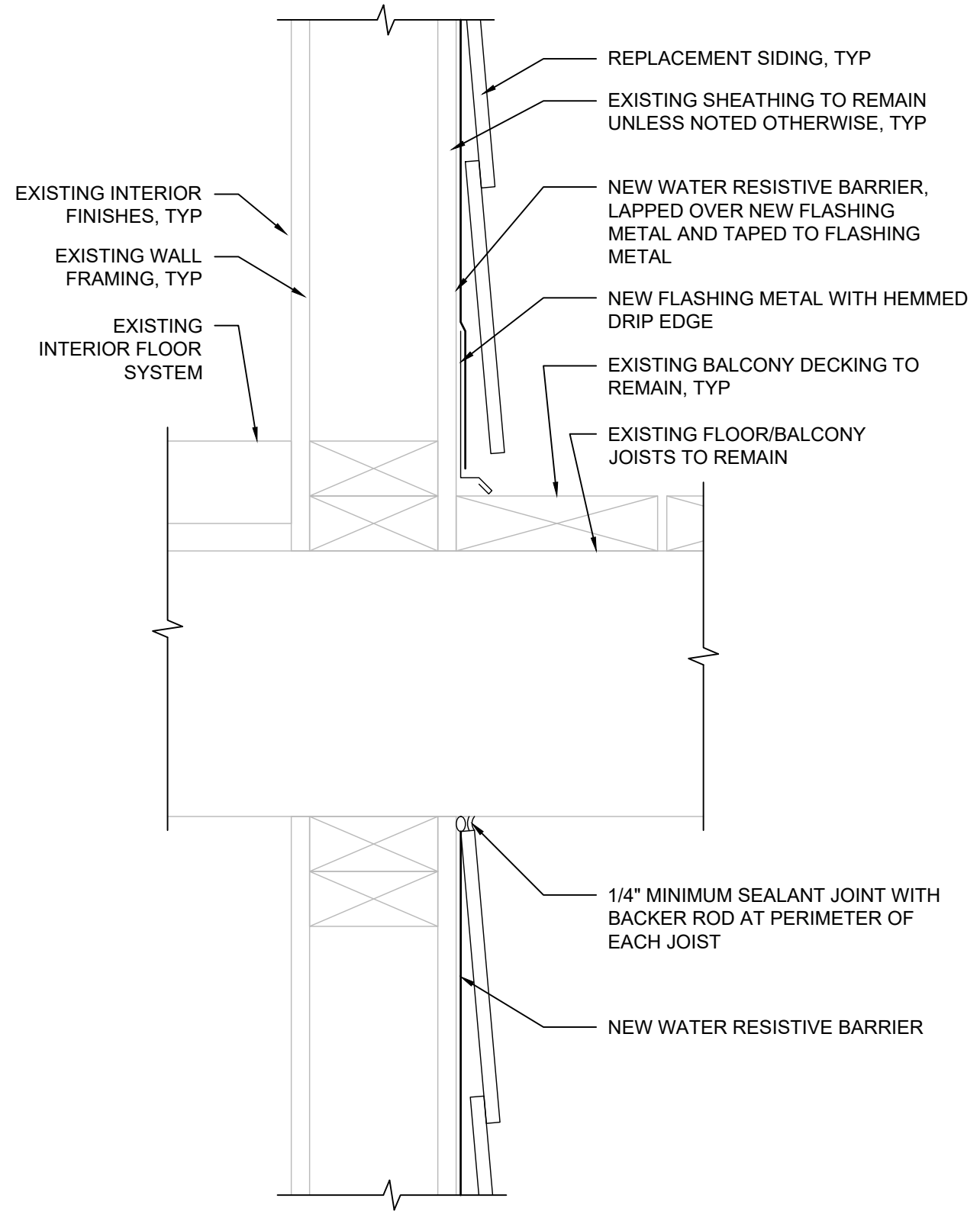


**NOTES:**

- WHERE REQUIRED CLEARANCE TO GRADE AND REQUIRED LAP OVER TRANSITION BETWEEN FOUNDATION/FRAMING CANNOT BOTH BE MET DUE TO EXISTING CONSTRUCTION, NOTIFY ENGINEER.

**1** TYPICAL SECTION AT BASE-OF-WALL

Scale: 3"=1'-0"



**2** TYPICAL SECTION AT BALCONY

Scale: 3"=1'-0"



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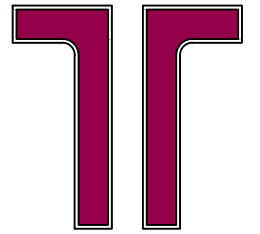
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**A500**  
SIDING DETAILS





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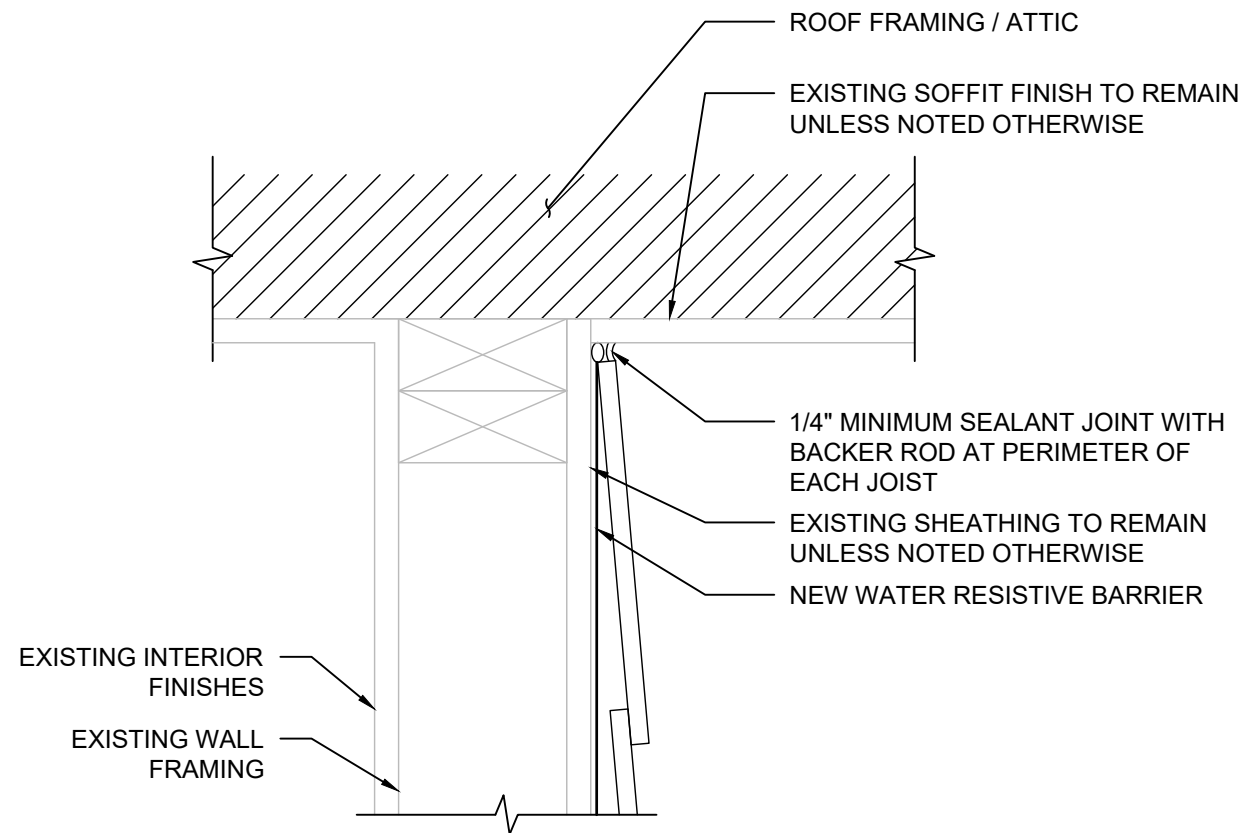
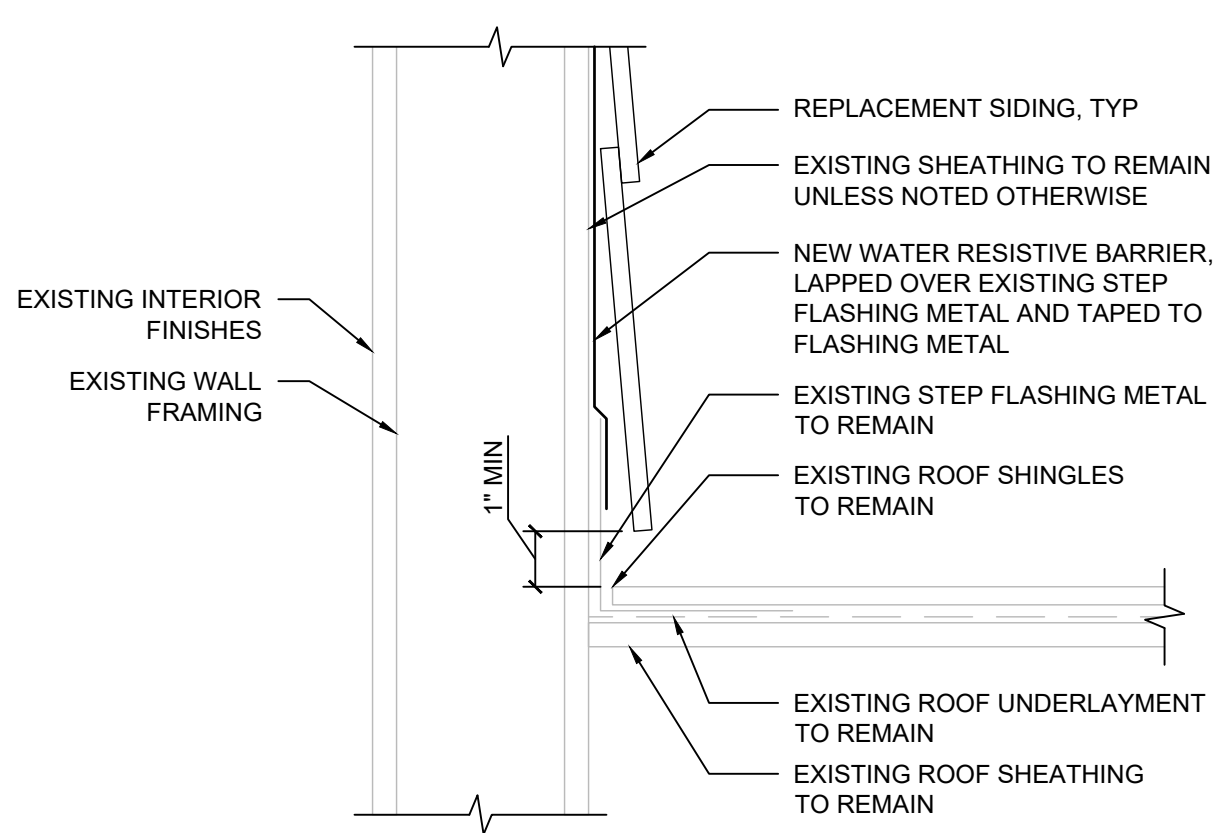
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**A501**

SIDING DETAILS

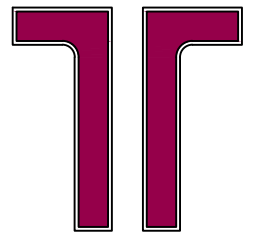


**1** TYPICAL SECTION AT ROOF

Scale: 3"=1'-0"

**2** TYPICAL SECTION AT SOFFIT

Scale: 3"=1'-0"



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Balcony & Siding Repairs

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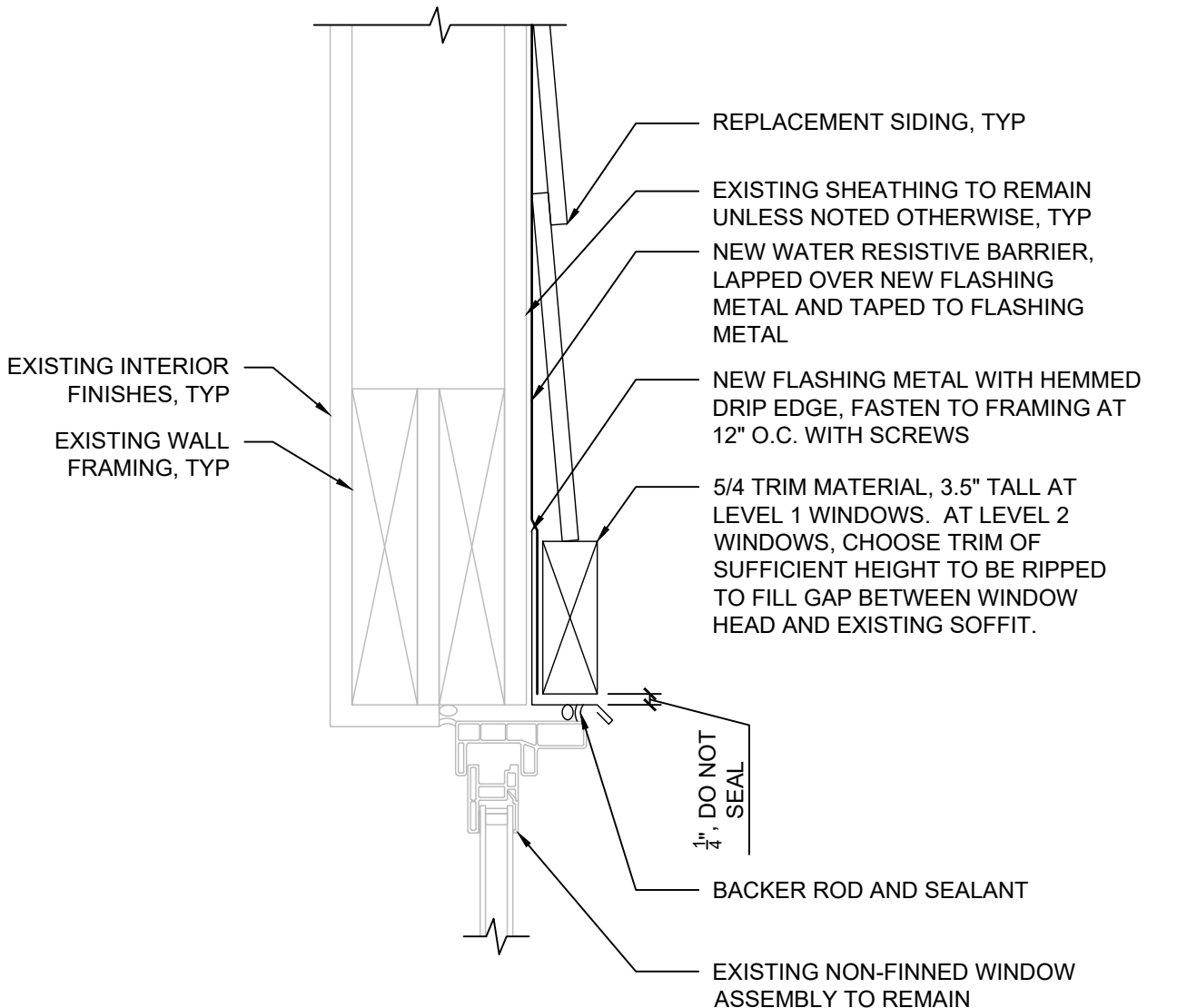
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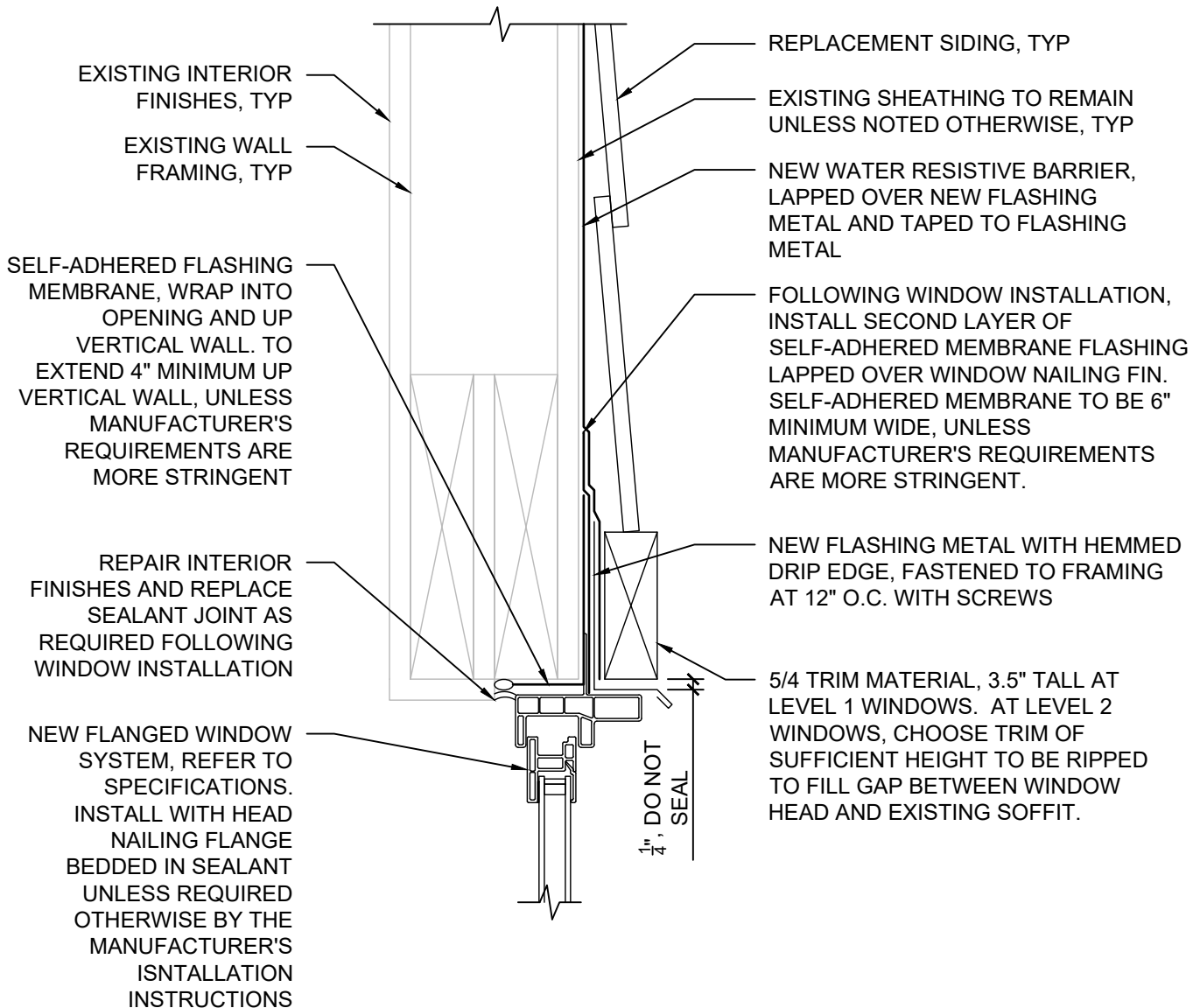
**A502**

SIDING DETAILS



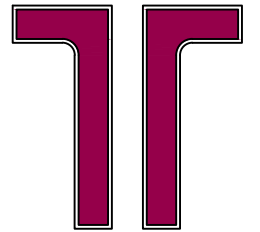
**1** TYPICAL WINDOW HEAD SECTION (BASE BID)

Scale: 3"=1'-0"



**2** TYPICAL WINDOW HEAD SECTION (ALT #1)

Scale: 3"=1'-0"



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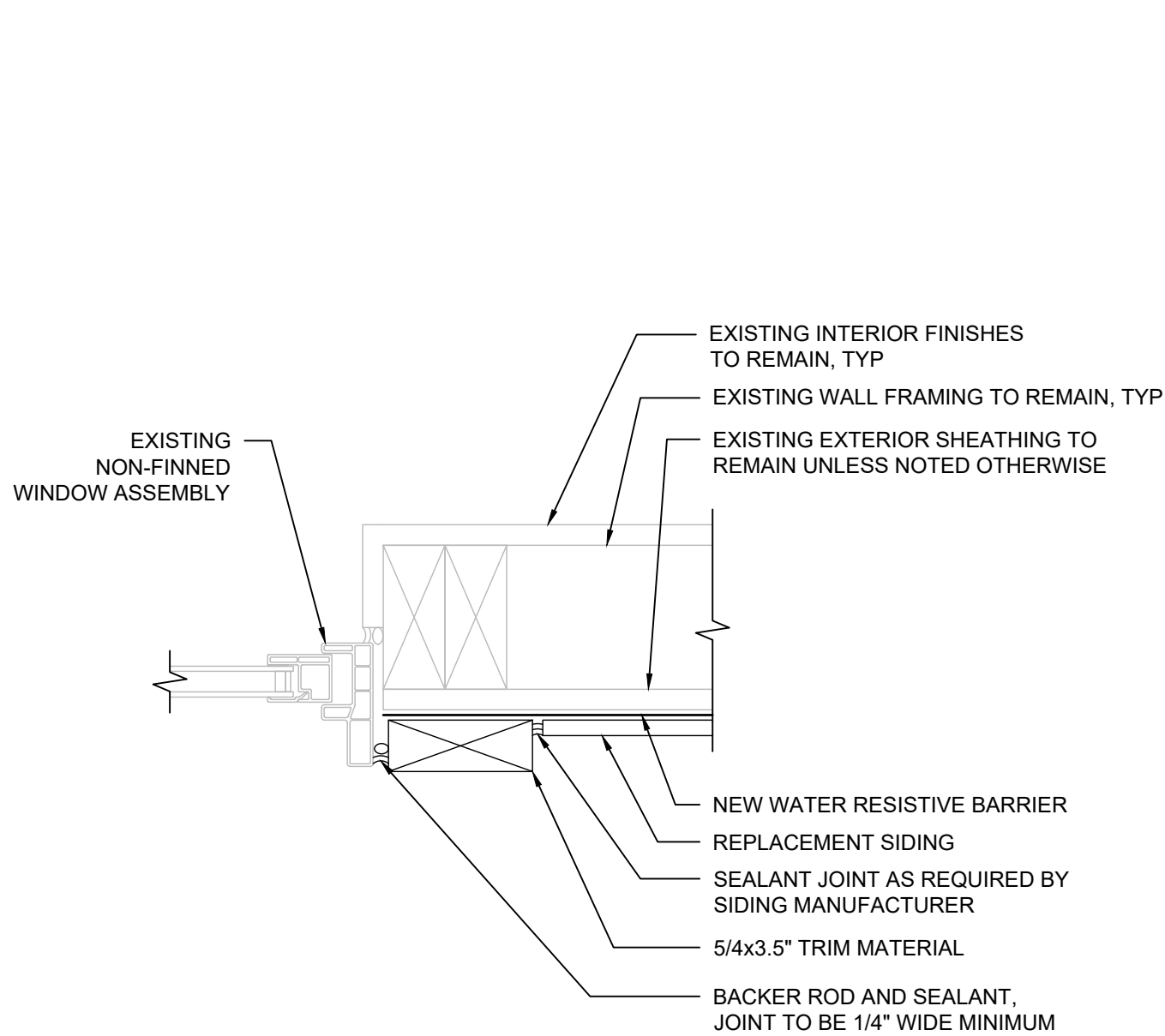
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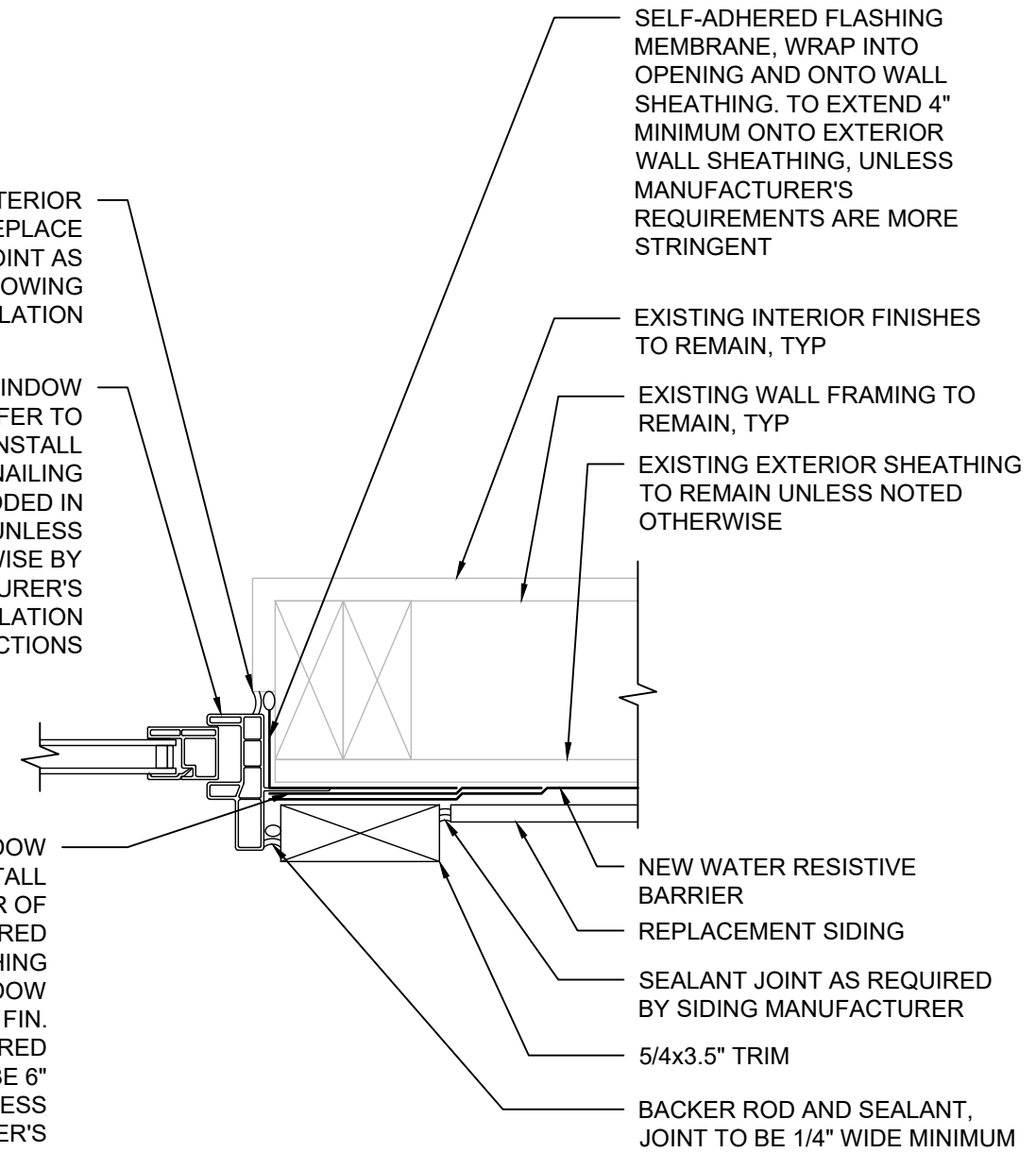
**A503**  
 SIDING DETAILS



REPAIR INTERIOR FINISHES AND REPLACE SEALANT JOINT AS REQUIRED FOLLOWING WINDOW INSTALLATION

NEW FLANGED WINDOW SYSTEM, REFER TO SPECIFICATIONS. INSTALL WITH JAMB NAILING FLANGE BEDDED IN SEALANT UNLESS REQUIRED OTHERWISE BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

FOLLOWING WINDOW INSTALLATION, INSTALL SECOND LAYER OF SELF-ADHERED MEMBRANE FLASHING LAPPED OVER WINDOW NAILING FIN. SELF-ADHERED MEMBRANE TO BE 6" MINIMUM WIDE, UNLESS MANUFACTURER'S REQUIREMENTS ARE MORE STRINGENT.

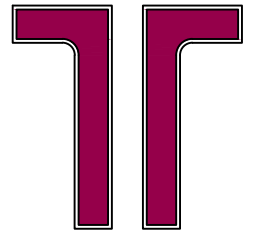


**1** TYPICAL WINDOW JAMB SECTION (BASE BID)

Scale: 3"=1'-0"

**2** TYPICAL WINDOW JAMB SECTION (ALT #1)

Scale: 3"=1'-0"



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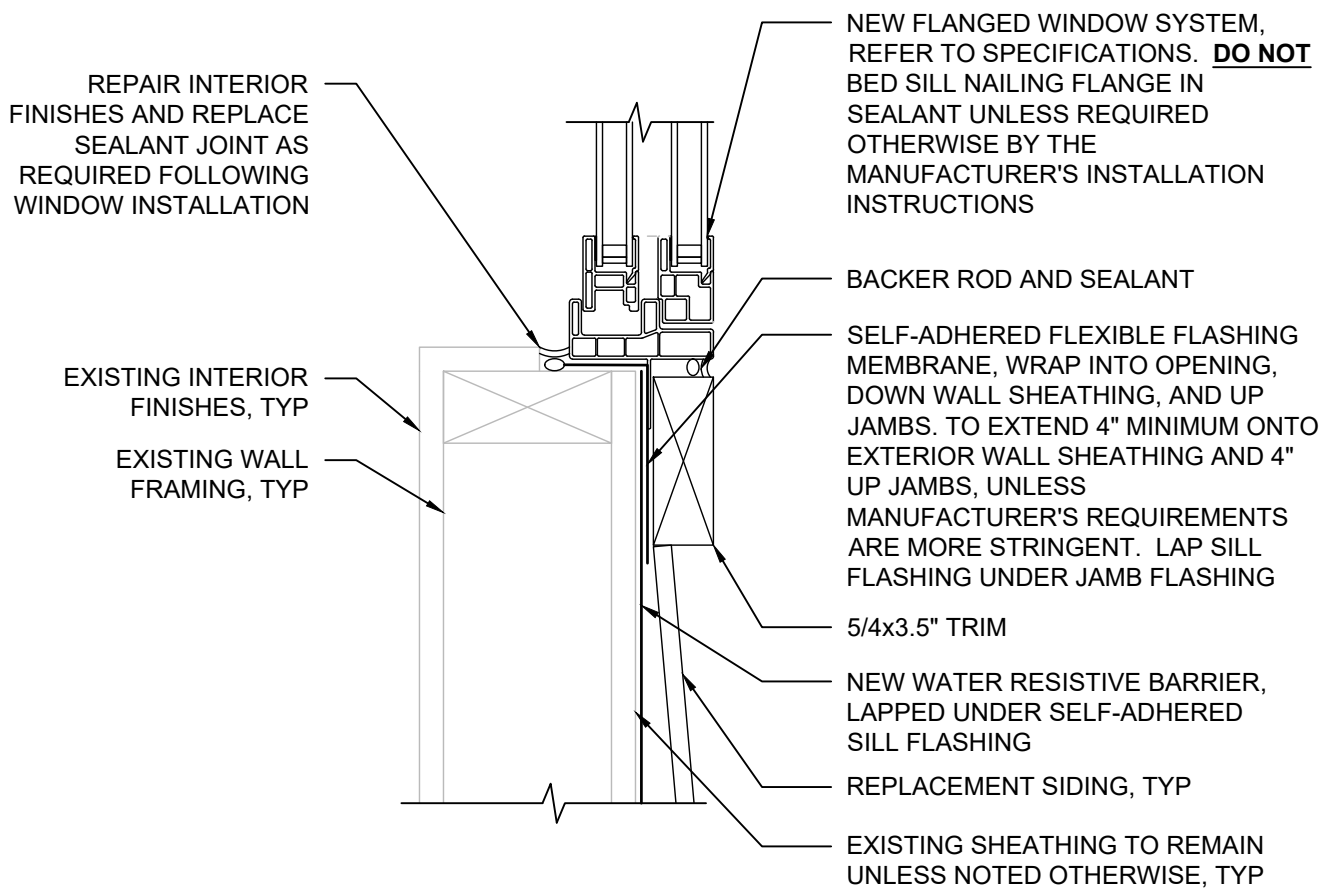
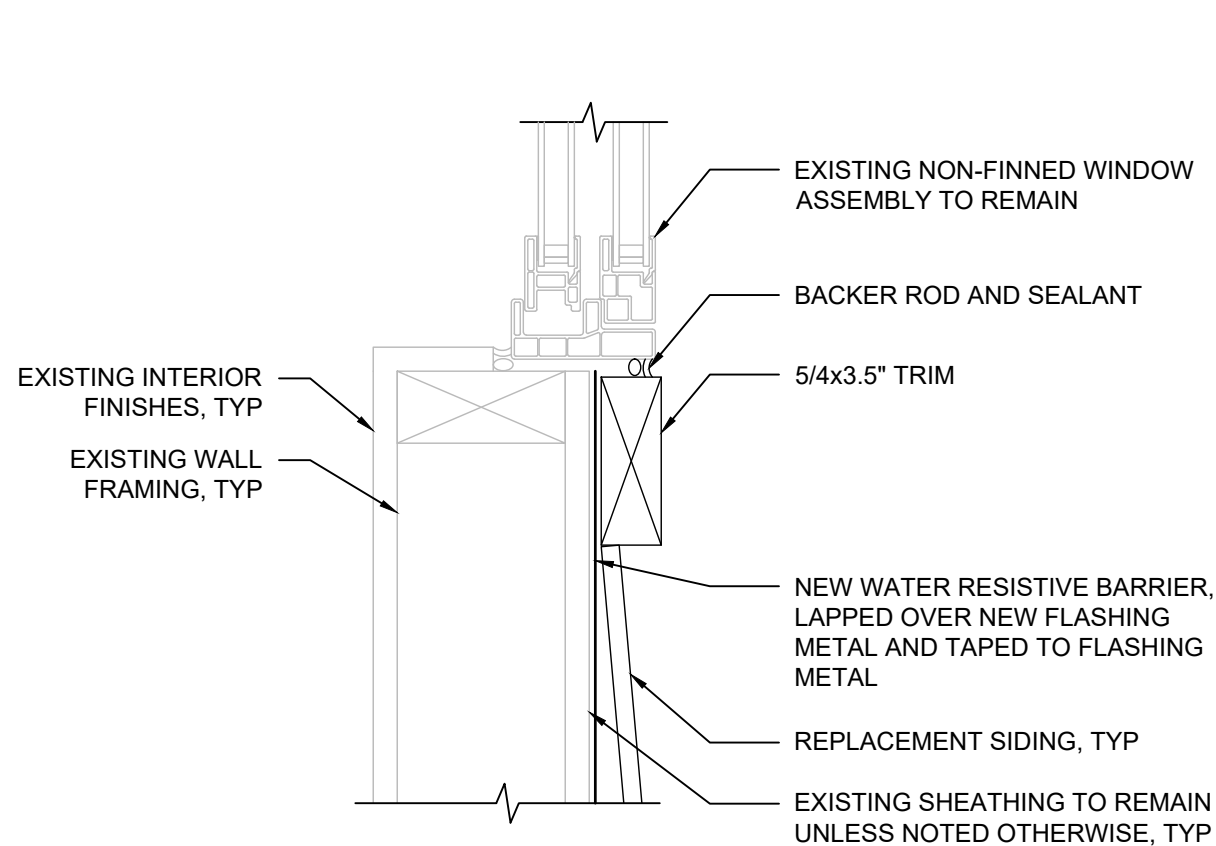
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**A504**

SIDING DETAILS

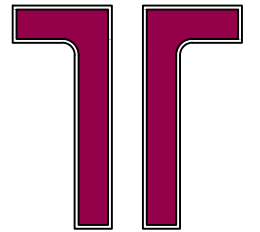


**1** TYPICAL WINDOW SILL SECTION (BASE BID)

Scale: 3"=1'-0"

**2** TYPICAL WINDOW SILL SECTION (ALT #1)

Scale: 3"=1'-0"



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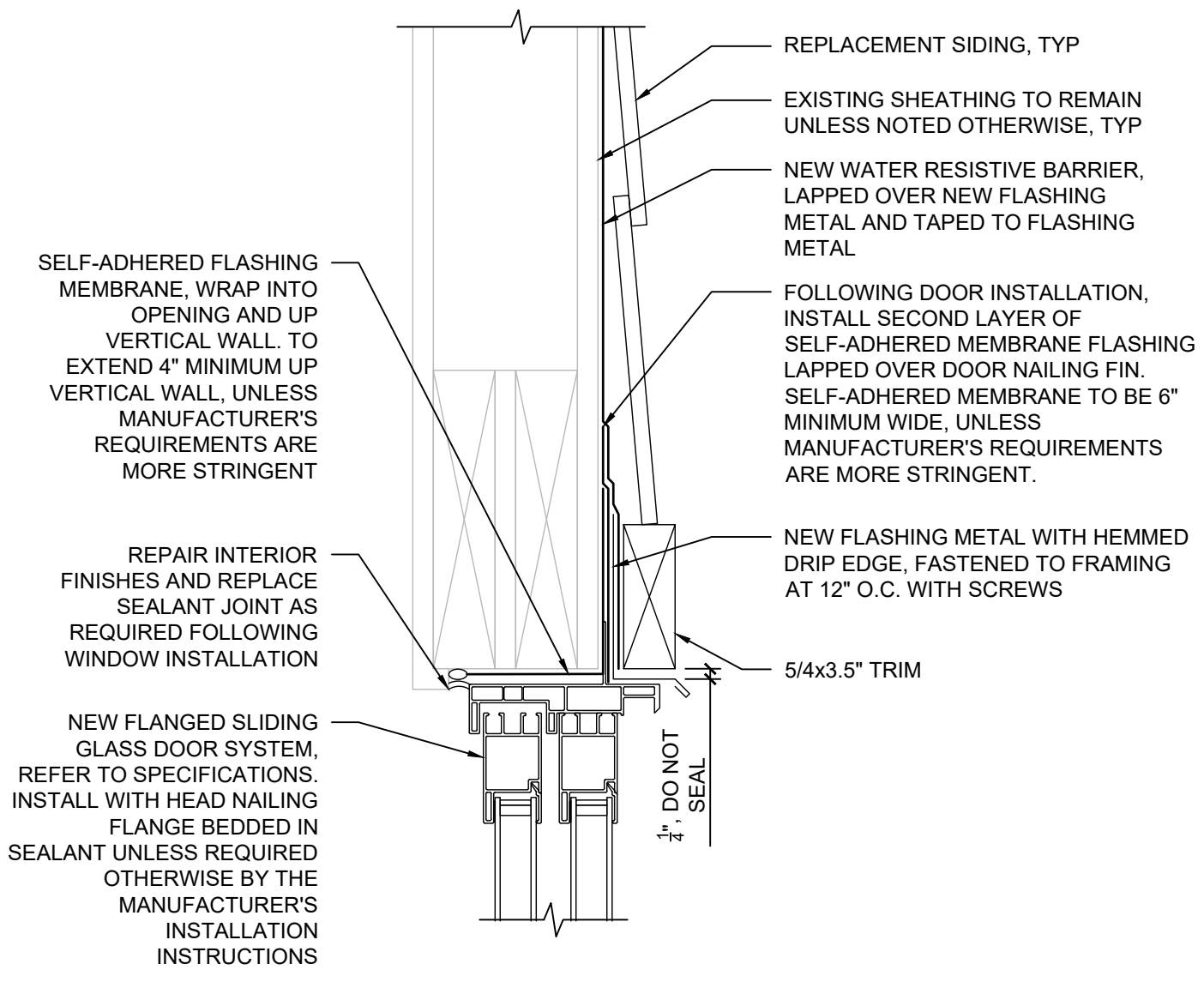
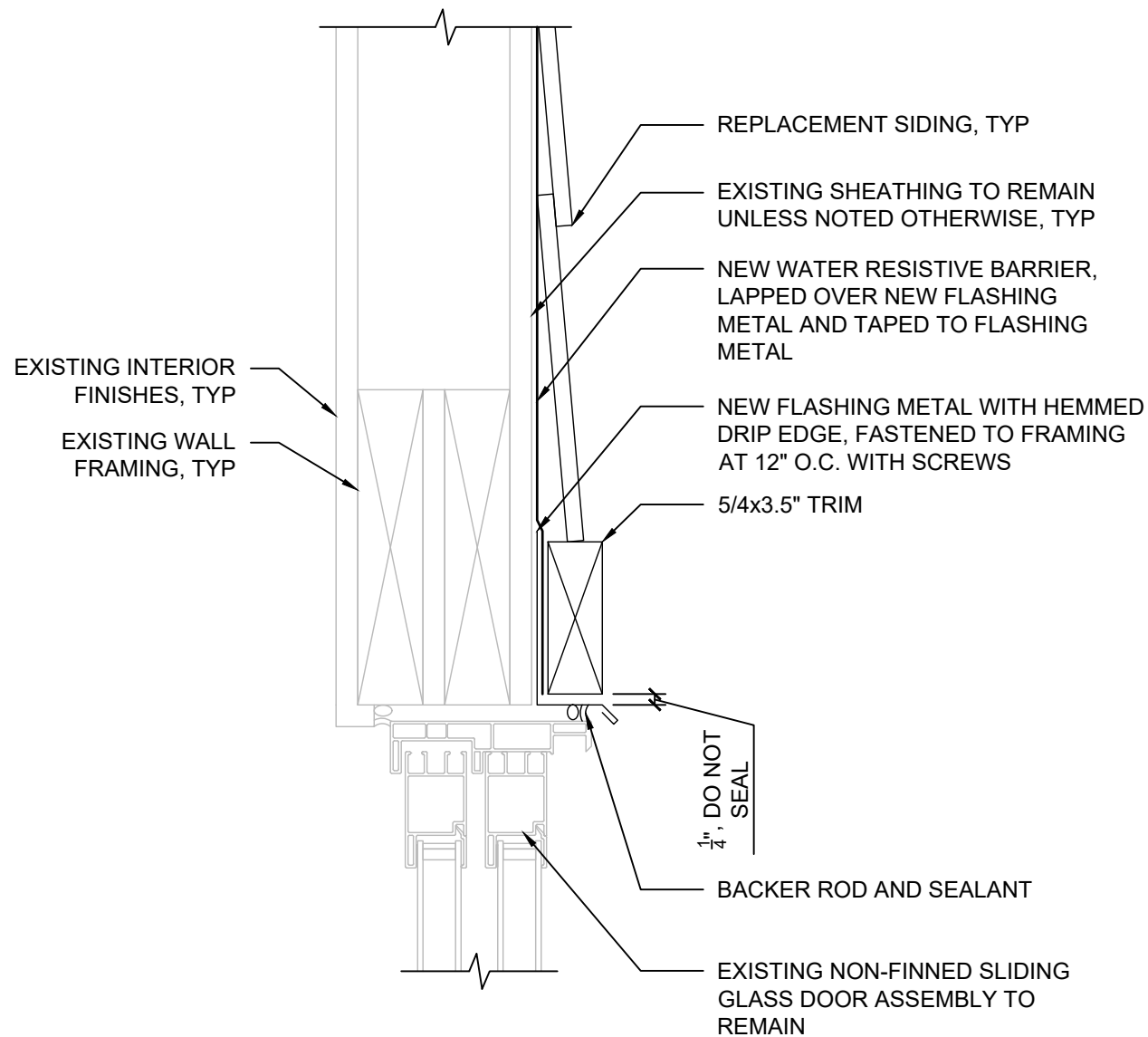
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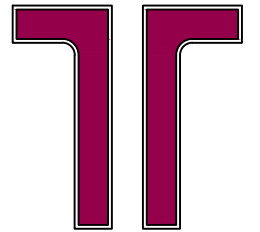
**A505**

SIDING DETAILS



**1** TYPICAL DOOR HEAD SECTION (BASE BID) Scale: 3"=1'-0"

**2** TYPICAL DOOR HEAD SECTION (ALT #2) Scale: 3"=1'-0"



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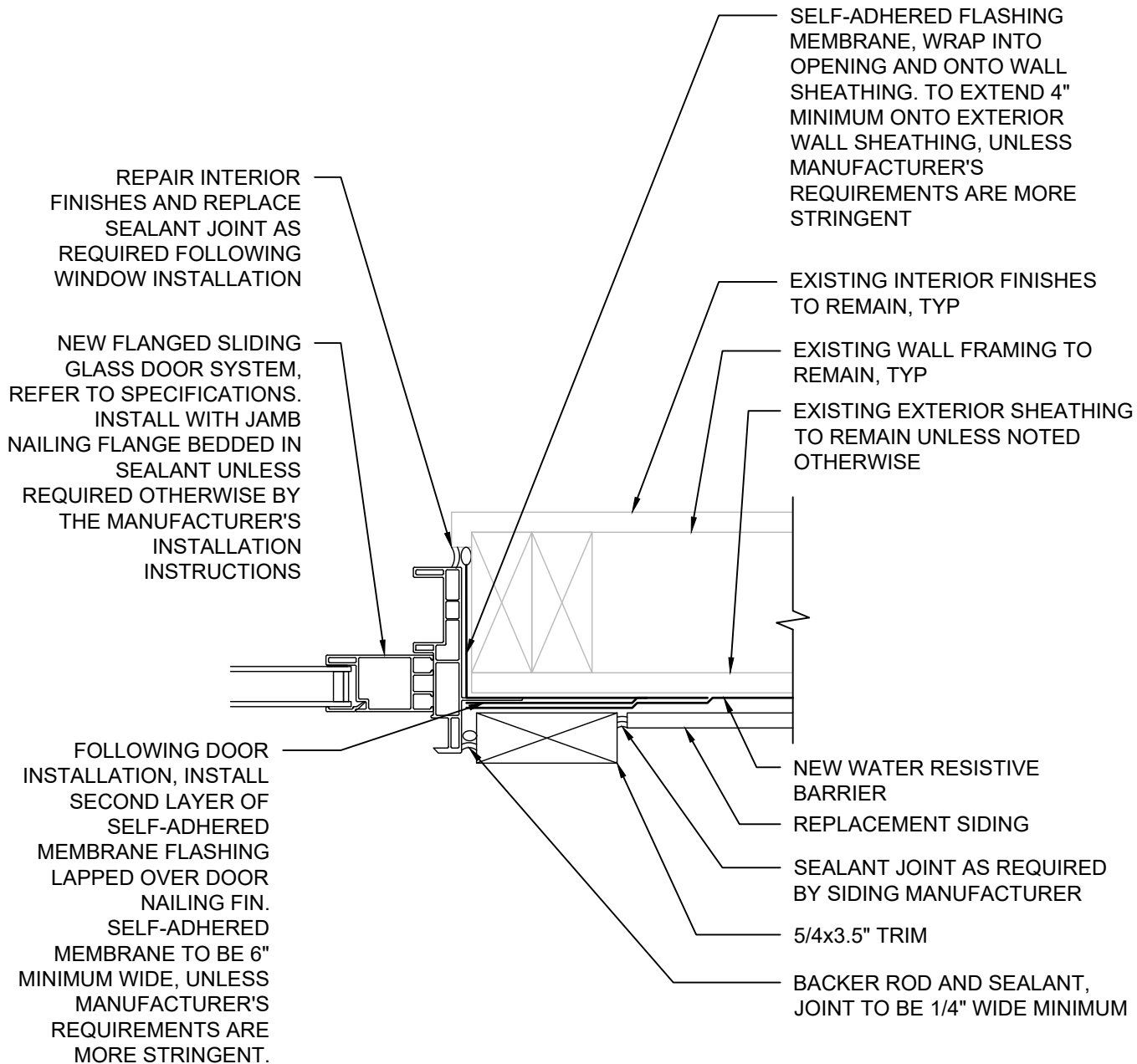
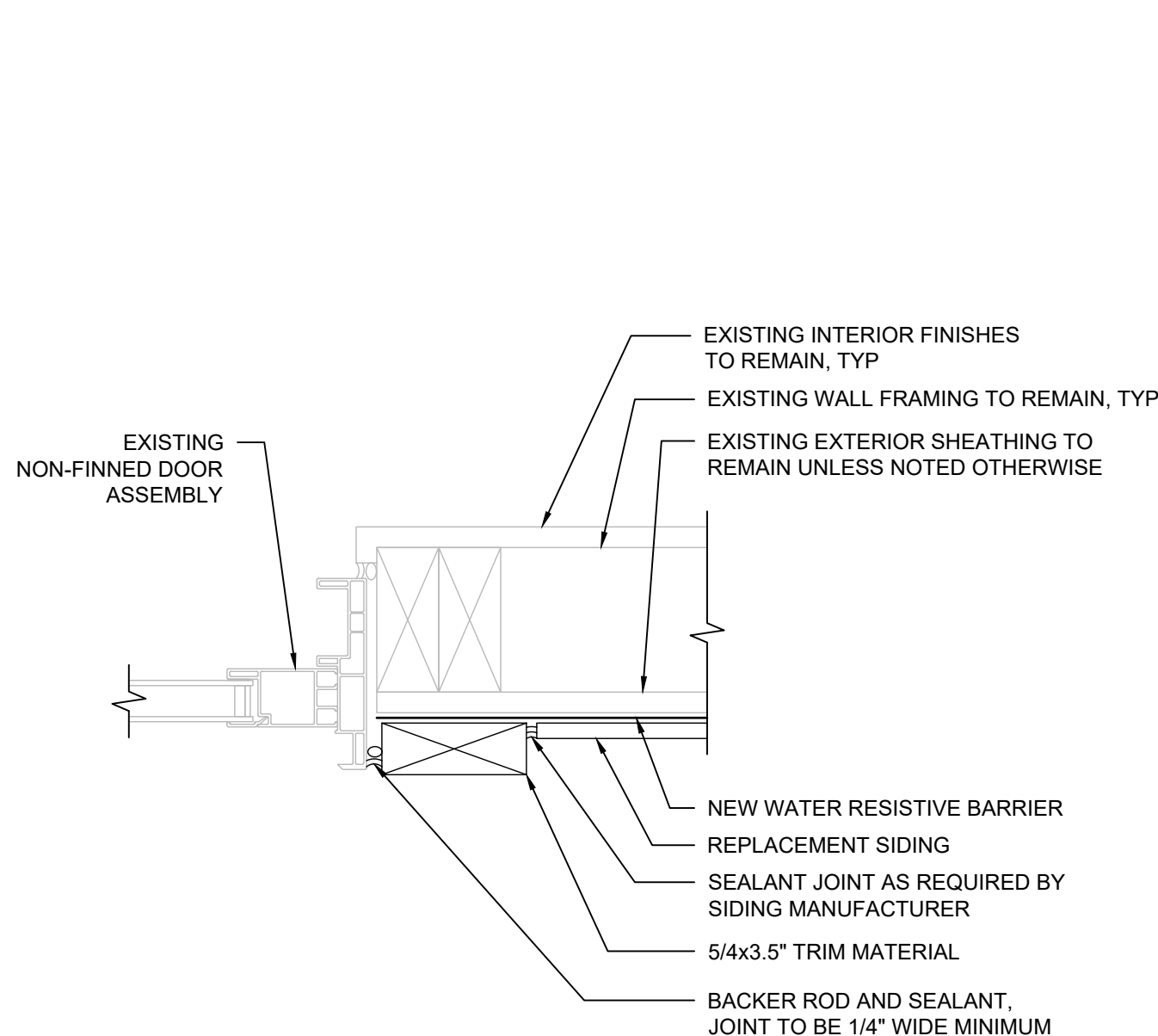
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**A506**

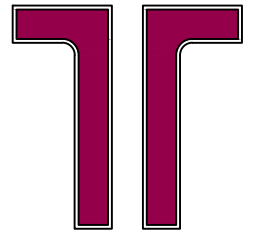
SIDING DETAILS



**1** TYPICAL DOOR JAMB SECTION (BASE BID) Scale: 3"=1'-0"

**2** TYPICAL DOOR JAMB SECTION (ALT #2) Scale: 3"=1'-0"





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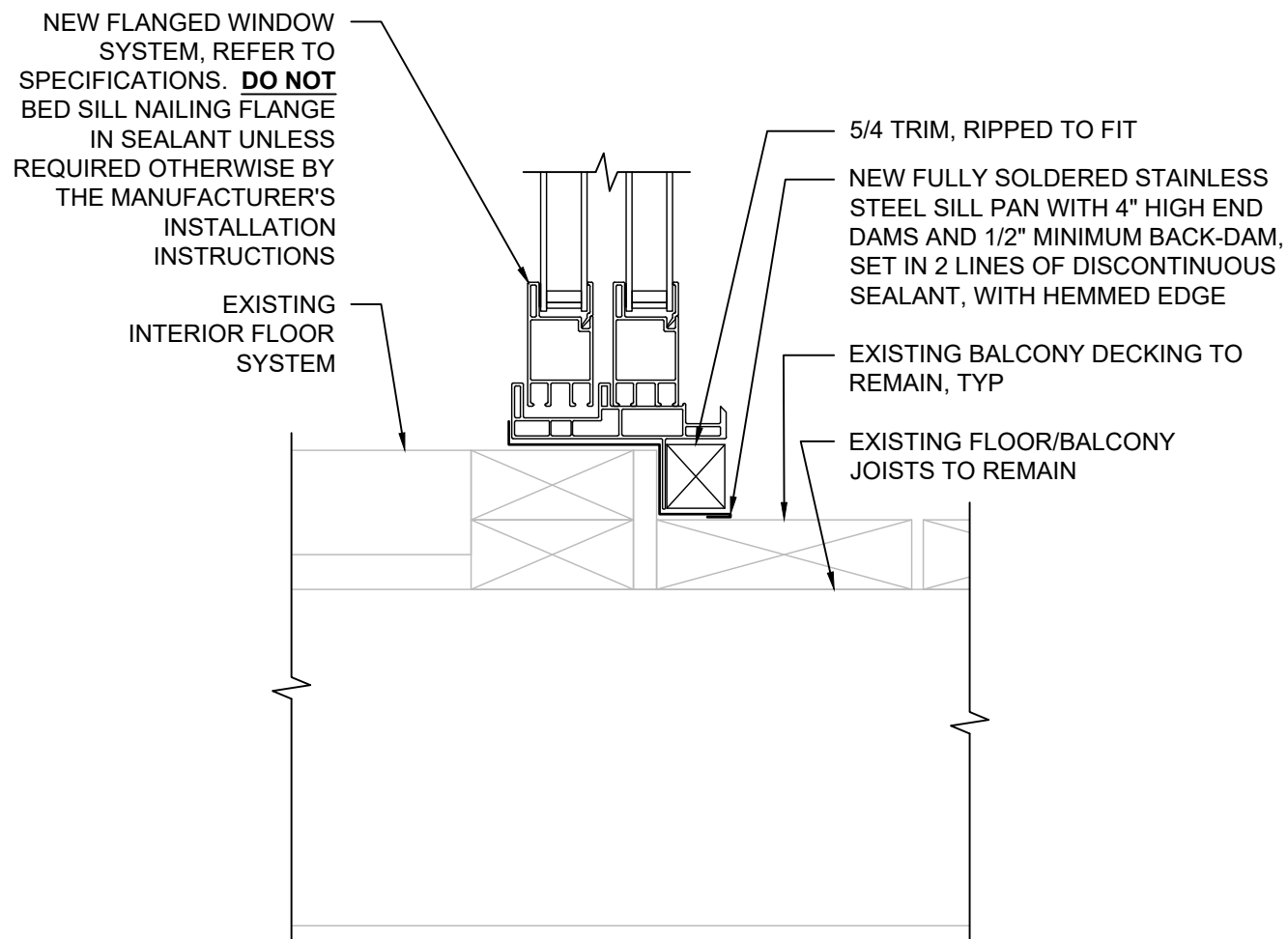
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**A507**

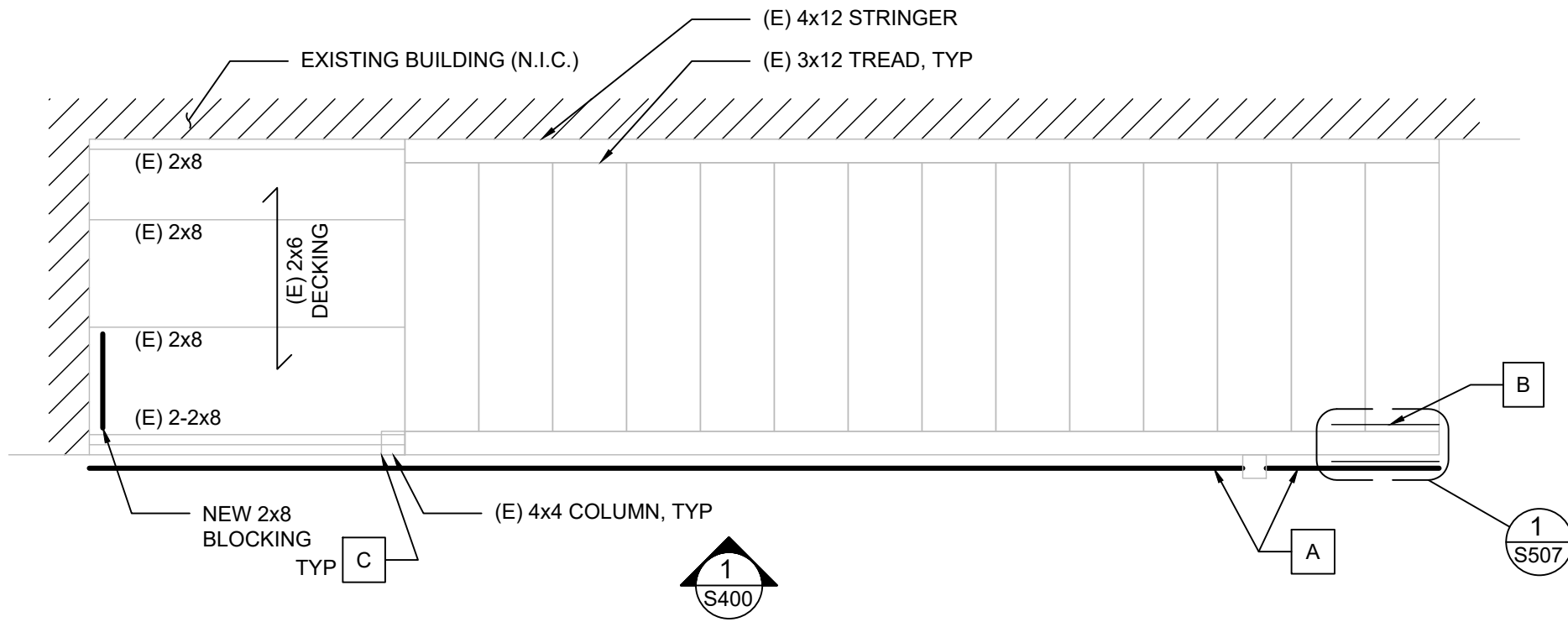
SIDING DETAILS



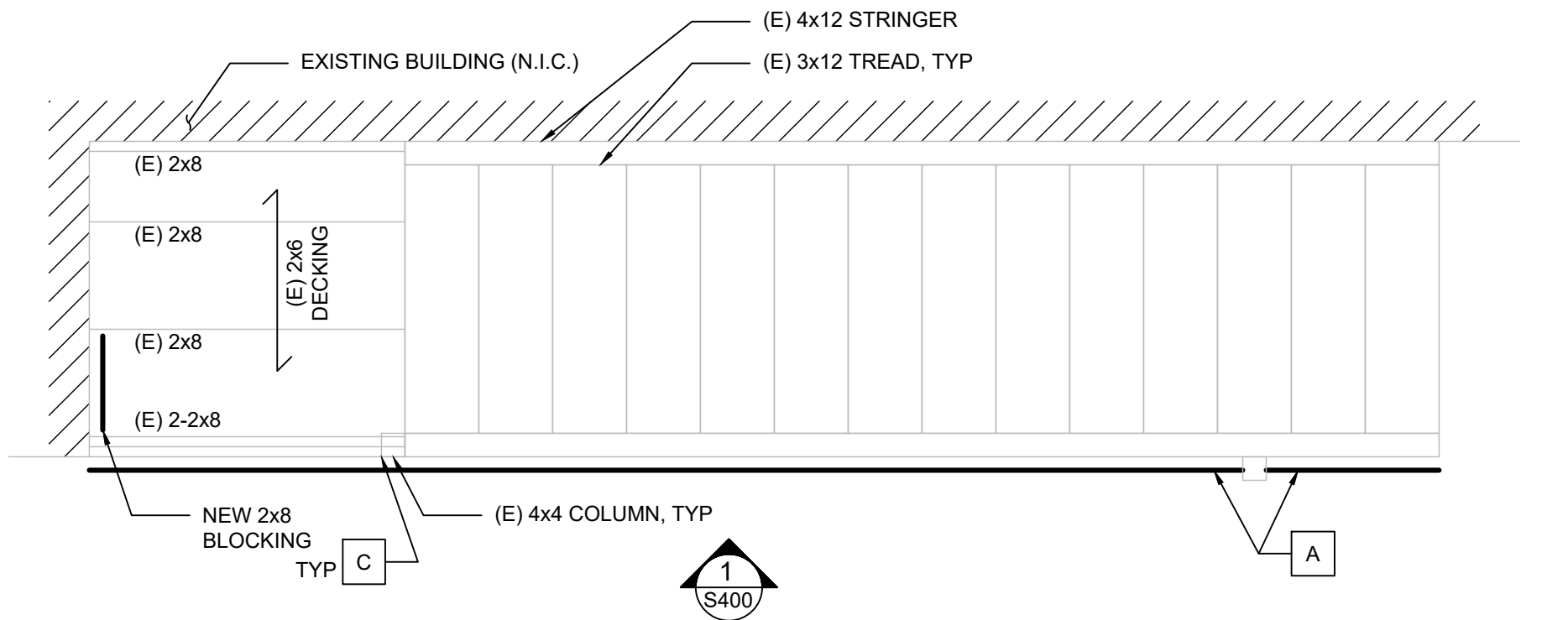
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**TYPICAL DOOR SILL SECTION (ALT #2)**

Scale: 3"=1'-0"



**1 PLAN - 1736 REGAL CT., UNIT C STAIR**  
 Scale: 1/2"=1'-0" NORTH



**2 PLAN - 1753 REGAL CT., UNIT C STAIR**  
 Scale: 1/2"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



Balcony & Siding Repairs  
 Boulder County Housing Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

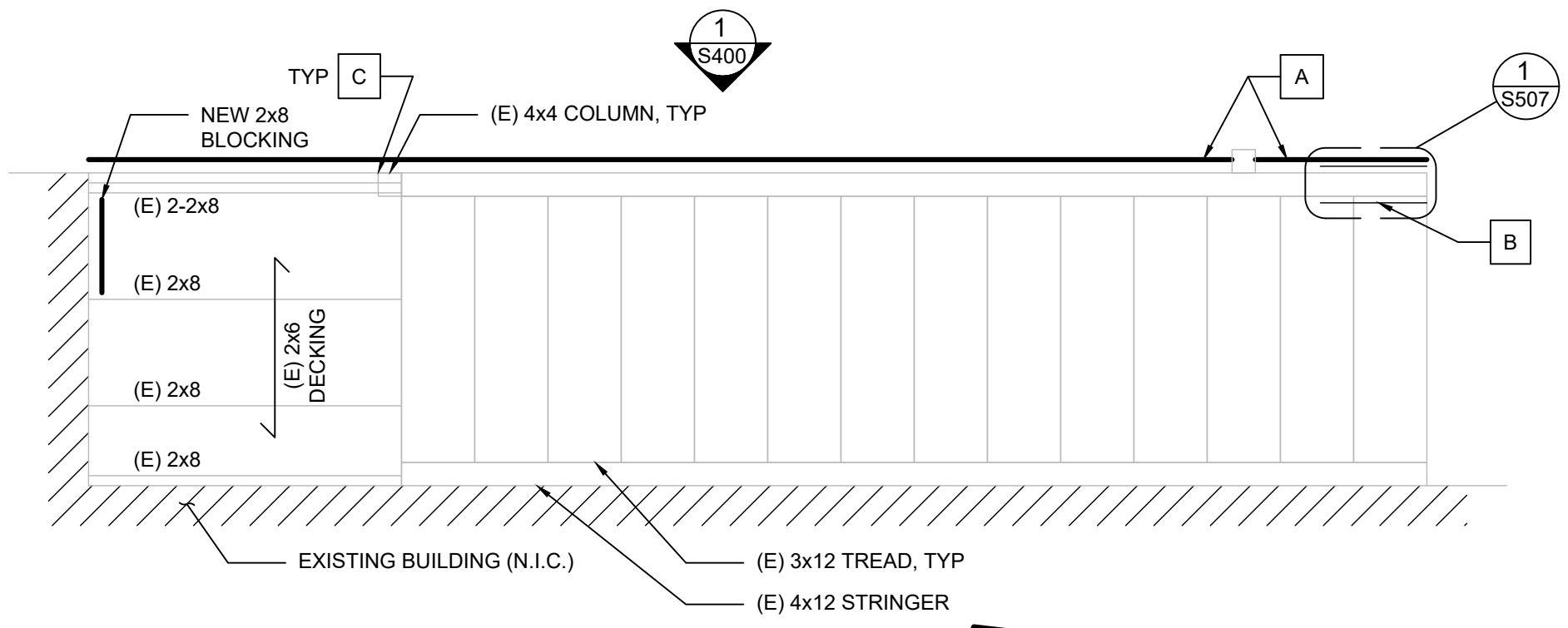
ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

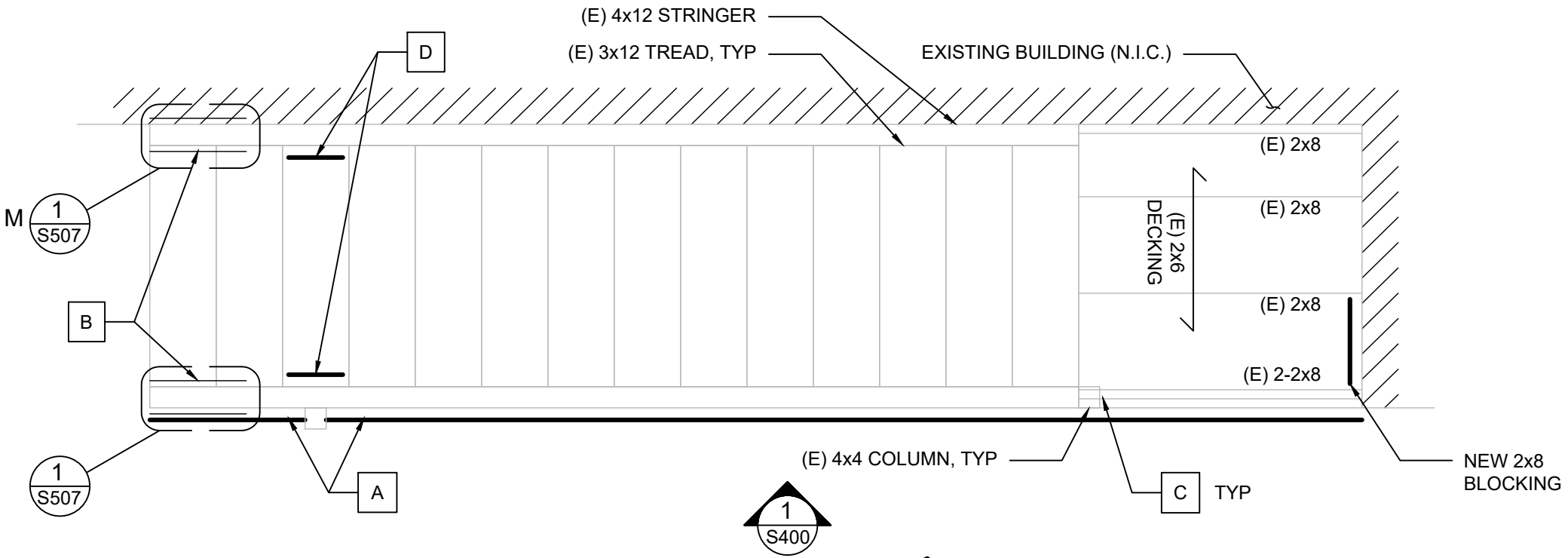
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S200**  
 STAIR ENLARGED PLANS





**1 PLAN - 1753 REGAL CT., UNIT D STAIR**  
 Scale: 1/2"=1'-0" NORTH



**2 PLAN - 1764 REGAL CT., UNIT B STAIR**  
 Scale: 1/2"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REPLACE EXISTING TREAD SUPPORT ANGLE AND ASSOCIATED FASTENERS, REFER TO DETAIL 2/S505 FOR ADDITIONAL INFORMATION.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



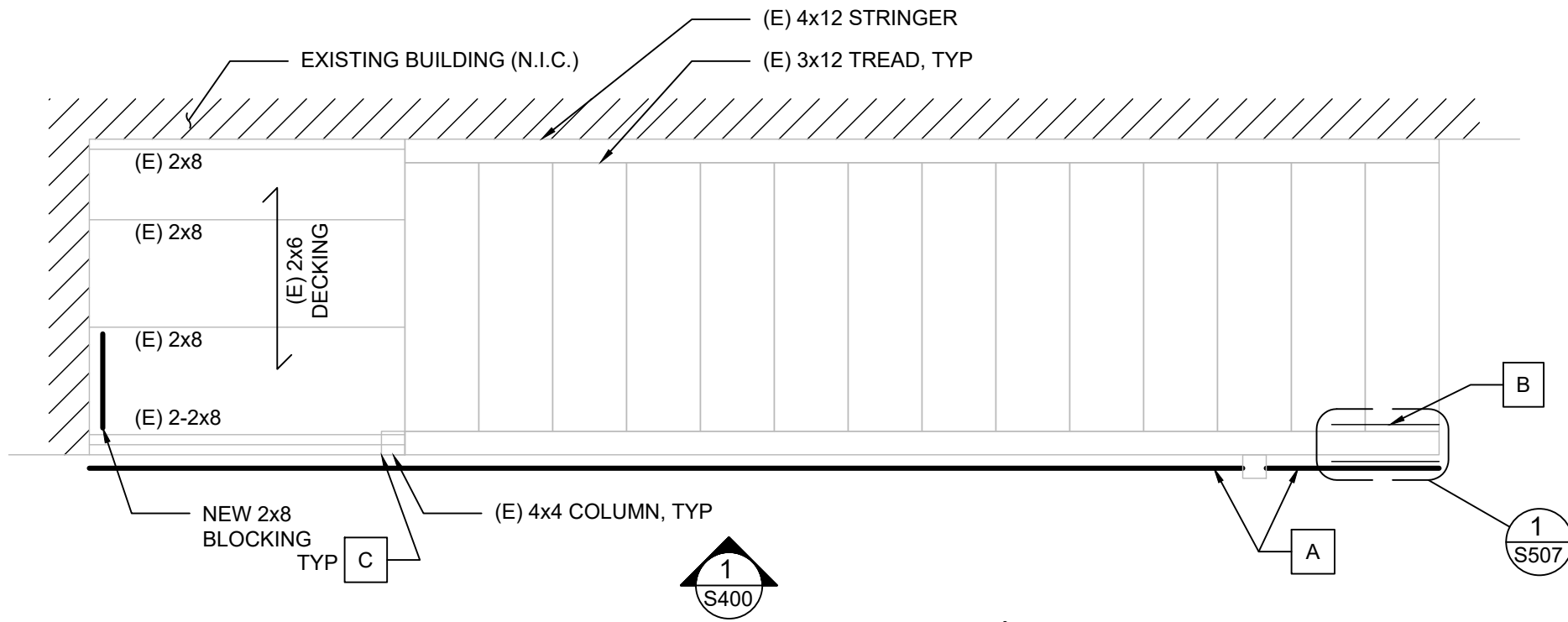
Balcony & Siding Repairs  
 Boulder County Housing Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S201**  
 STAIR ENLARGED PLANS



**1 PLAN - 1781 REGAL CT., UNIT C STAIR**  
Scale: 1/2"=1'-0"

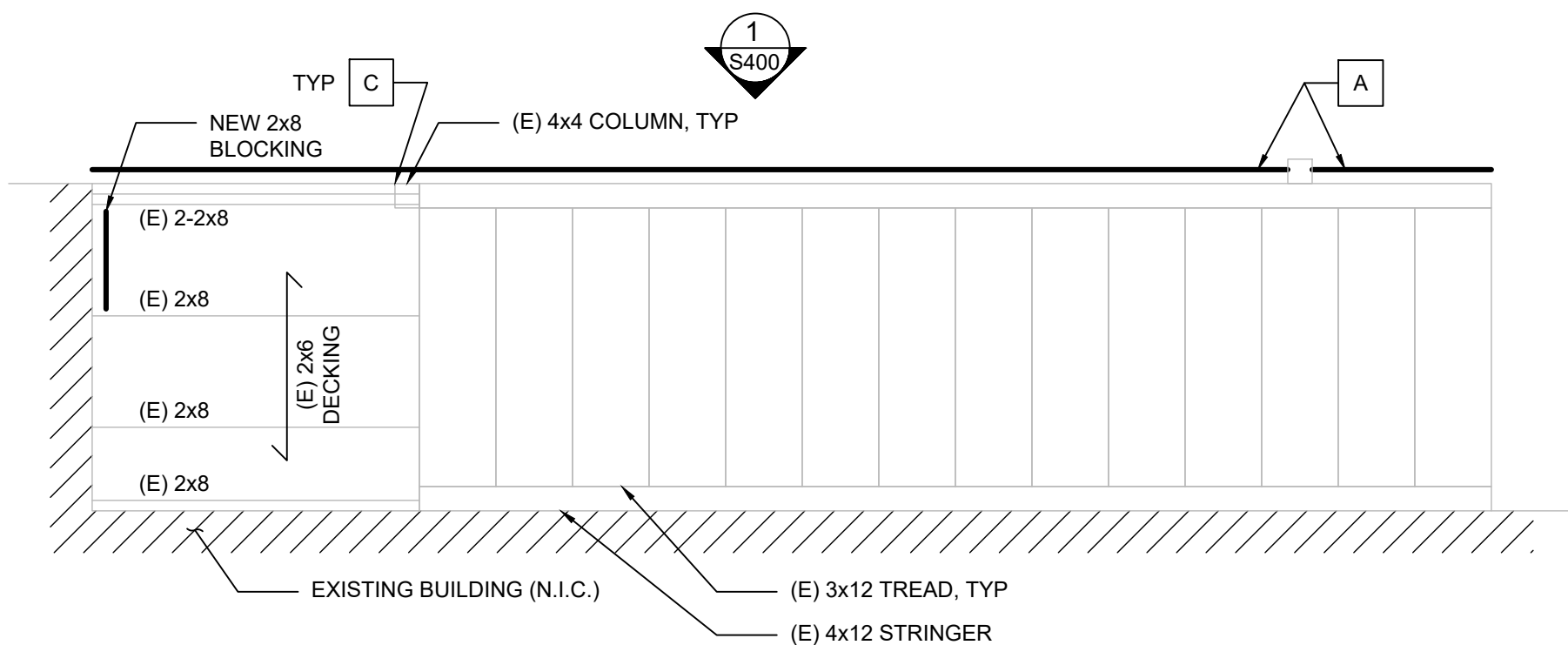


**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 1781 REGAL CT., UNIT D STAIR**  
Scale: 1/2"=1'-0"



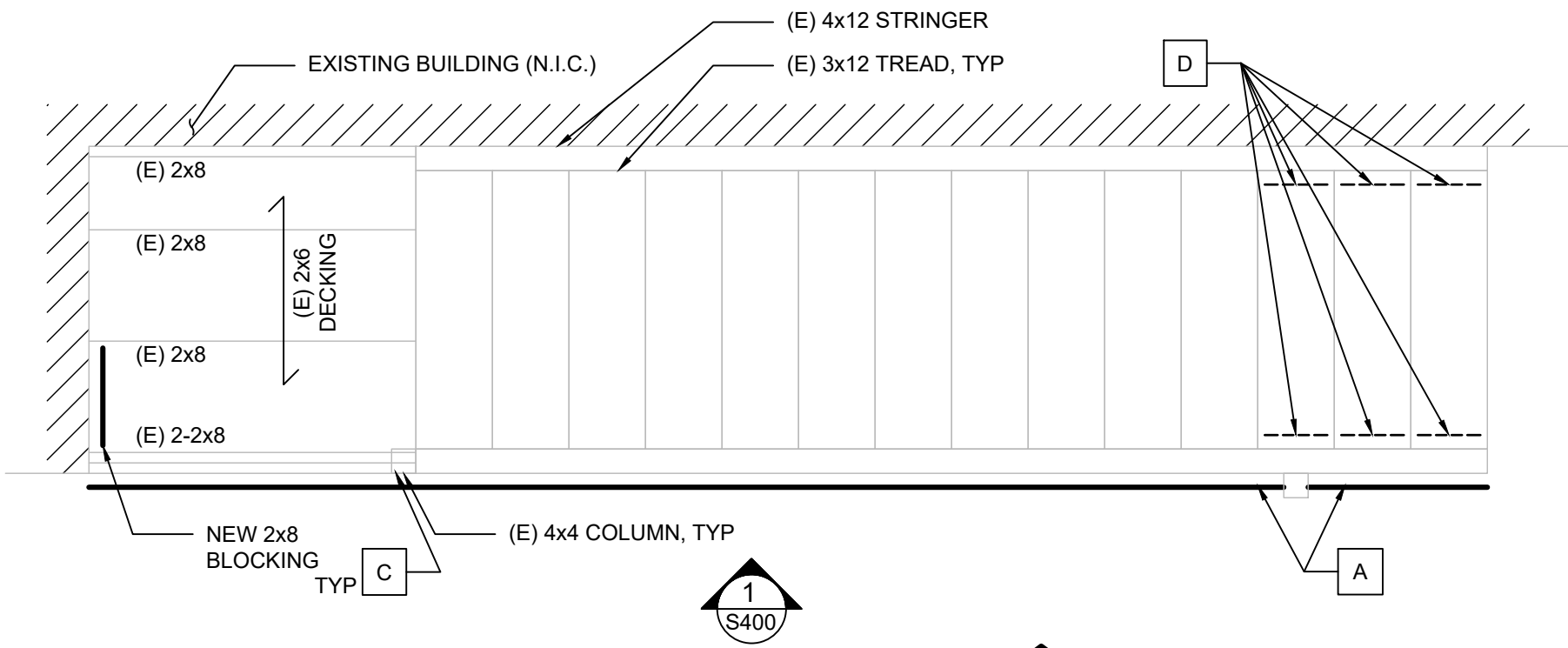
Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S202**  
STAIR ENLARGED PLANS



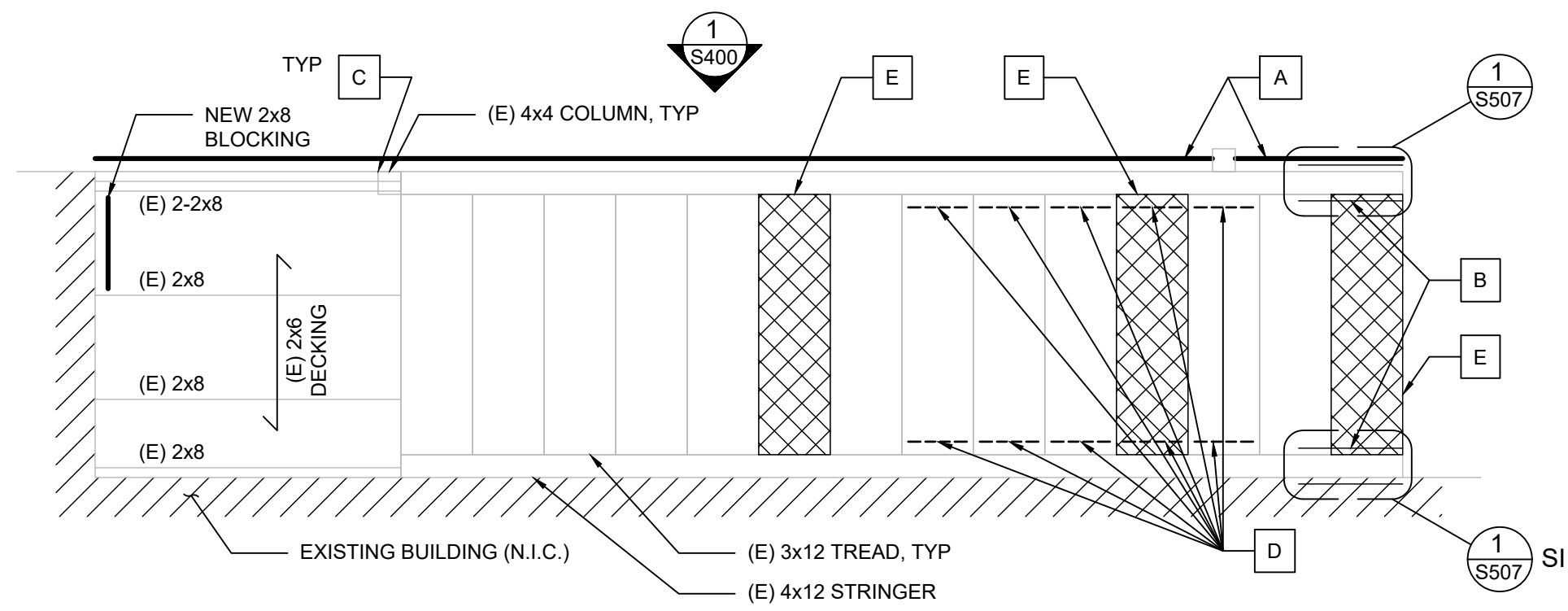
**1 PLAN - 1815 REGAL CT., UNIT C STAIR**  
Scale: 1/2"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.
- E. REPLACE EXISTING TREAD, SIZE TO MATCH EXISTING.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 1815 REGAL CT., UNIT D STAIR**  
Scale: 1/2"=1'-0" NORTH

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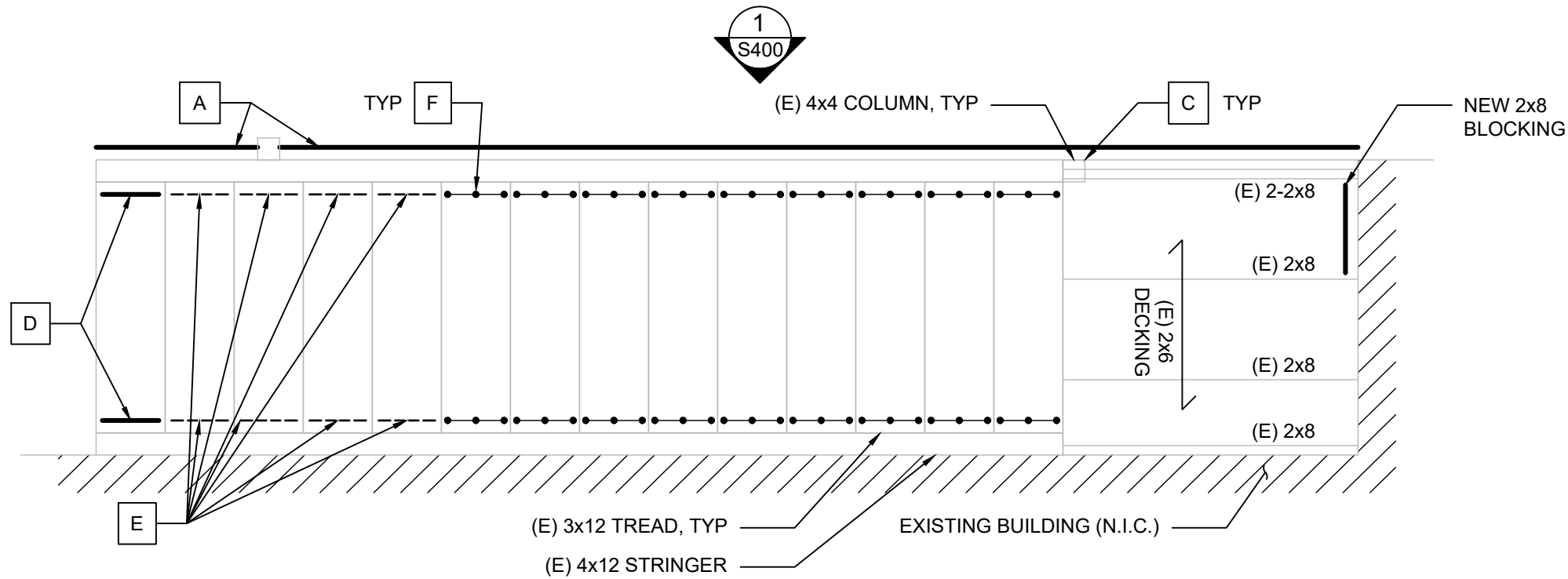
Balcony & Siding Repairs  
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Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S203**  
STAIR ENLARGED PLANS



**1 PLAN - 1832 REGAL CT., UNIT C STAIR**

Scale: 1/2"=1'-0"

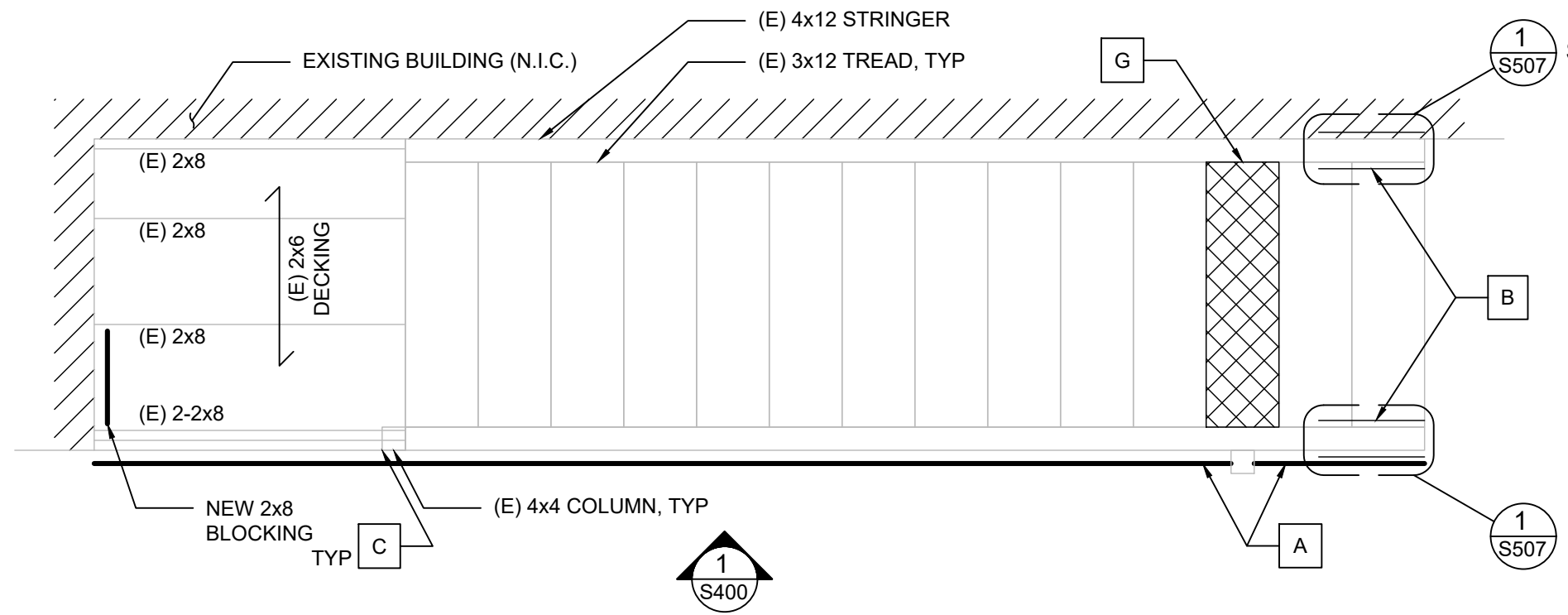


**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REPLACE EXISTING TREAD SUPPORT ANGLE AND ASSOCIATED FASTENERS, REFER TO DETAIL 2/S505 FOR ADDITIONAL INFORMATION.
- E. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.
- F. REPLACE EXISTING LAG SCREWS, FIVE (5) PER TREAD SUPPORT ANGLE, TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.
- G. REPLACE EXISTING TREAD, SIZE TO MATCH EXISTING.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 1850 REGAL CT., UNIT C STAIR**

Scale: 1/2"=1'-0"



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Balcony & Siding Repairs

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Authority (BCHA)  
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Boulder County, Colorado

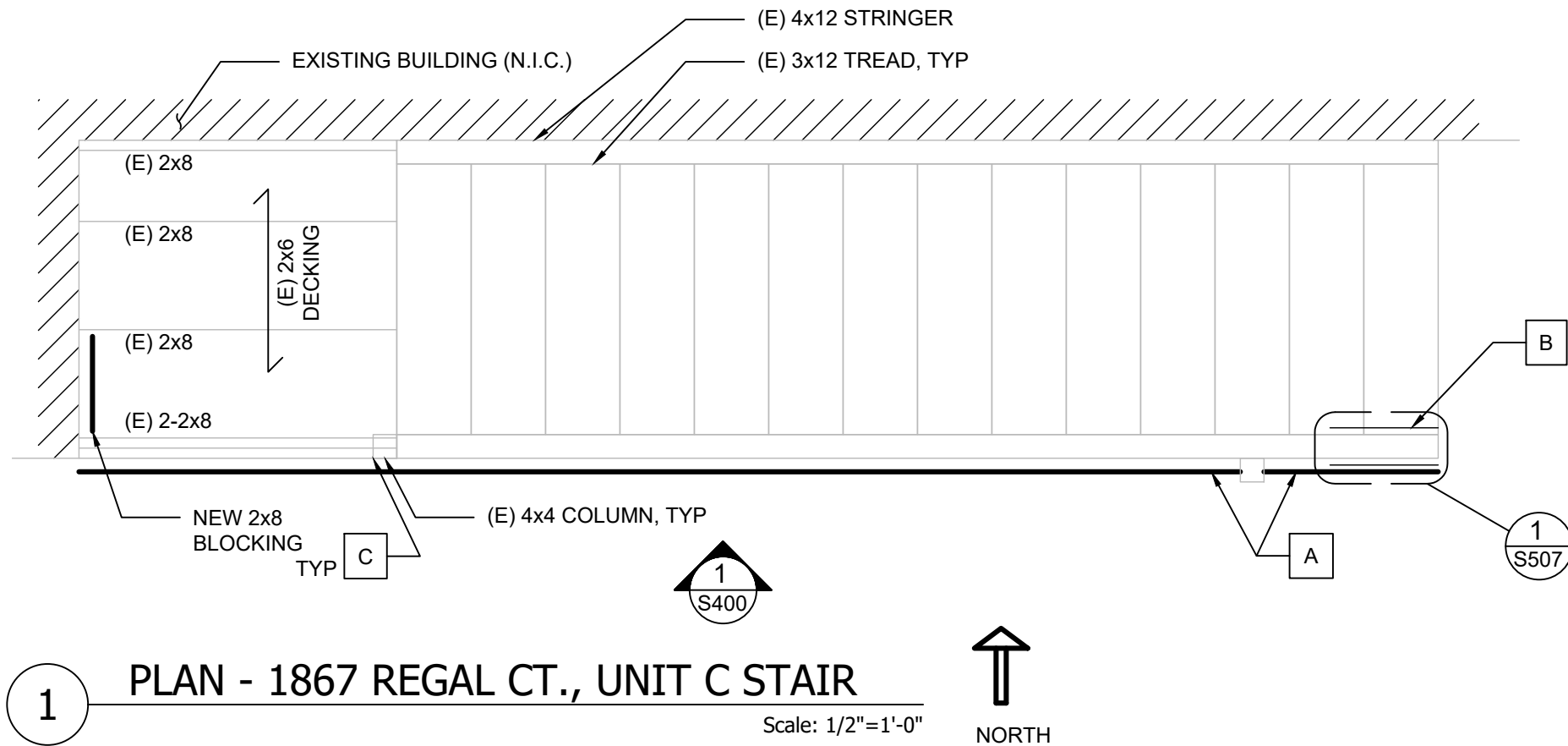
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CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S204**

STAIR ENLARGED PLANS



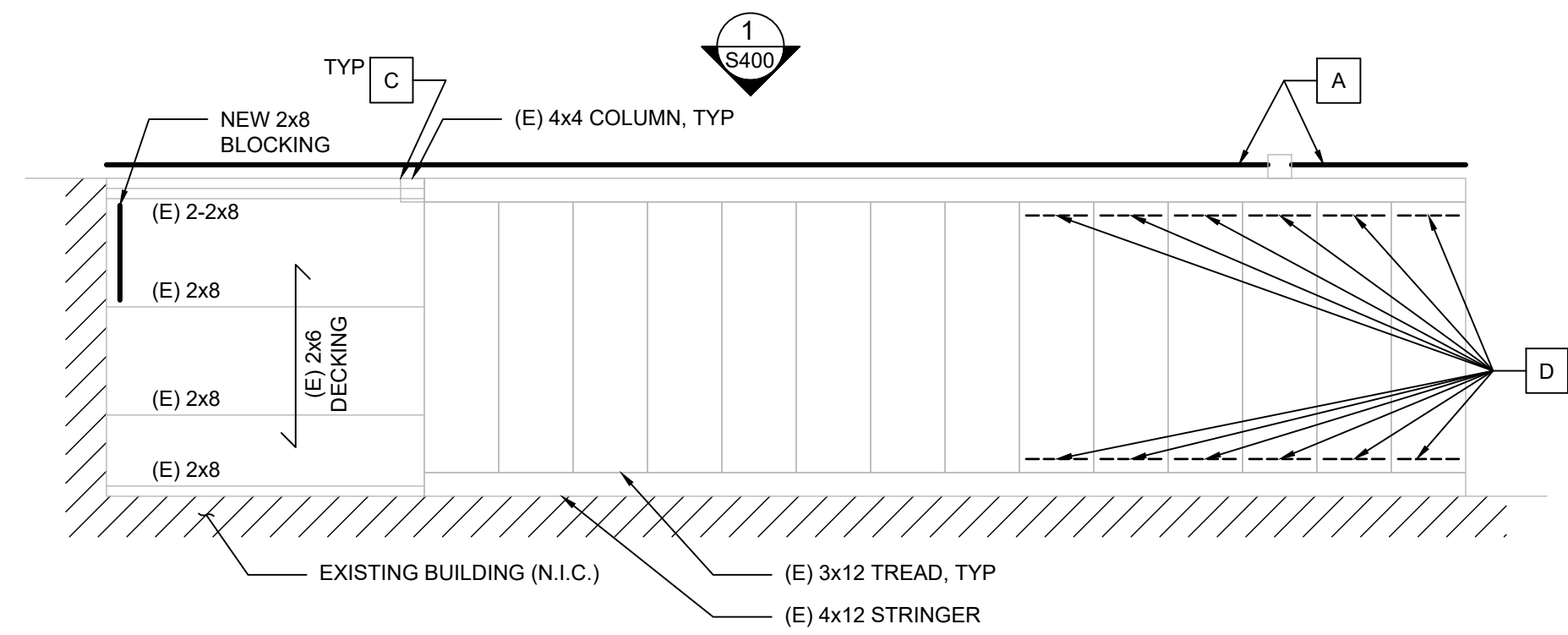
**1 PLAN - 1867 REGAL CT., UNIT C STAIR**  
Scale: 1/2"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 1867 REGAL CT., UNIT D STAIR**  
Scale: 1/2"=1'-0"

Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

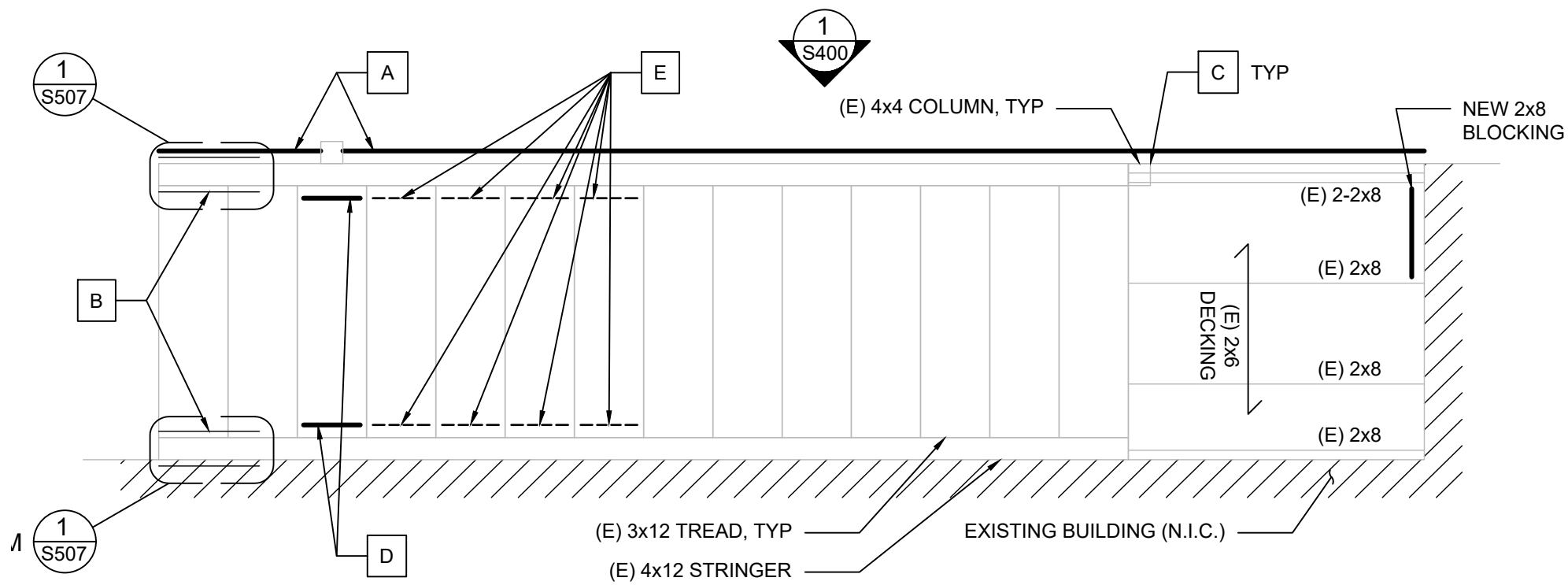
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Rev.	Desc.	Date

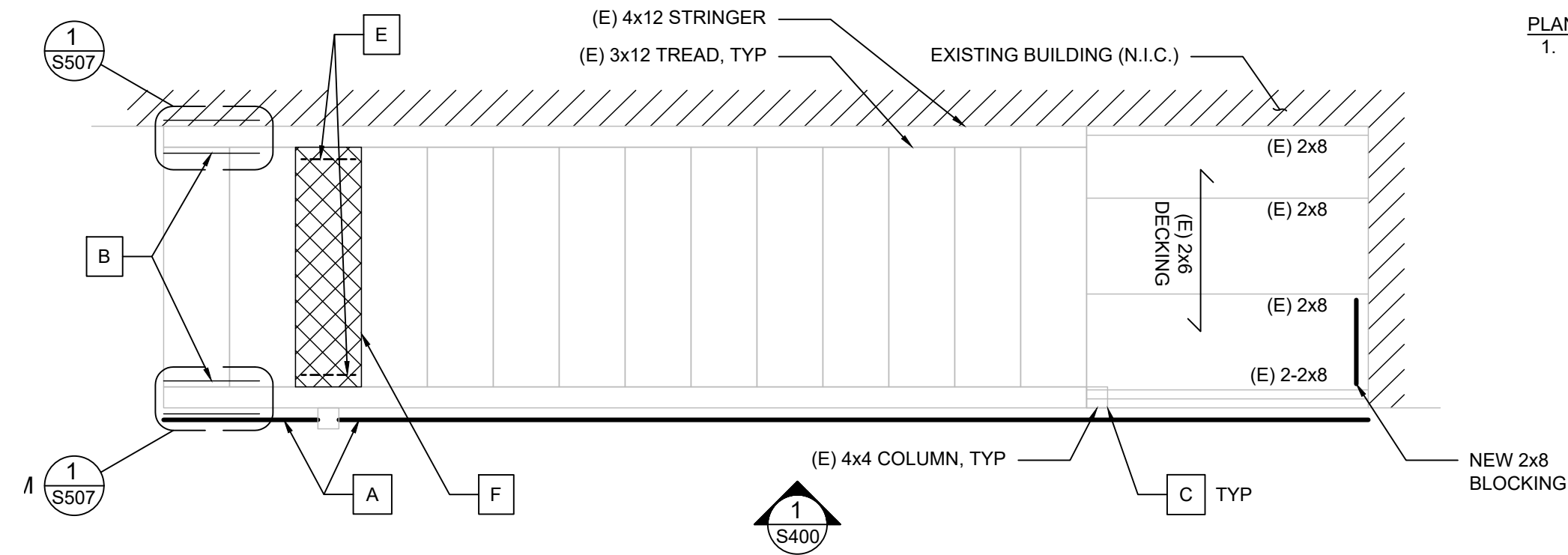
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S205**  
STAIR ENLARGED PLANS





**1 PLAN - 1888 REGAL CT., UNIT C STAIR**  
 Scale: 1/2"=1'-0" NORTH



**2 PLAN - 1888 REGAL CT., UNIT D STAIR**  
 Scale: 1/2"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REPLACE EXISTING TREAD SUPPORT ANGLE AND ASSOCIATED FASTENERS, REFER TO DETAIL 2/S505 FOR ADDITIONAL INFORMATION.
- E. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.
- F. REPLACE EXISTING TREAD, SIZE TO MATCH EXISTING.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



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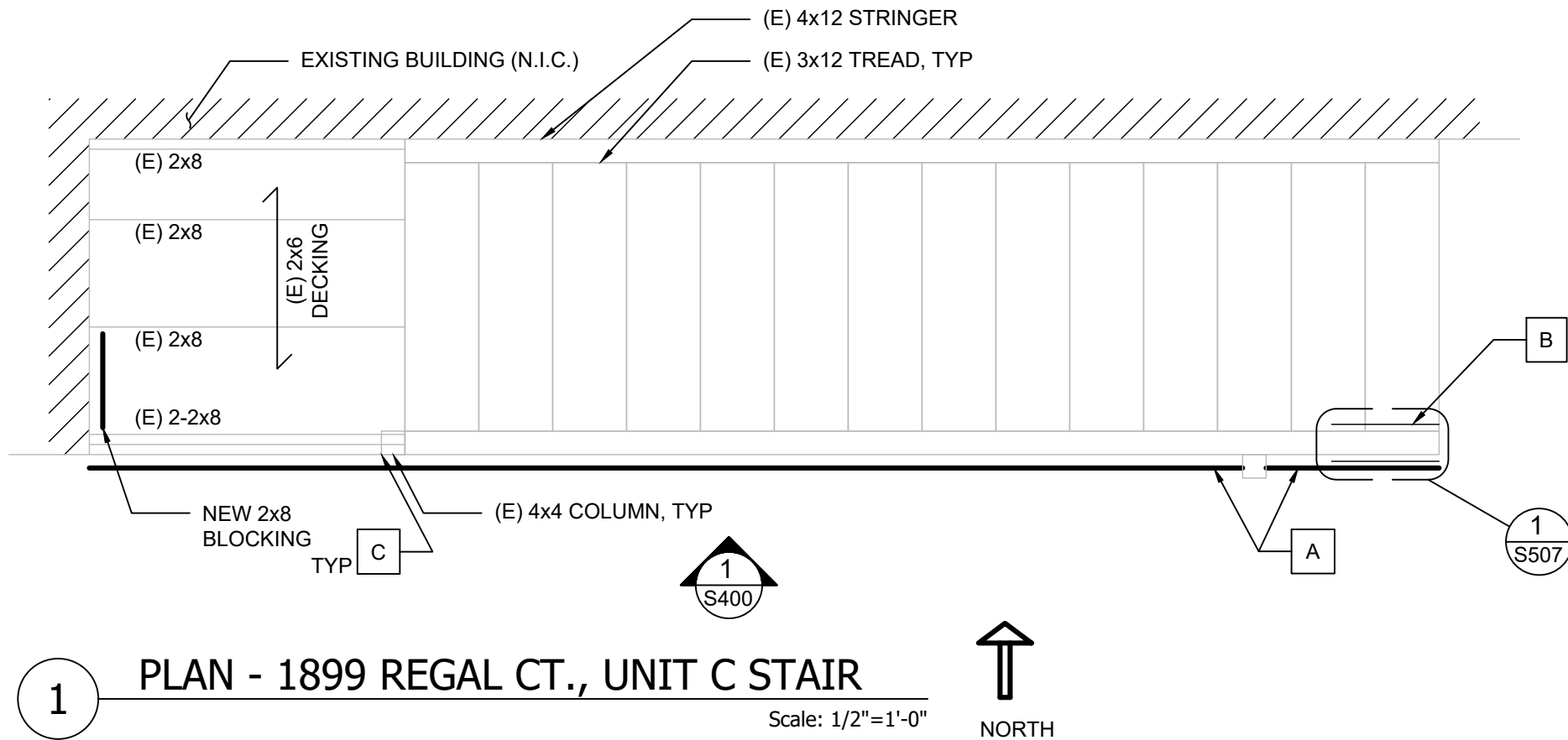
ISSUED FOR  
 BIDDING -  
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 CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S206**

STAIR ENLARGED PLANS



**1 PLAN - 1899 REGAL CT., UNIT C STAIR**  
Scale: 1/2"=1'-0"

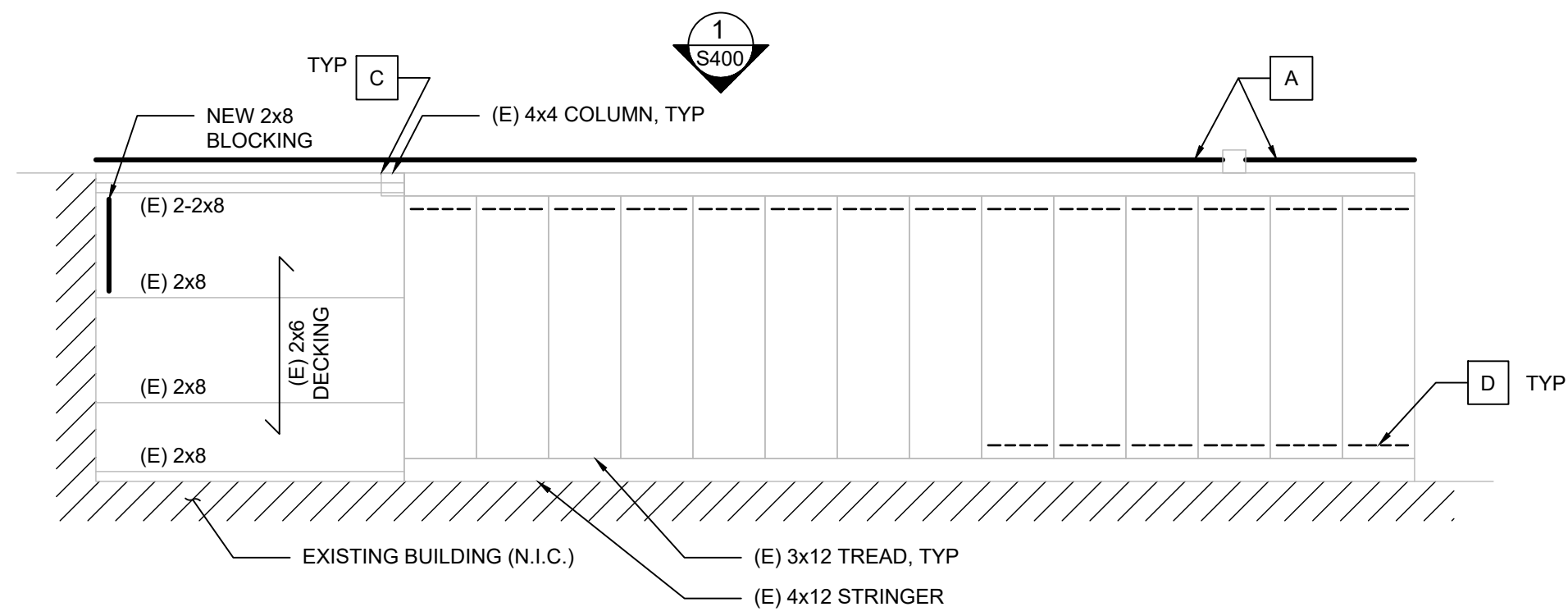


**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 1899 REGAL CT., UNIT D STAIR**  
Scale: 1/2"=1'-0"



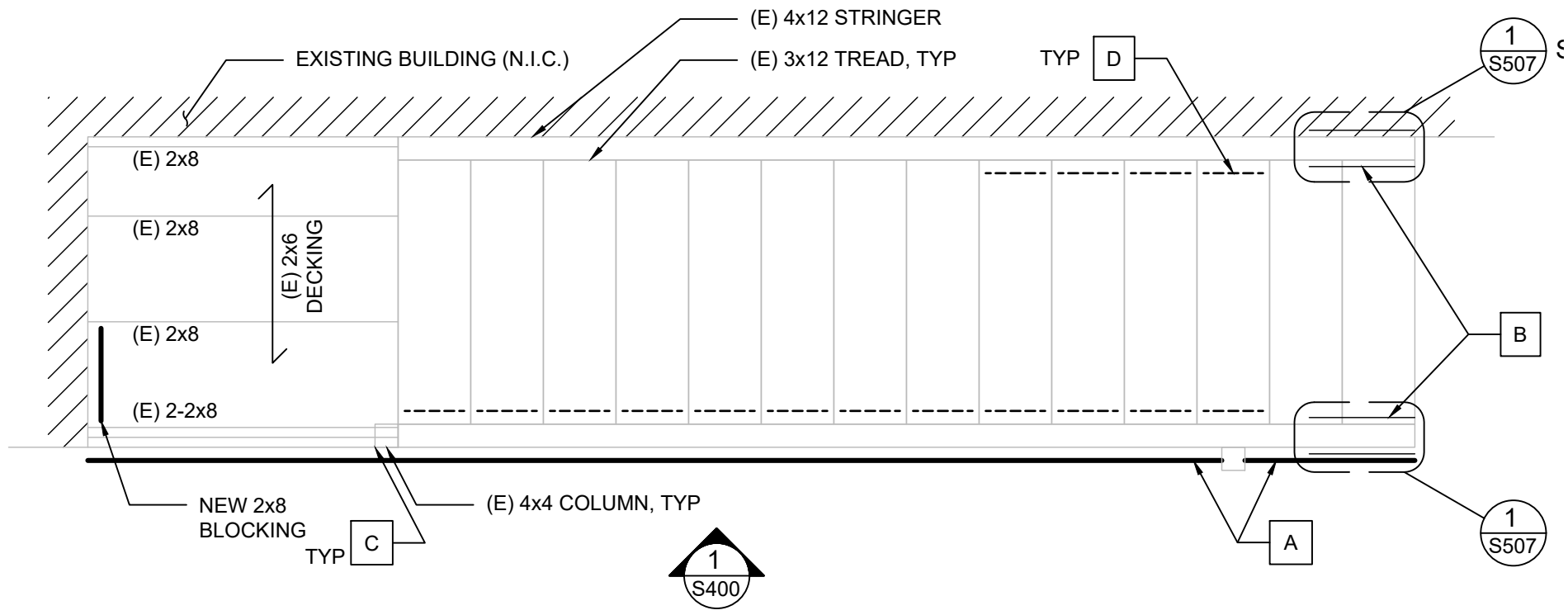
Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

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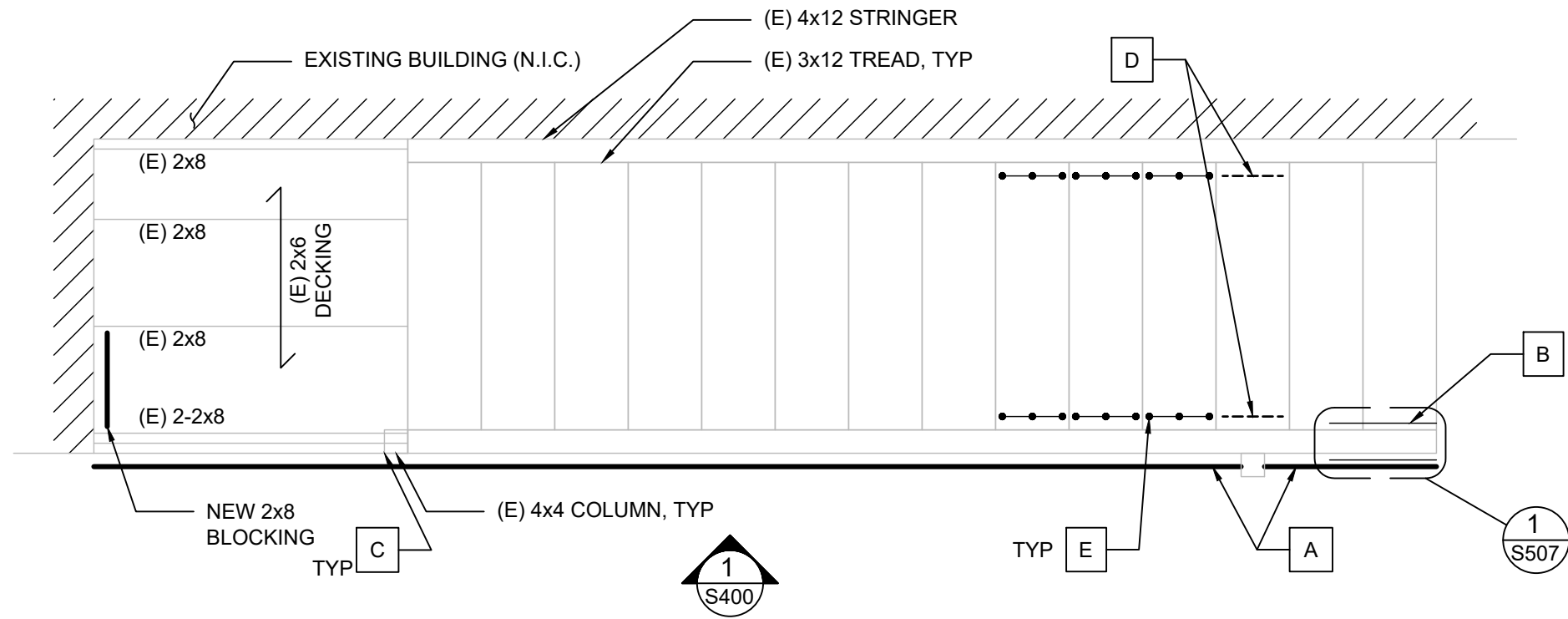
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S207**  
STAIR ENLARGED PLANS



**1 PLAN - 256 REGAL PL., UNIT C STAIR**  
 Scale: 1/2"=1'-0" NORTH



**2 PLAN - 1817 REGAL ST., UNIT B STAIR**  
 Scale: 1/2"=1'-0" NORTH

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING STAIRS AND LANDING, AND CONSTRUCT NEW RAILINGS. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE STAIRS.
- B. INSTALL SUPPLEMENTAL STRUCTURE AT THE BASE OF THE EXISTING STRINGER WHERE NOTED. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- C. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.
- D. REMOVE EXISTING TREAD SUPPORT ANGLE AND CLEAN OF CORROSION. FOLLOWING CLEANING, PROVIDE TREAD SUPPORT ANGLE WITH A CORROSION-RESISTANT COATING PRIOR TO REINSTALLATION. REINSTALL EXISTING TREAD SUPPORT ANGLE WITH NEW LAG SCREWS TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.
- E. REPLACE EXISTING LAG SCREWS, FIVE (5) PER TREAD SUPPORT ANGLE, TO MATCH THE EXISTING IN LENGTH, BUT 1/8-INCH LARGER IN DIAMETER.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



Balcony & Siding Repairs  
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 Various Addresses  
 Boulder County, Colorado

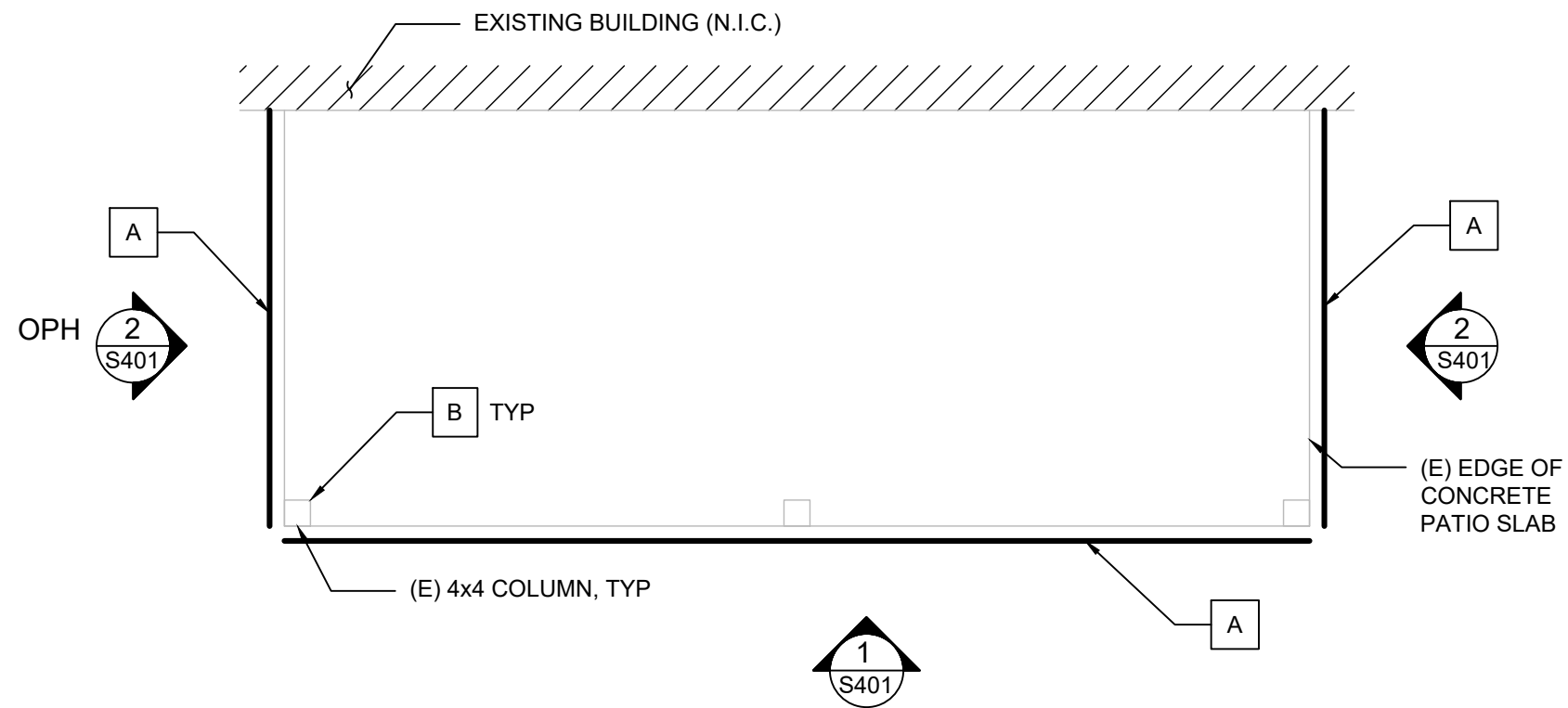
ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

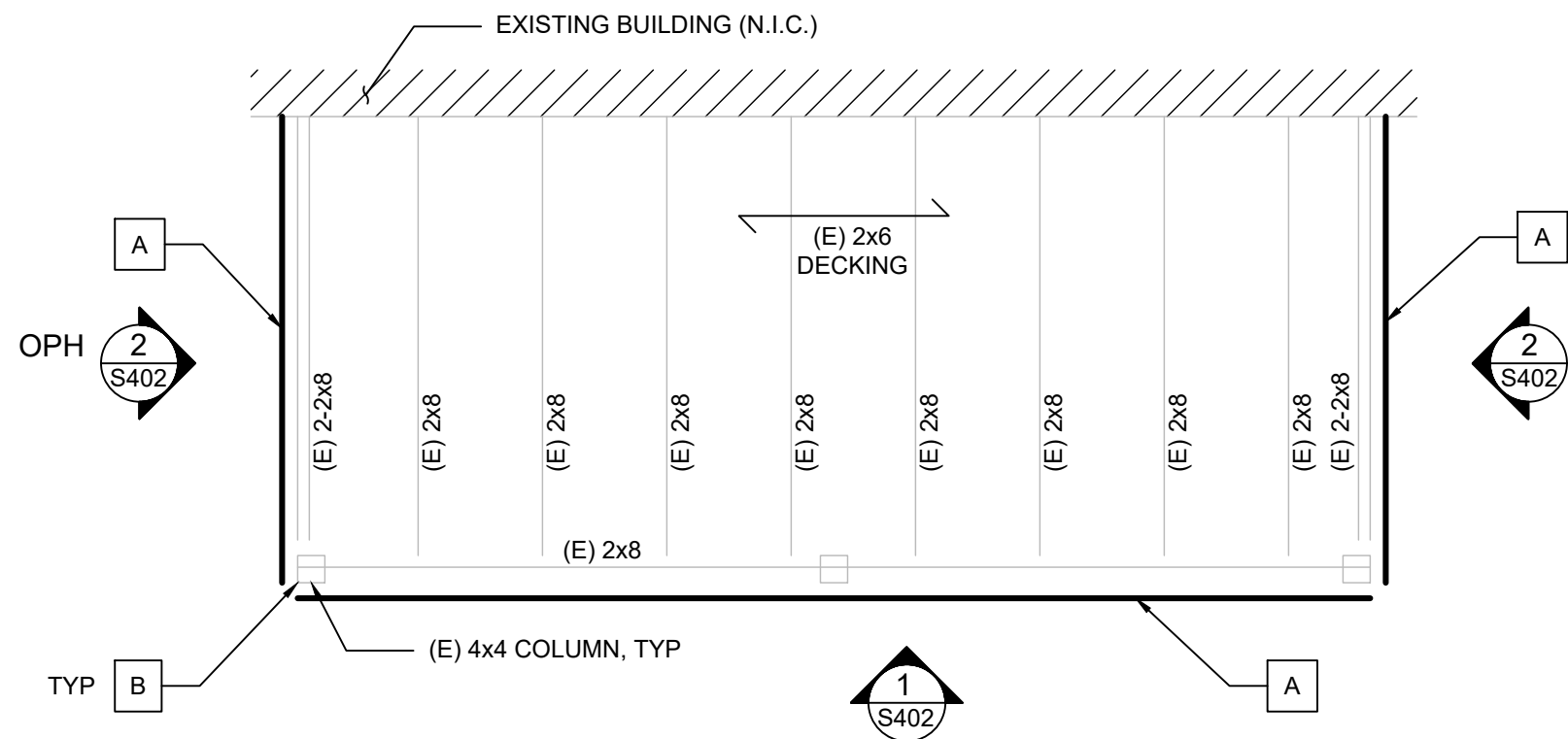
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S208**  
 STAIR ENLARGED PLANS





**1 PLAN - REGAL TYPICAL PATIO**  
Scale: 1/2"=1'-0"



**2 PLAN - REGAL TYPICAL BALCONY**  
Scale: 1/2"=1'-0"

**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING RAILINGS AT EXISTING FIRST FLOOR PATIOS AND SECOND FLOOR BALCONIES, AND CONSTRUCT NEW RAILING. REFER TO PROJECT DETAILS FOR NEW RAILING REQUIREMENTS. FOLLOWING RAILING INSTALLATION AND ANY OTHER SPECIFIED STRUCTURAL REPAIRS, REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS AT THE RAILINGS AND BALCONIES.
- B. AT ALL EXPOSED COLUMN BASES, CONTRACTOR TO INSTALL ADDITIONAL SCREWS TO ENSURE BASE CONNECTION VERTICAL PIECES ARE TIGHT TO THE FACE OF THE COLUMN.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.



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Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

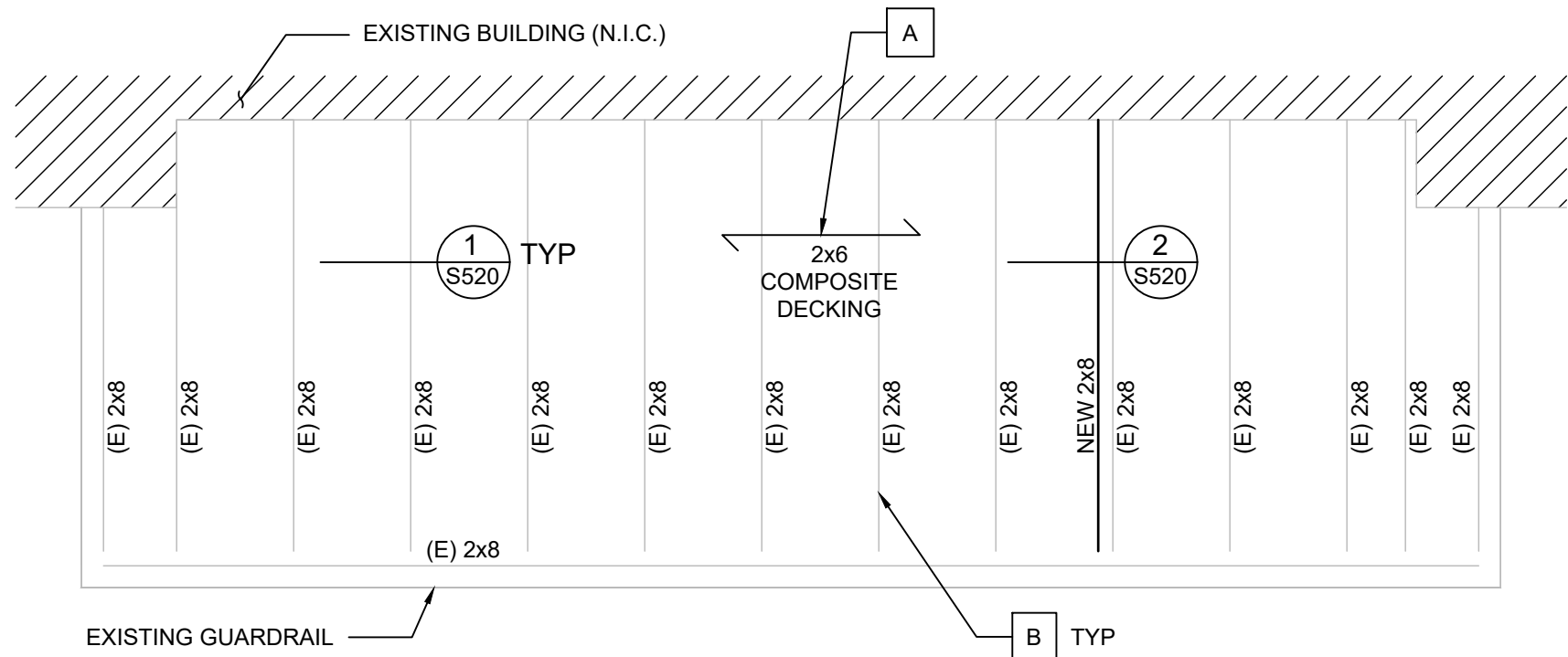
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Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S210**

REGAL PATIO/BALCONY PLANS



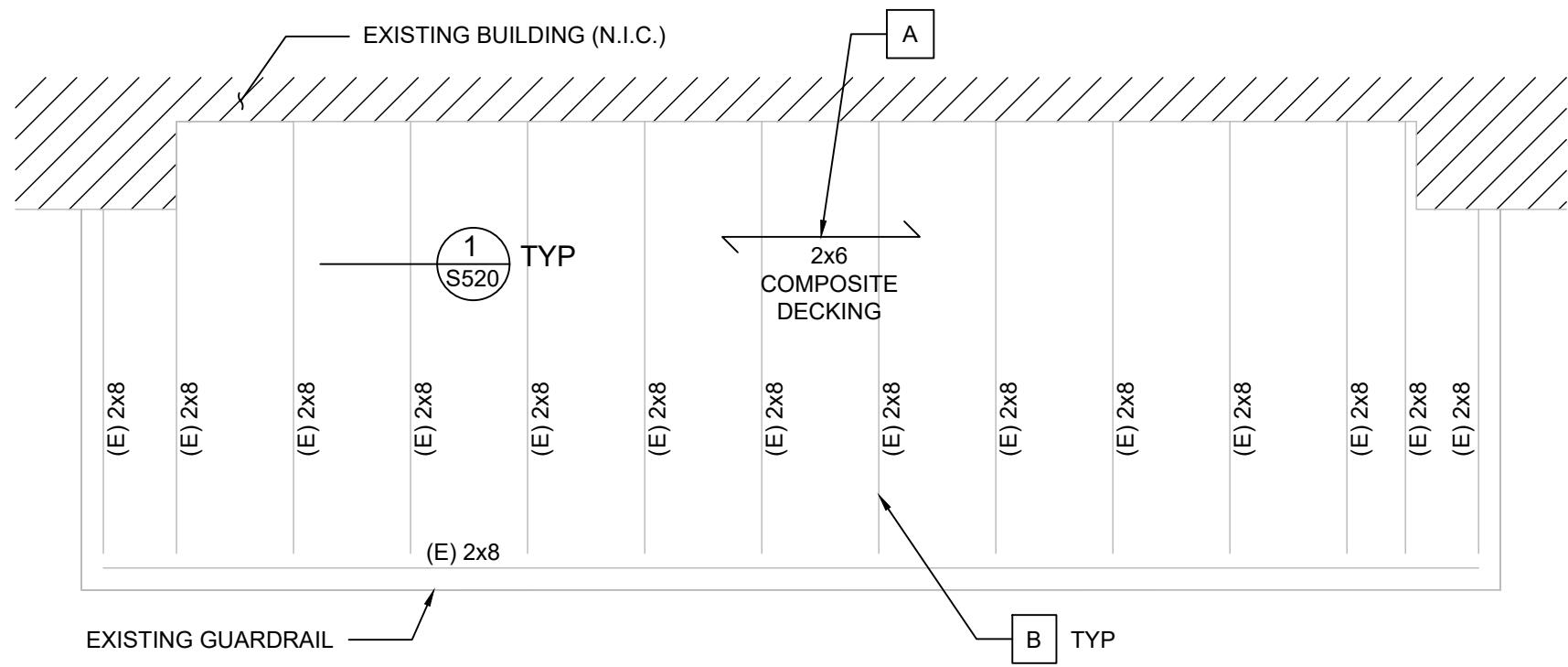
**REPAIR KEY NOTES:**

- A. REMOVE AND DISCARD EXISTING DECKING. FOLLOWING FRAMING REPAIRS AND PAINTING, INSTALL NEW 2x6 SPACED COMPOSITE DECKING ('TREX' IS BASIS-OF-DESIGN).
- B. AT ALL EXISTING JOISTS, CLEAN TOPS OF JOISTS AND REMOVE DETERIORATED WOOD. IF REMOVAL OF DETERIORATED WOOD RENDERS THE EXISTING JOISTS UNSUITABLE FOR INSTALLATION OF NEW DECKING DUE TO UNEVENNESS OF THE TOP JOIST SURFACE, CONTACT ENGINEER TO REVIEW THE CONDITION OF THE JOISTS PRIOR TO PROCEEDING. ENGINEER MAY REQUIRE INSTALLATION OF SISTERED DECKING ATTACHMENT MEMBER PER UNIT PRICE #2. FOLLOWING FRAMING PREPARATION AND PRIOR TO INSTALLATION OF DECKING, PAINT TOP OF FRAMING. REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS.

**PLAN NOTES:**

- 1. REFER TO SHEET G001 FOR PLAN NOTES.

**1 PLAN - 503 W GENESEO, WEST BALCONY**  
Scale: 1/2"=1'-0"



**2 PLAN - 503 W GENESEO ST, EAST BALCONY**  
Scale: 1/2"=1'-0"

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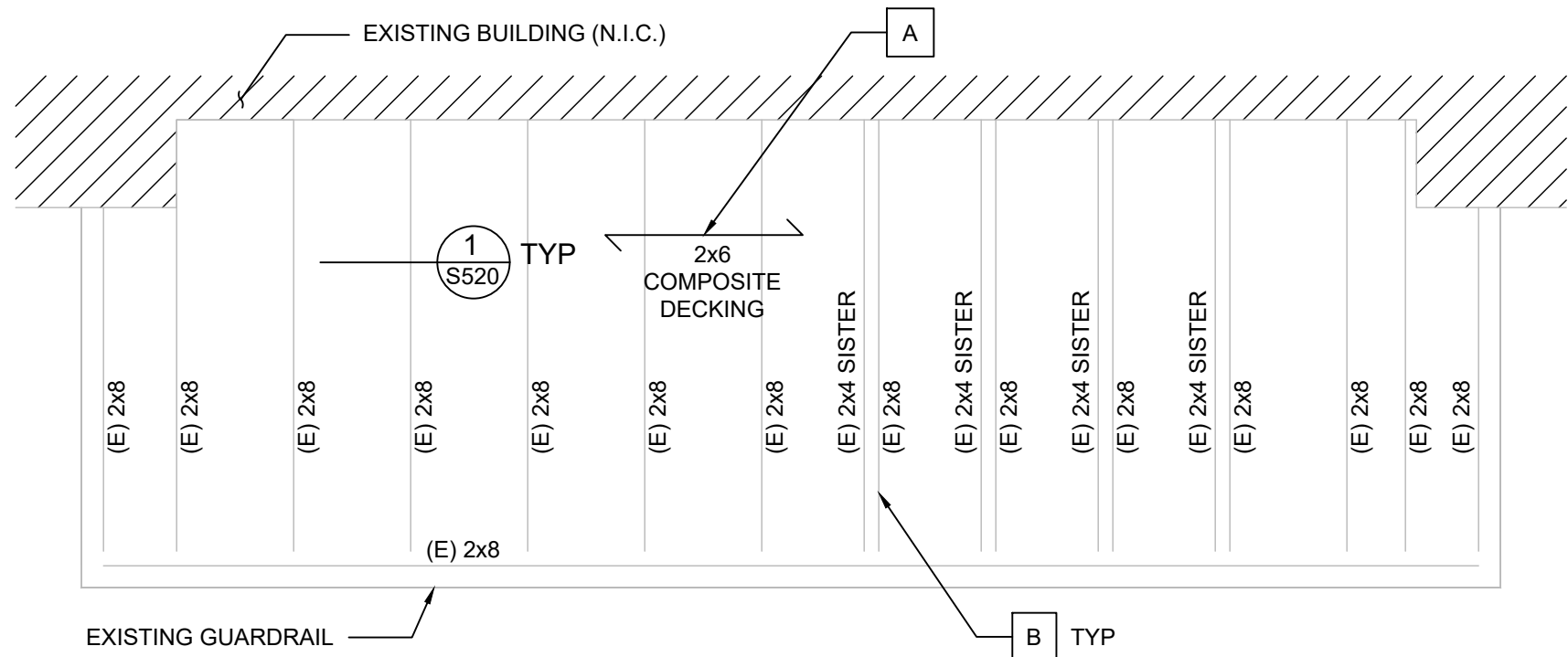
Balcony & Siding Repairs  
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Various Addresses  
Boulder County, Colorado

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Project No:	F6236040
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Drawn By:	K. Gromowski
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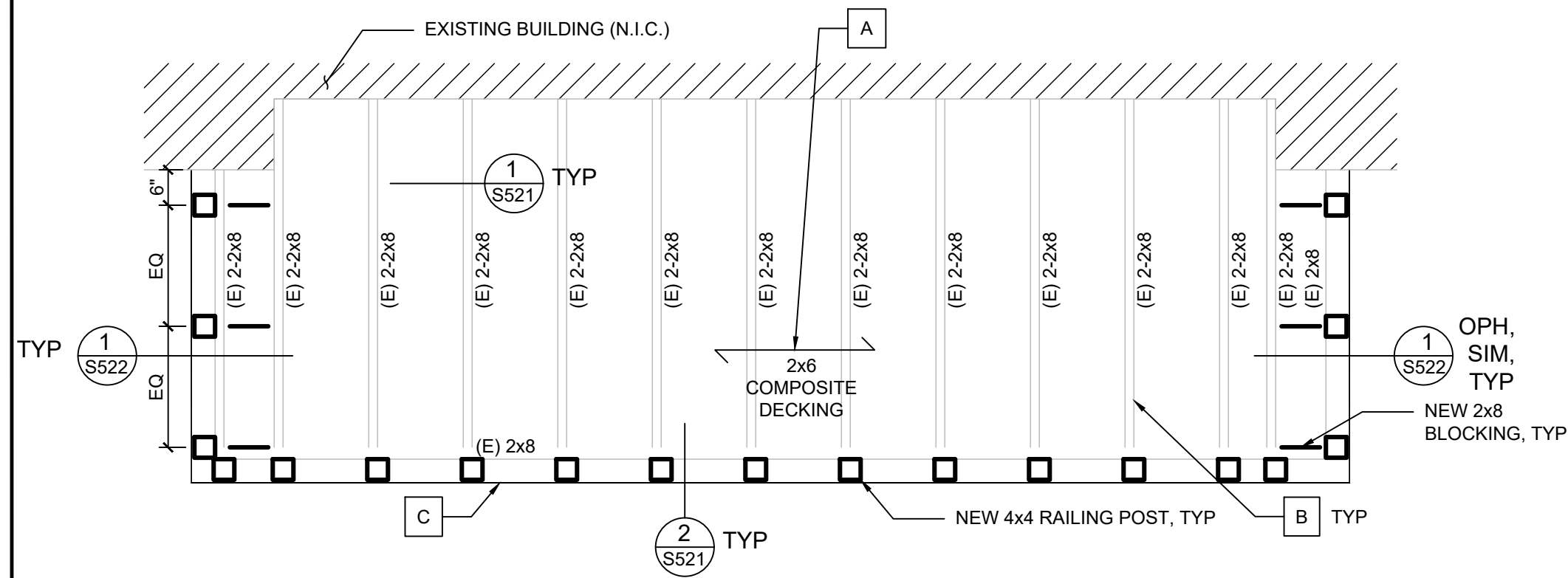
**S220**  
GENESEO BALCONY PLANS



**1 PLAN - 505 W GENESEO, WEST BALCONY**  
Scale: 1/2"=1'-0"

- REPAIR KEY NOTES:**
- A. REMOVE AND DISCARD EXISTING DECKING. FOLLOWING FRAMING REPAIRS AND PAINTING, INSTALL NEW 2x6 SPACED COMPOSITE DECKING ('TREX' IS BASIS-OF-DESIGN).
  - B. AT ALL EXISTING JOISTS, CLEAN TOPS OF JOISTS AND REMOVE DETERIORATED WOOD. IF REMOVAL OF DETERIORATED WOOD RENDERS THE EXISTING JOISTS UNSUITABLE FOR INSTALLATION OF NEW DECKING DUE TO UNEVENNESS OF THE TOP JOIST SURFACE, CONTACT ENGINEER TO REVIEW THE CONDITION OF THE JOISTS PRIOR TO PROCEEDING. ENGINEER MAY REQUIRE INSTALLATION OF SISTERED DECKING ATTACHMENT MEMBER PER UNIT PRICE #2. FOLLOWING FRAMING PREPARATION AND PRIOR TO INSTALLATION OF DECKING, PAINT TOP OF FRAMING. REFER TO ARCHITECTURAL DRAWINGS FOR PAINTING REQUIREMENTS.
  - C. REPLACE EXISTING HANDRAIL, INCLUDING SIDING AT INTERIOR FACE, SHEATHING, AND SHINGLES. SHINGLES AT EXTERIOR FACE TO MATCH EXISTING. REFER TO PROJECT DETAILS FOR ADDITIONAL INFORMATION.

- PLAN NOTES:**
- 1. REFER TO SHEET G001 FOR PLAN NOTES.



**2 PLAN - 505 W GENESEO ST, EAST BALCONY**  
Scale: 1/2"=1'-0"

10625 W. I-70 FRONTAGE RD. N., SUITE 3  
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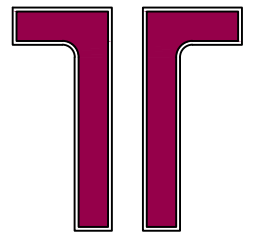
Balcony & Siding Repairs  
Boulder County Housing Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR BIDDING - NOT FOR CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S221**  
GENESEO BALCONY PLANS



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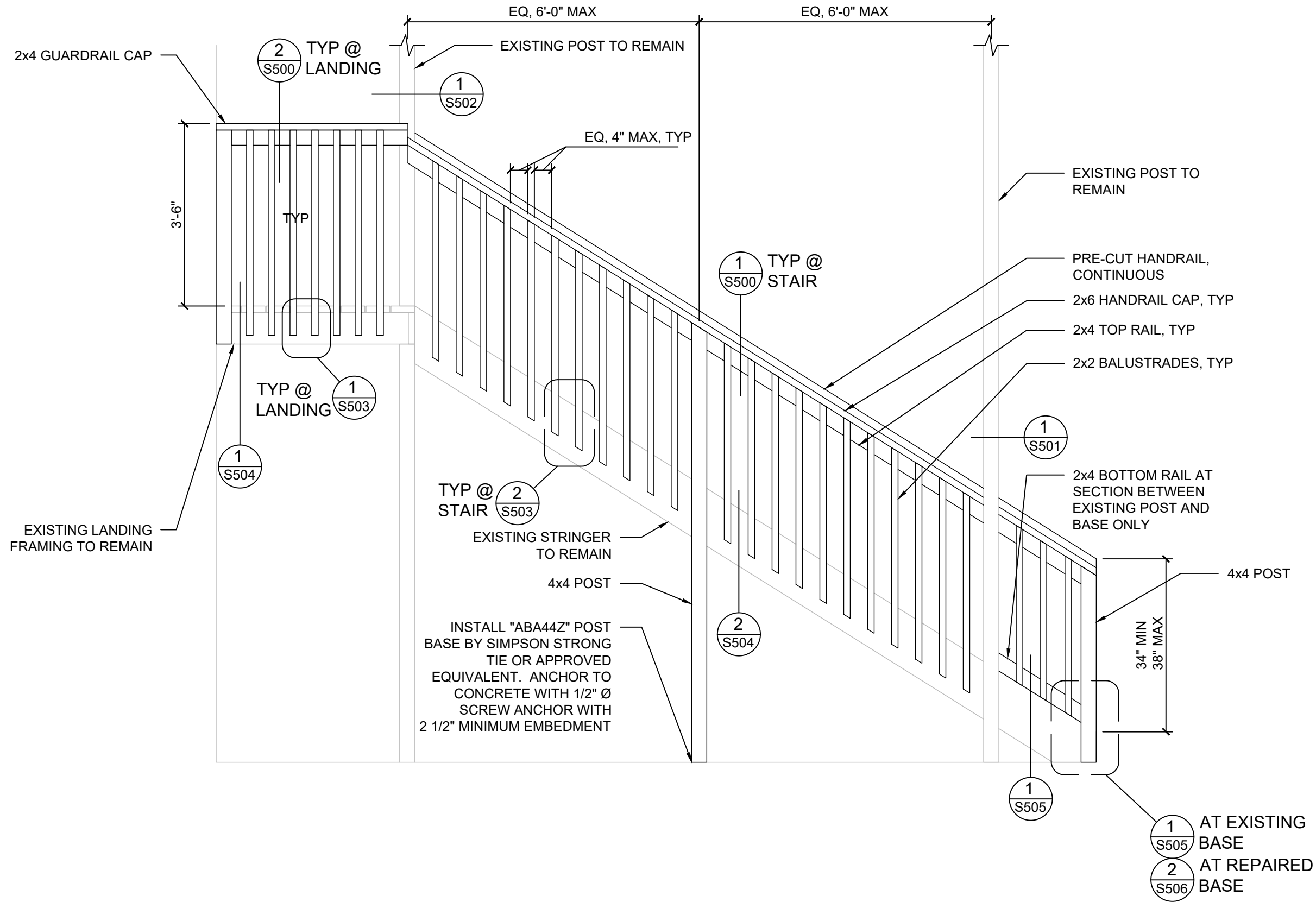
Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

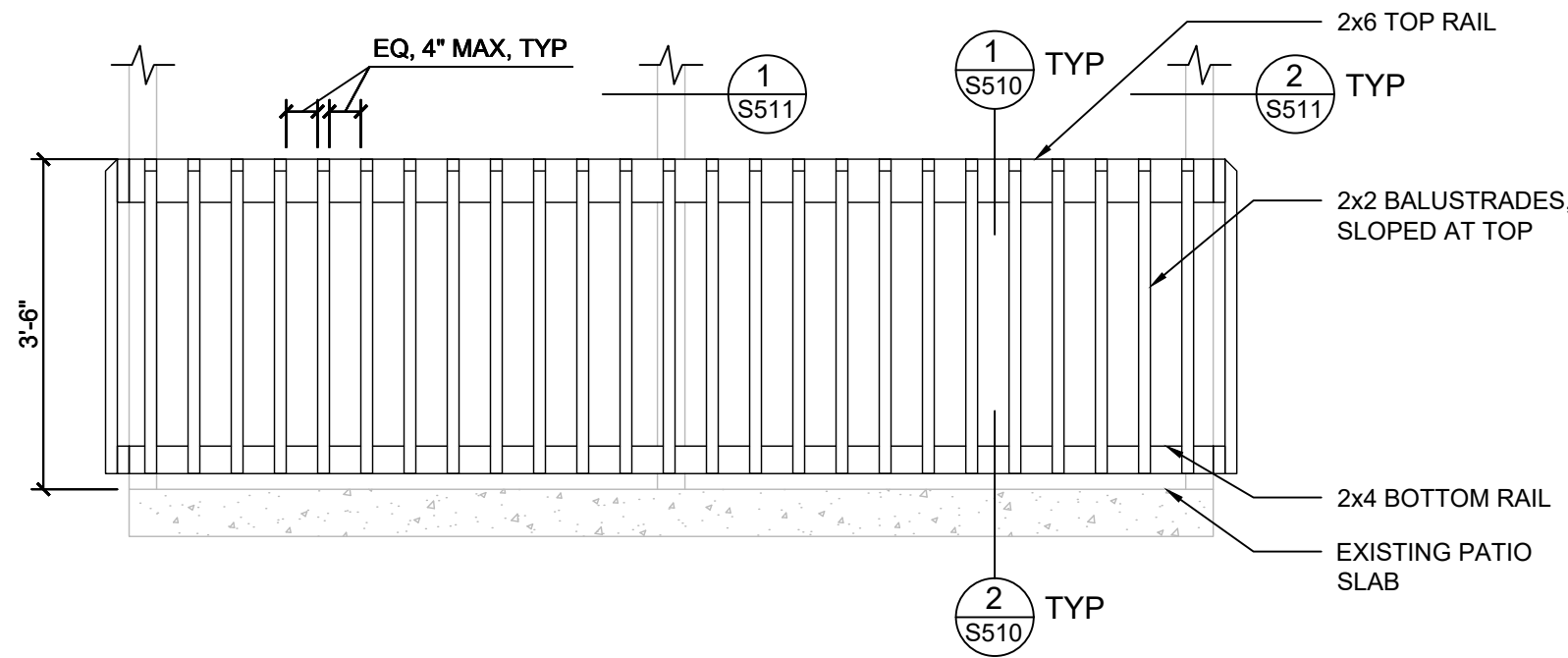
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S400**  
 REGAL STAIR ELEVATION



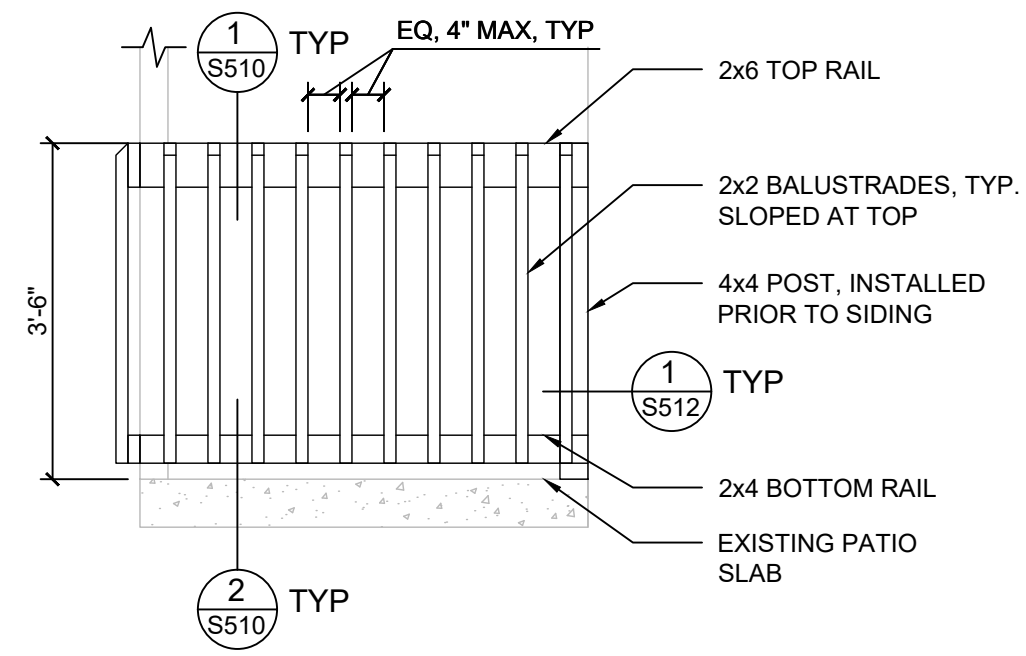
**1 REGAL STAIR ELEVATION**

Scale: 1/2"=1'-0"



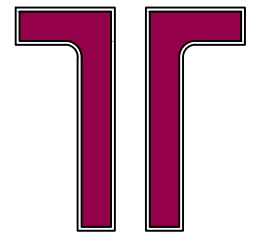
**1** REGAL PATIO ELEVATION

Scale: 1/2"=1'-0"



**2** REGAL PATIO ELEVATION

Scale: 1/2"=1'-0"



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Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

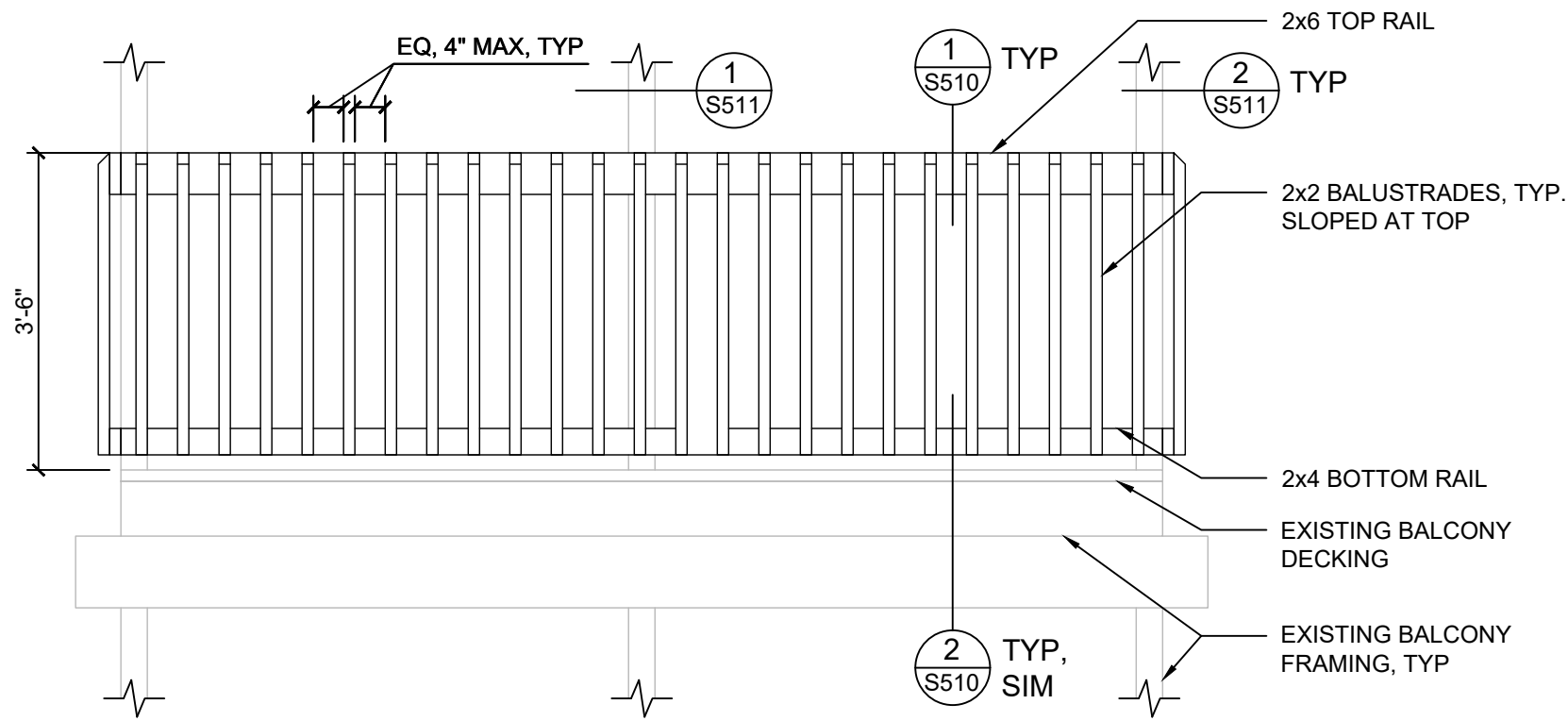
ISSUED FOR  
BIDDING -  
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CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

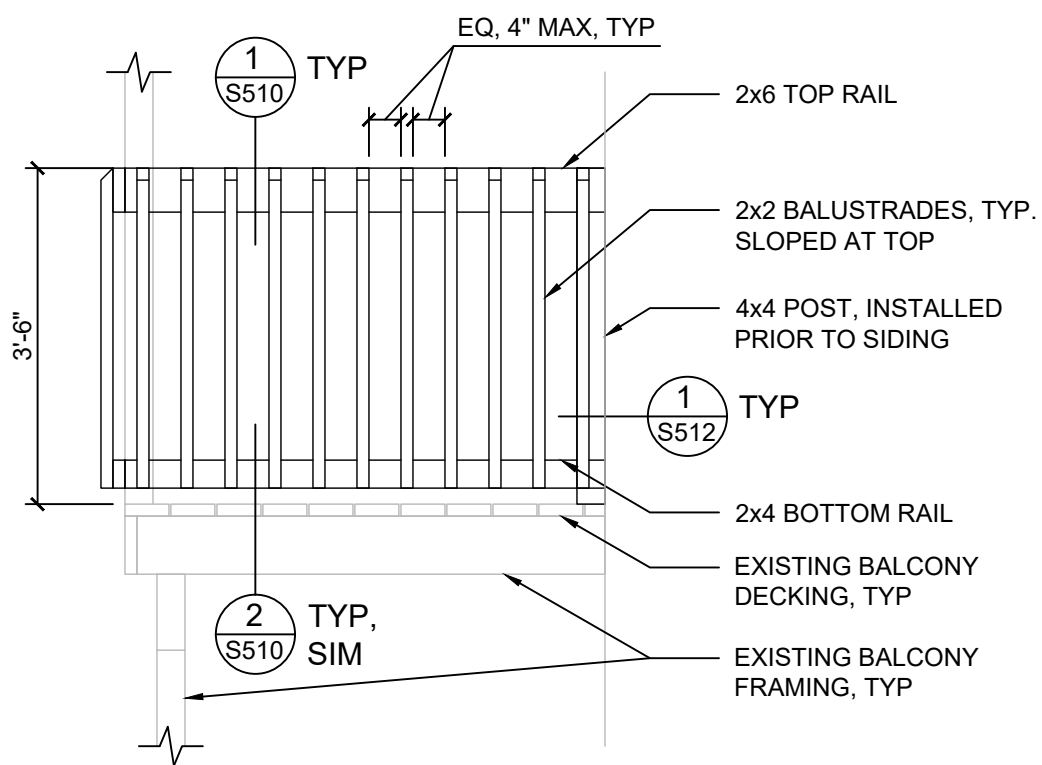
**S401**

REGAL PATIO ELEVATIONS



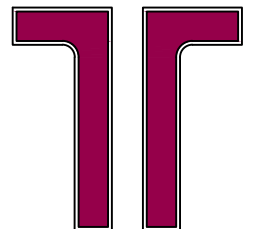
**1** REGAL BALCONY ELEVATION

Scale: 1/2"=1'-0"



**2** REGAL BALCONY ELEVATION

Scale: 1/2"=1'-0"



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Balcony & Siding Repairs

Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

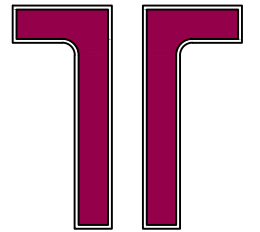
ISSUED FOR  
BIDDING -  
NOT FOR  
CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S402**

REGAL BALCONY ELEVATIONS



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Boulder County Housing  
 Authority (BCHA)  
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 CONSTRUCTION

Rev.	Desc.	Date

Project No: F6236040

Issued for: Bidding

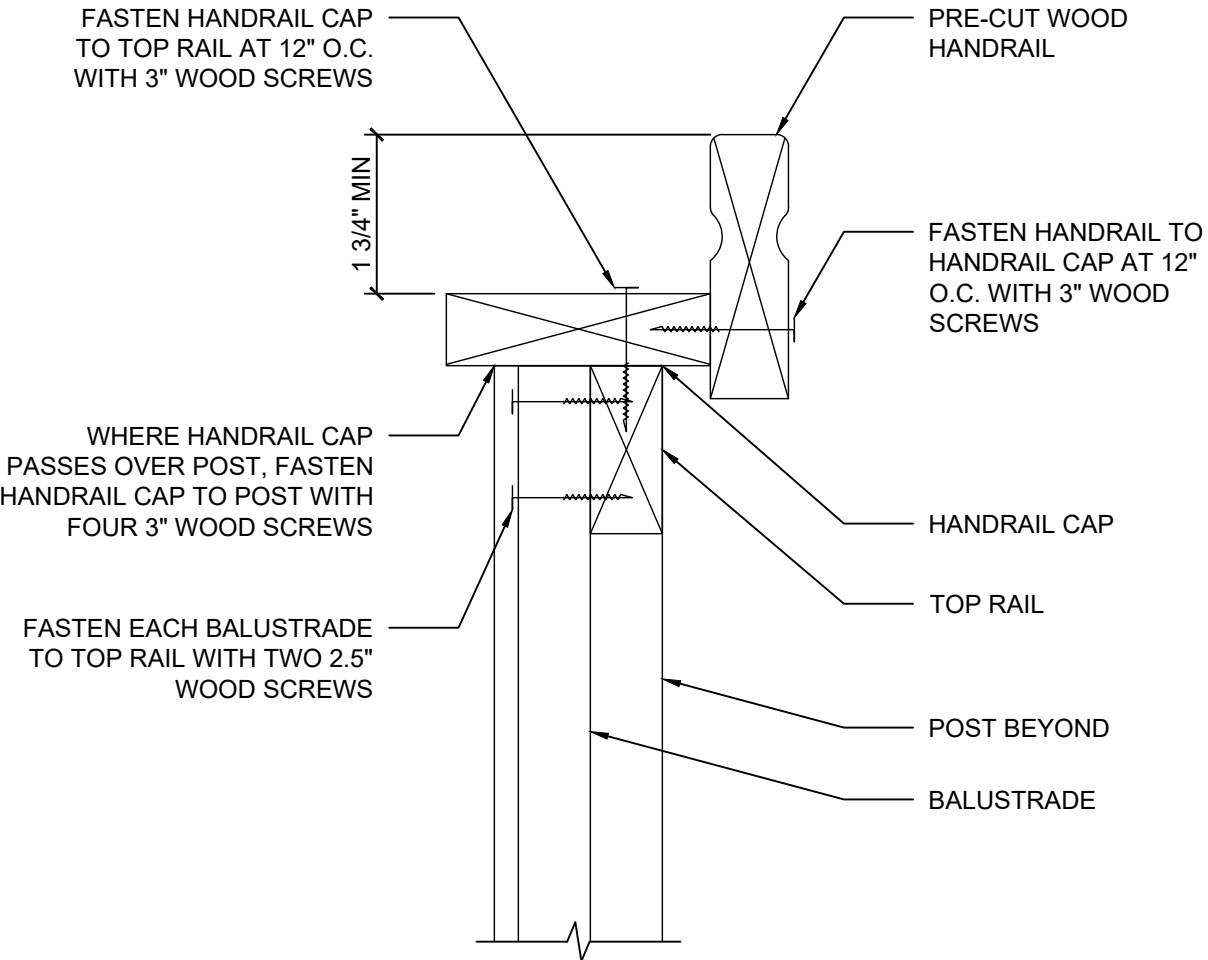
Date: 06/16/2023

Drawn By: K. Gromowski

Designed By: K. Gromowski

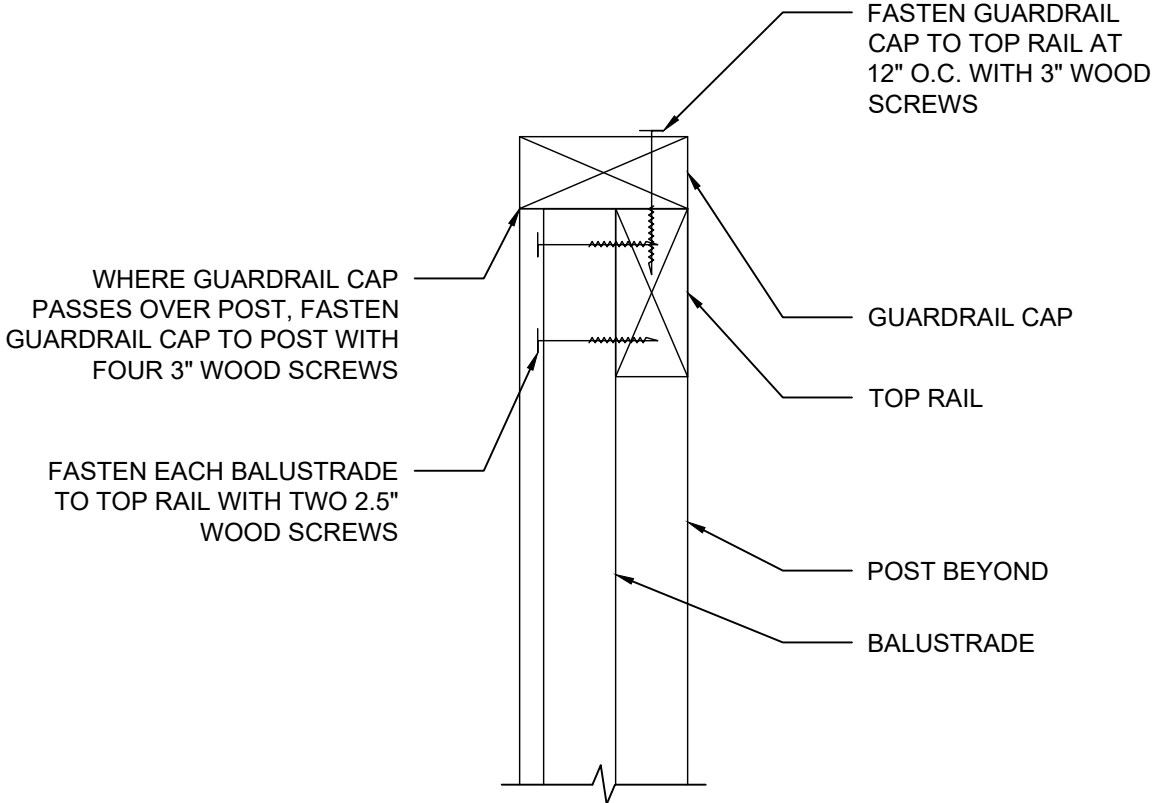
**S500**

REGAL STAIR DETAILS



**1** TYPICAL STAIR HANDRAIL SECTION

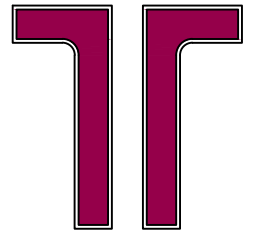
Scale: 3"=1'-0"



**2** TYPICAL LANDING GUARDRAIL SECTION

Scale: 3"=1'-0"





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Balcony & Siding Repairs

Boulder County Housing  
 Authority (BCHA)  
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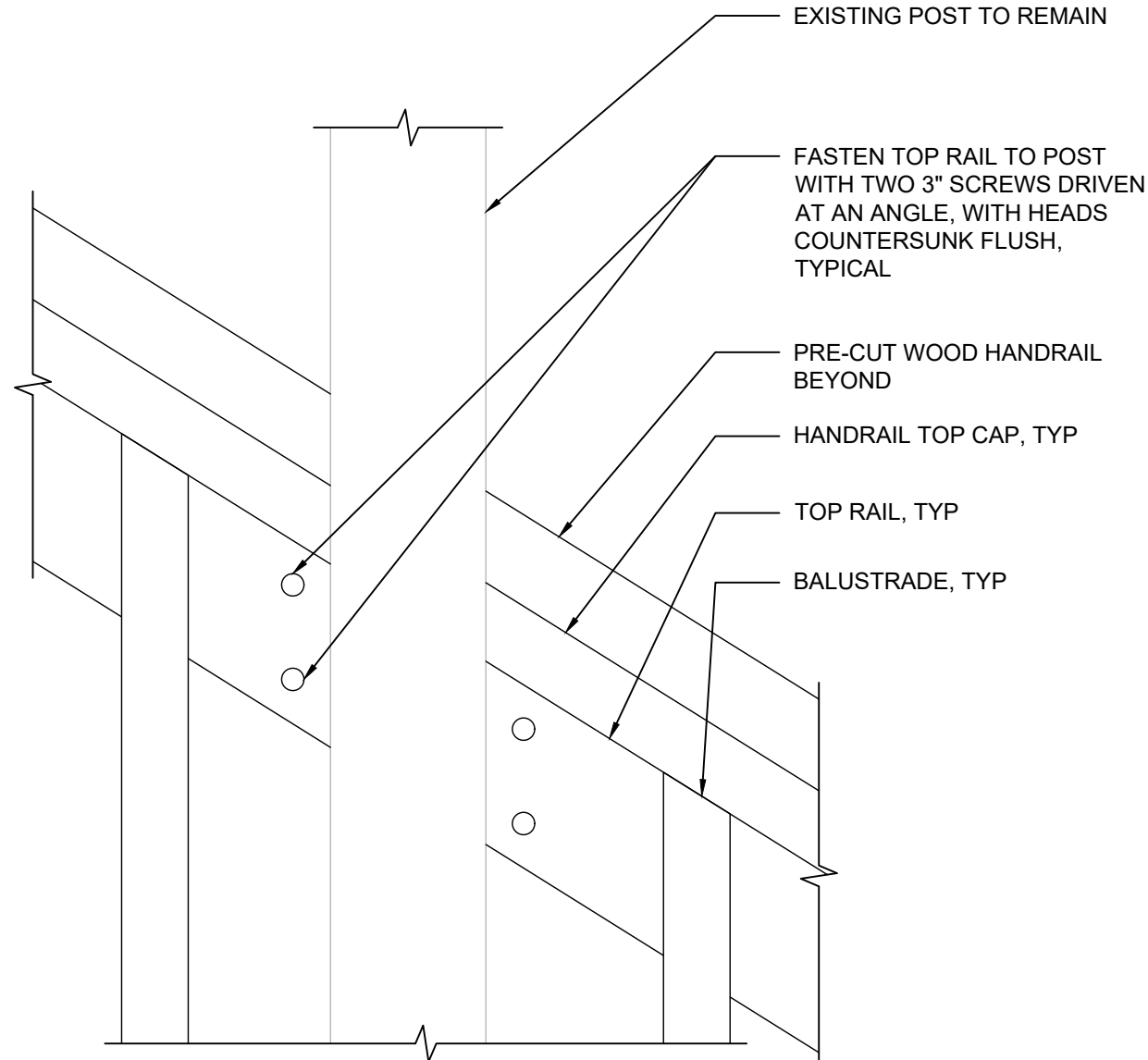
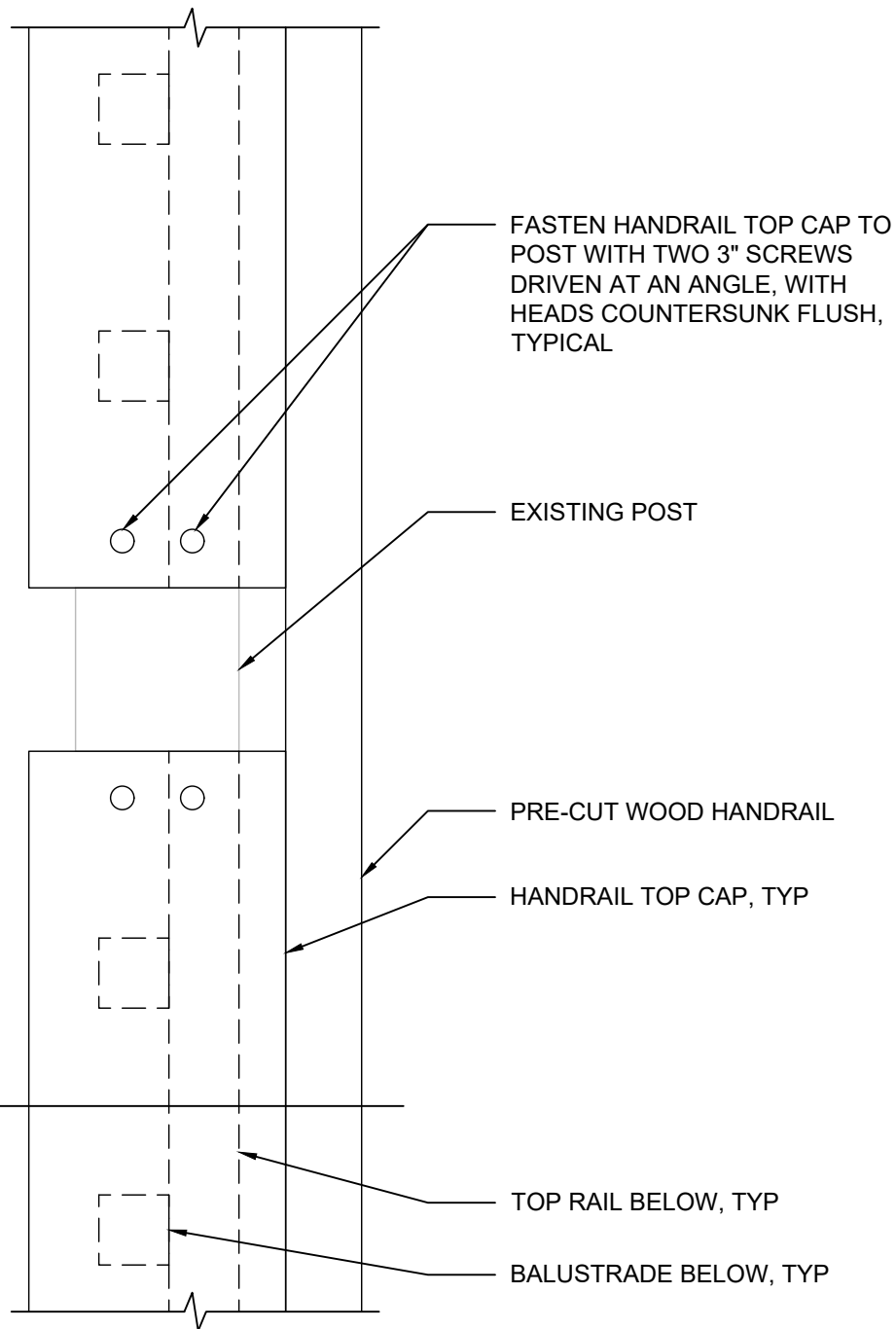
ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S501**

REGAL STAIR DETAILS



2  
S501

TYP 1  
S500

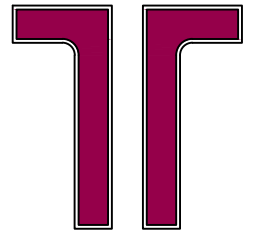
**1 SECTION AT EXISTING CENTRAL POST**

Scale: 3"=1'-0"

**2 ELEVATION AT EXISTING CENTRAL POST**

Scale: 3"=1'-0"





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Balcony & Siding Repairs

Boulder County Housing  
Authority (BCHA)  
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Boulder County, Colorado

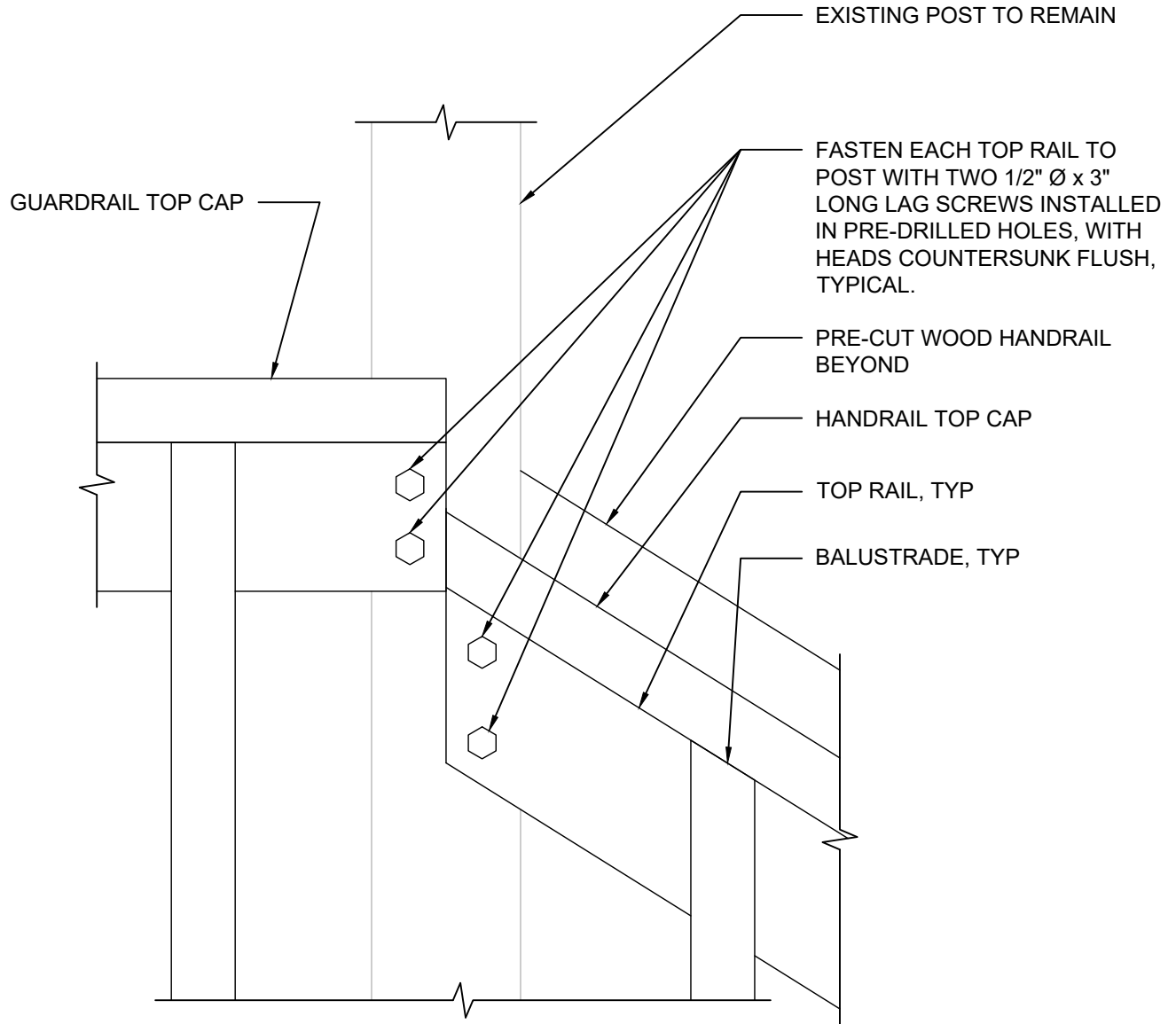
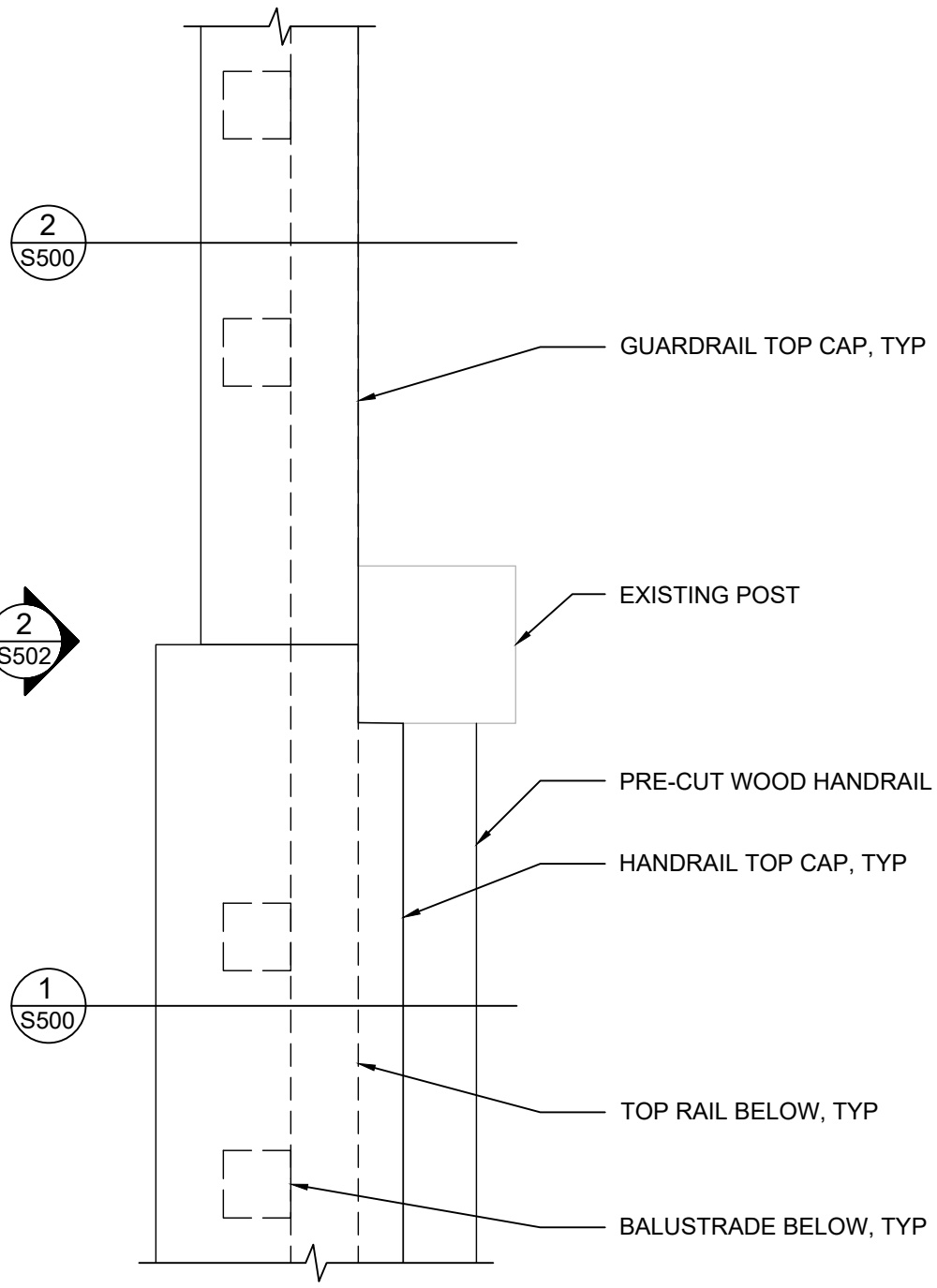
ISSUED FOR  
BIDDING -  
NOT FOR  
CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S502**

REGAL STAIR DETAILS

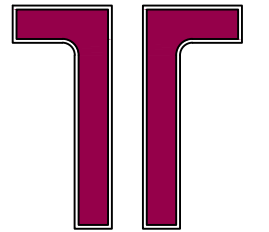


**1** SECTION AT EXISTING UPPER POST

Scale: 3"=1'-0"

**2** ELEVATION AT EXISTING UPPER POST

Scale: 3"=1'-0"



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Balcony & Siding Repairs

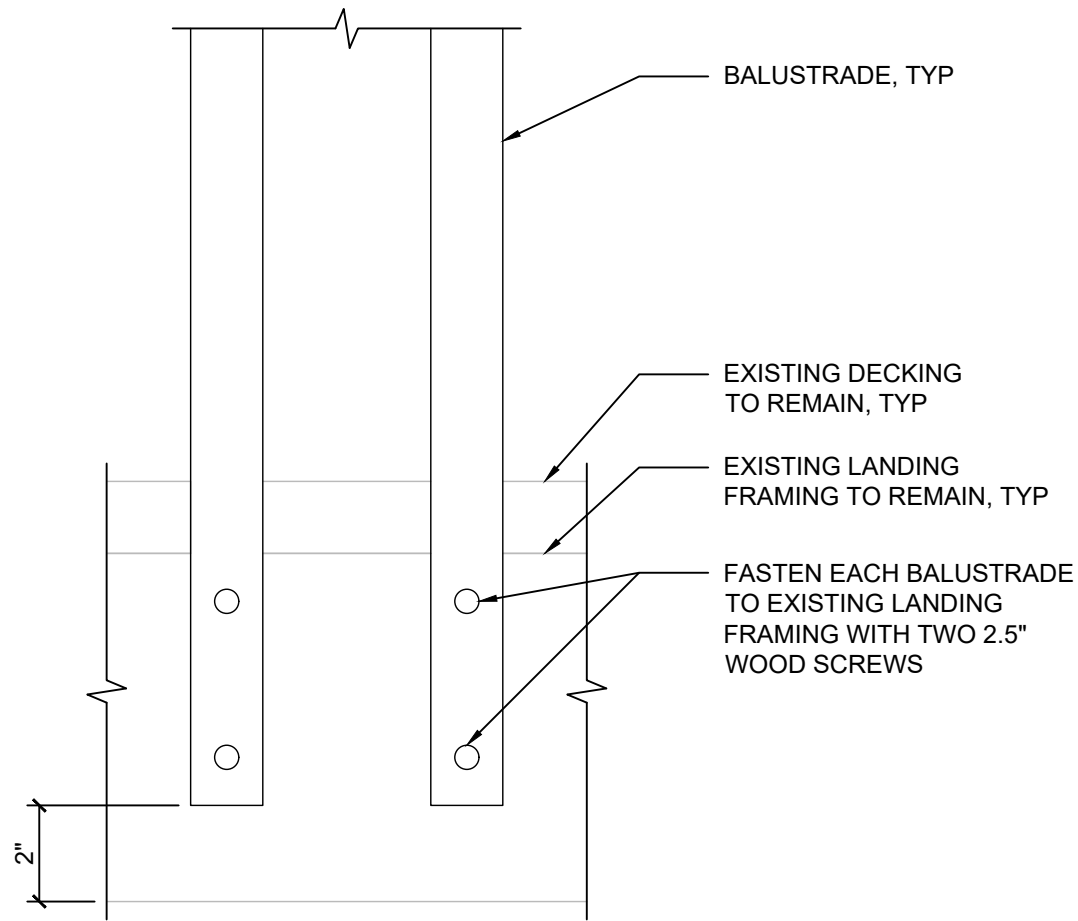
Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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 BIDDING -  
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 CONSTRUCTION

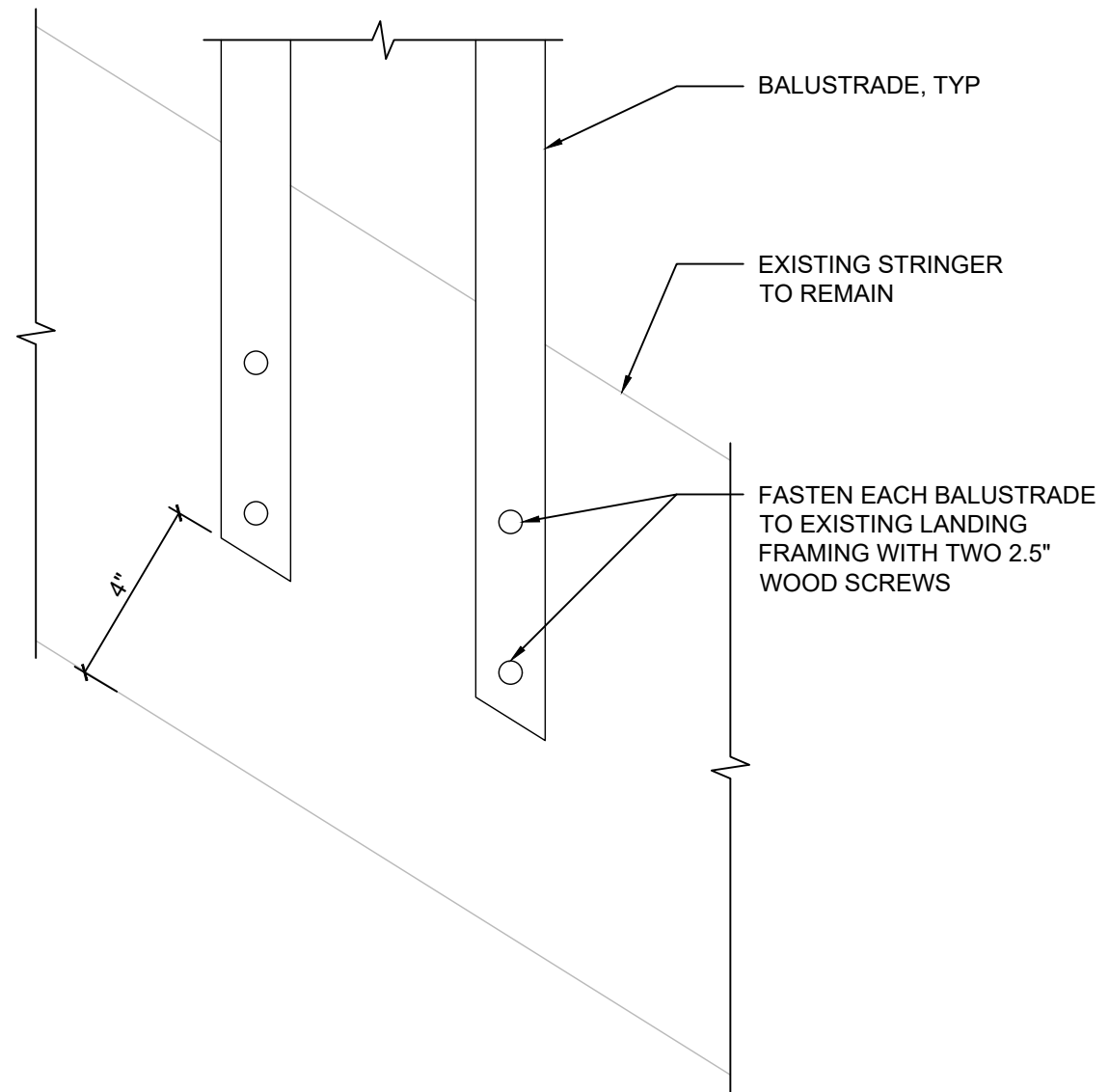
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

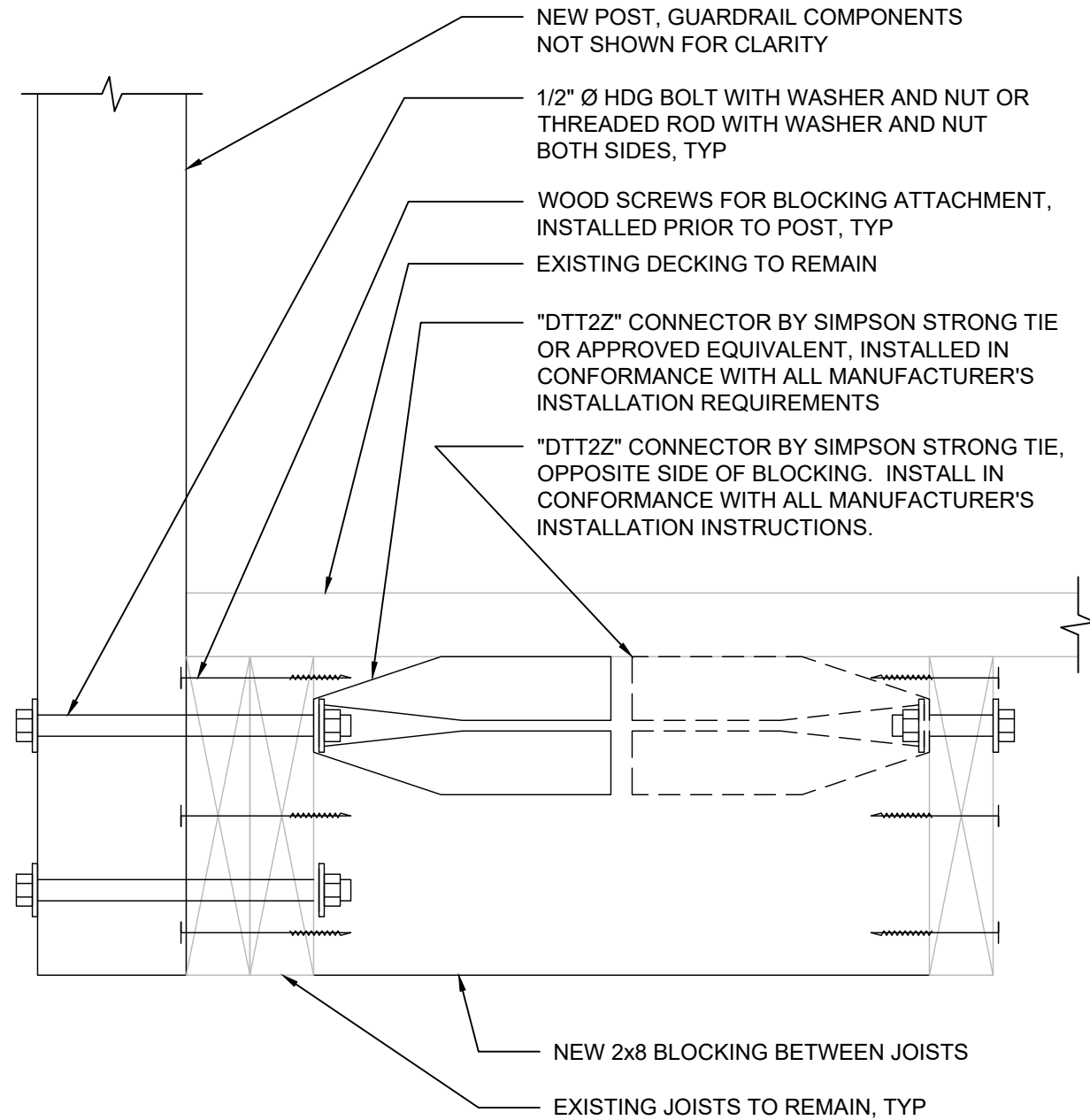
**S503**  
 REGAL STAIR DETAILS



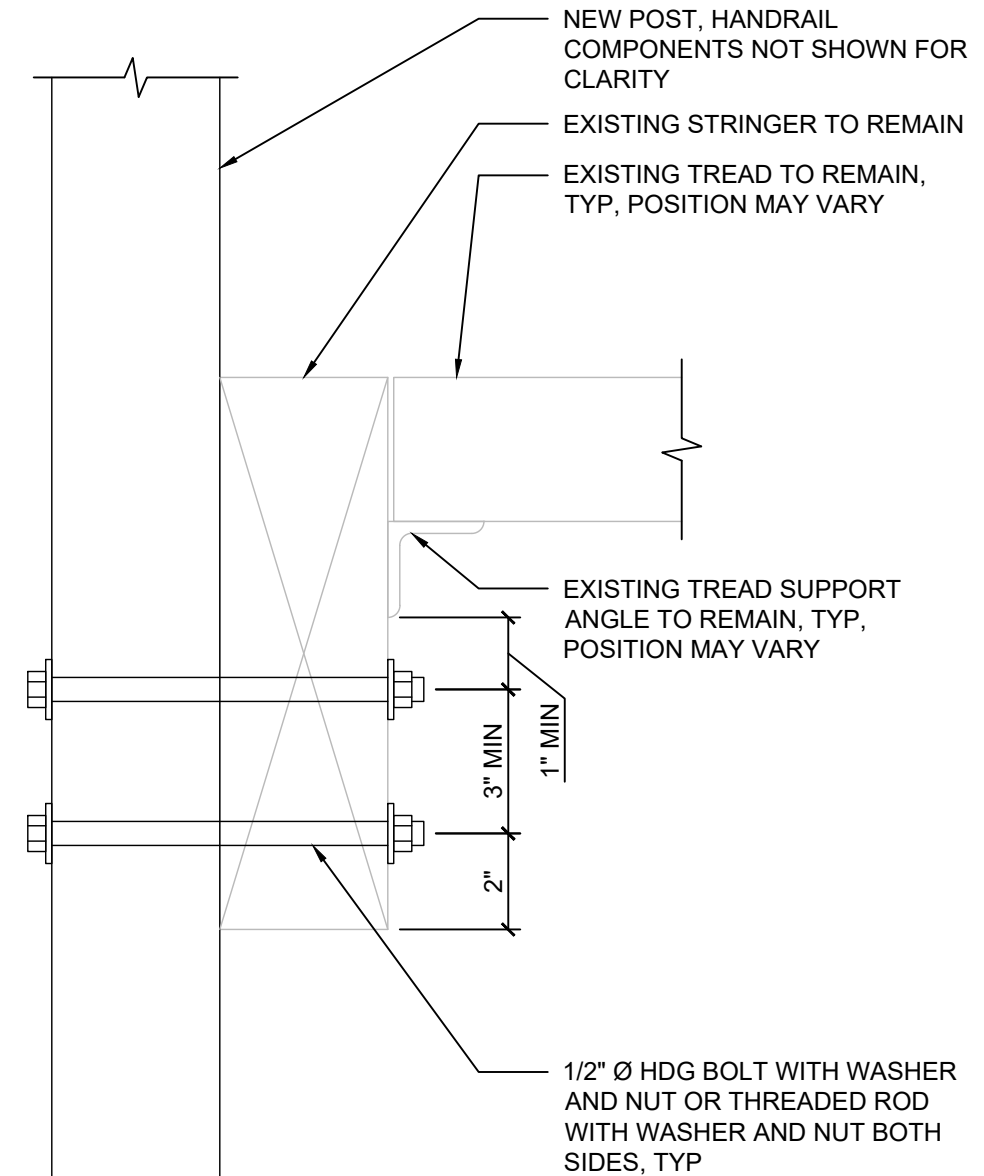
**1** TYPICAL LANDING BALUSTRADES  
 Scale: 3"=1'-0"



**2** TYPICAL STAIR BALUSTRADES  
 Scale: 3"=1'-0"



**1** SECTION AT ADDED LANDING POST  
Scale: 3"=1'-0"



**2** SECTION AT ADDED STAIR POST  
Scale: 3"=1'-0"



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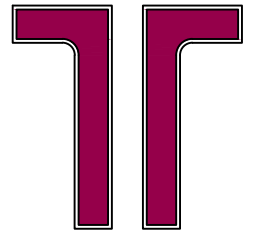
Balcony & Siding Repairs  
Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR  
BIDDING -  
NOT FOR  
CONSTRUCTION

Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S504**  
REGAL STAIR DETAILS



**Terracon**

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Balcony & Siding Repairs

Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

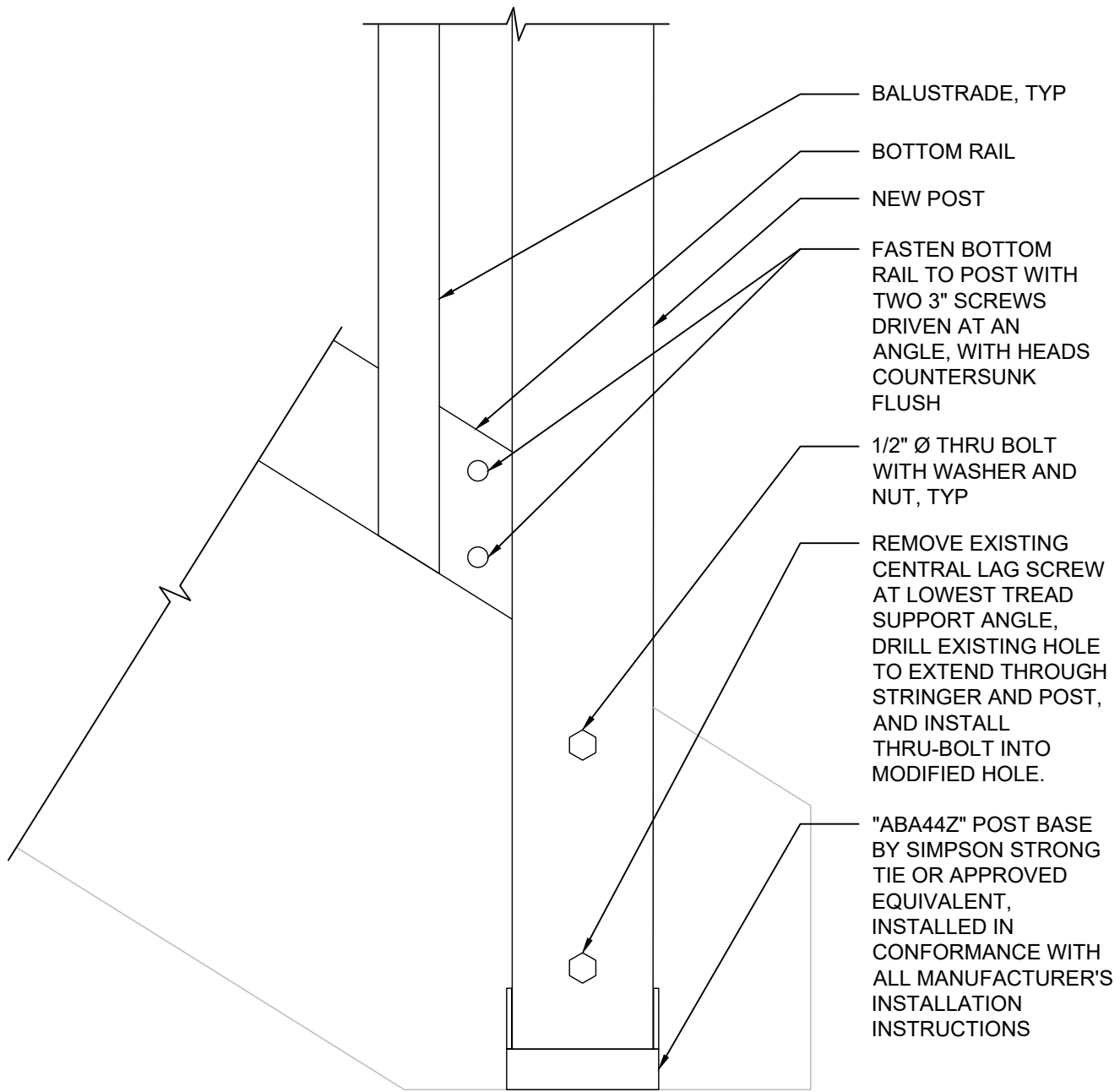
ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION

Rev.	Desc.	Date

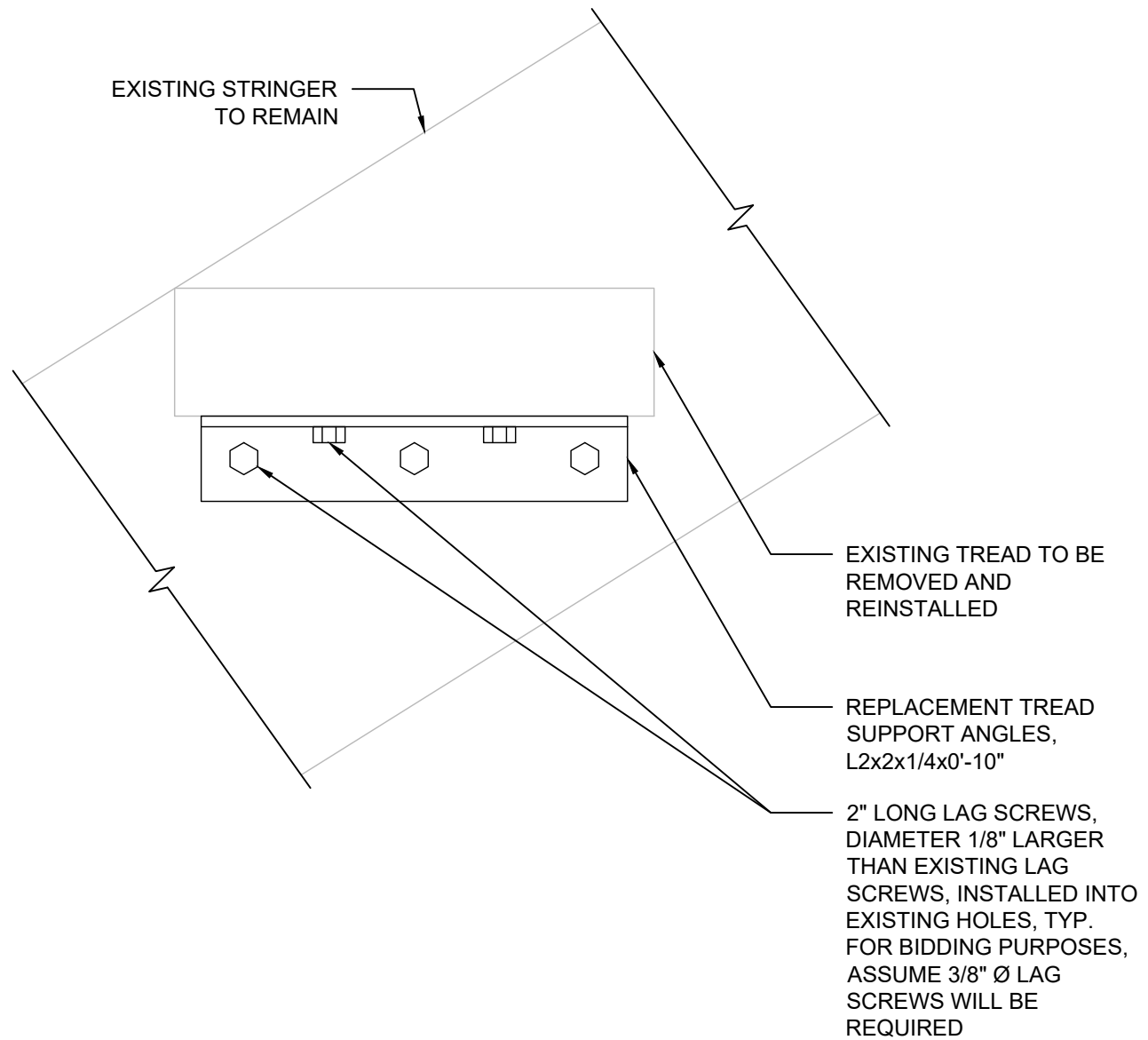
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S505**

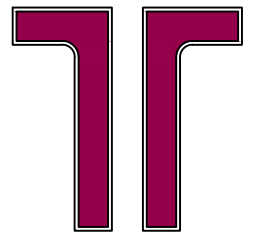
REGAL STAIR DETAILS



**1** ELEVATION - NO SUPPLEMENTAL REINFORCEMENT  
 Scale: 3"=1'-0"



**2** ELEVATION AT REPLACEMENT TREAD SUPPORT  
 Scale: 3"=1'-0"



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Balcony & Siding Repairs

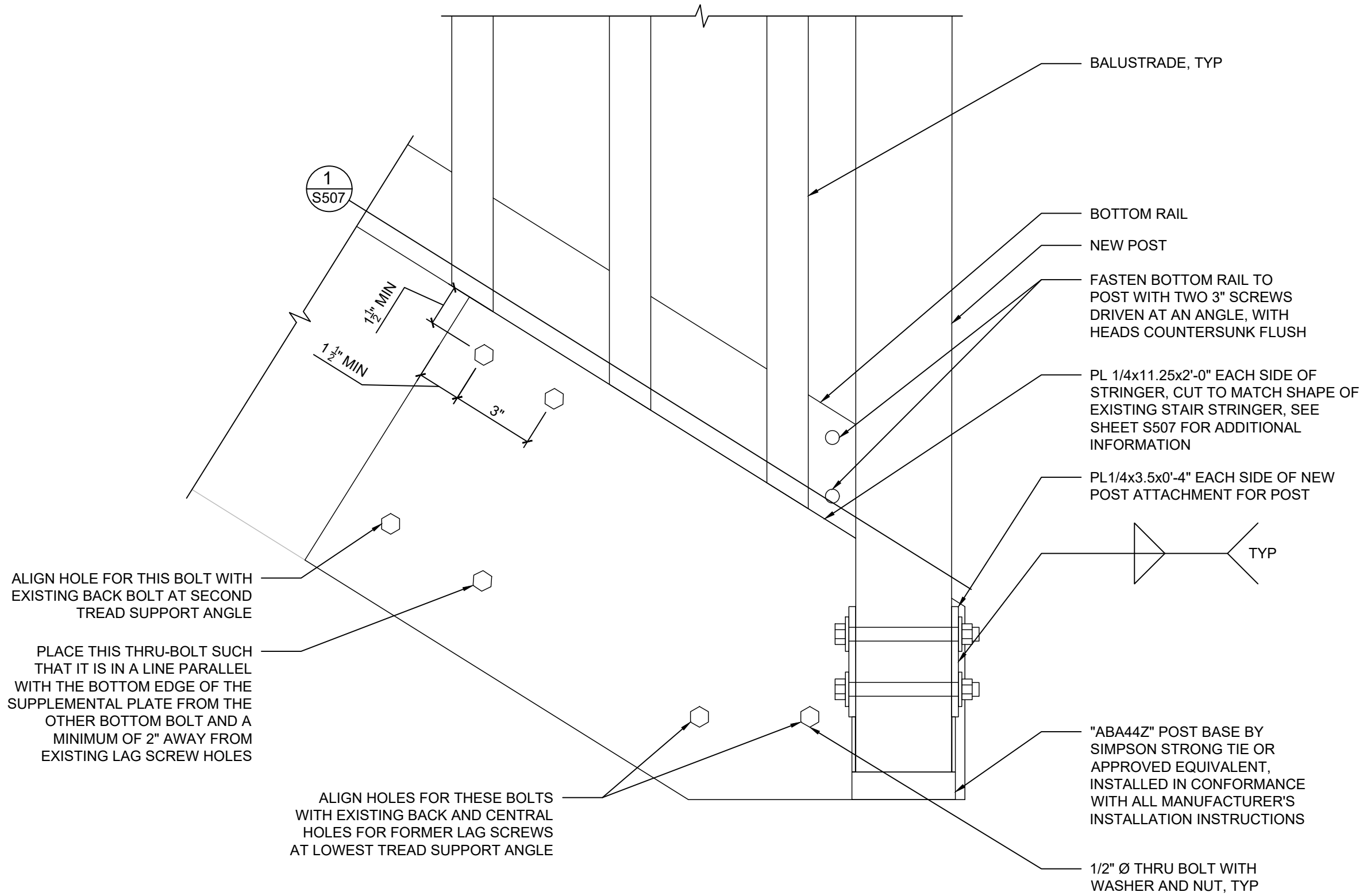
Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

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CONSTRUCTION

Rev.	Desc.	Date

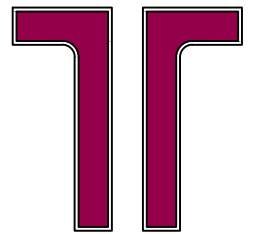
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S506**  
REGAL STAIR DETAILS



**1 ELEVATION AT STAIR BASE - SUPPLEMENTAL REINFORCEMENT**

Scale: 3"=1'-0"



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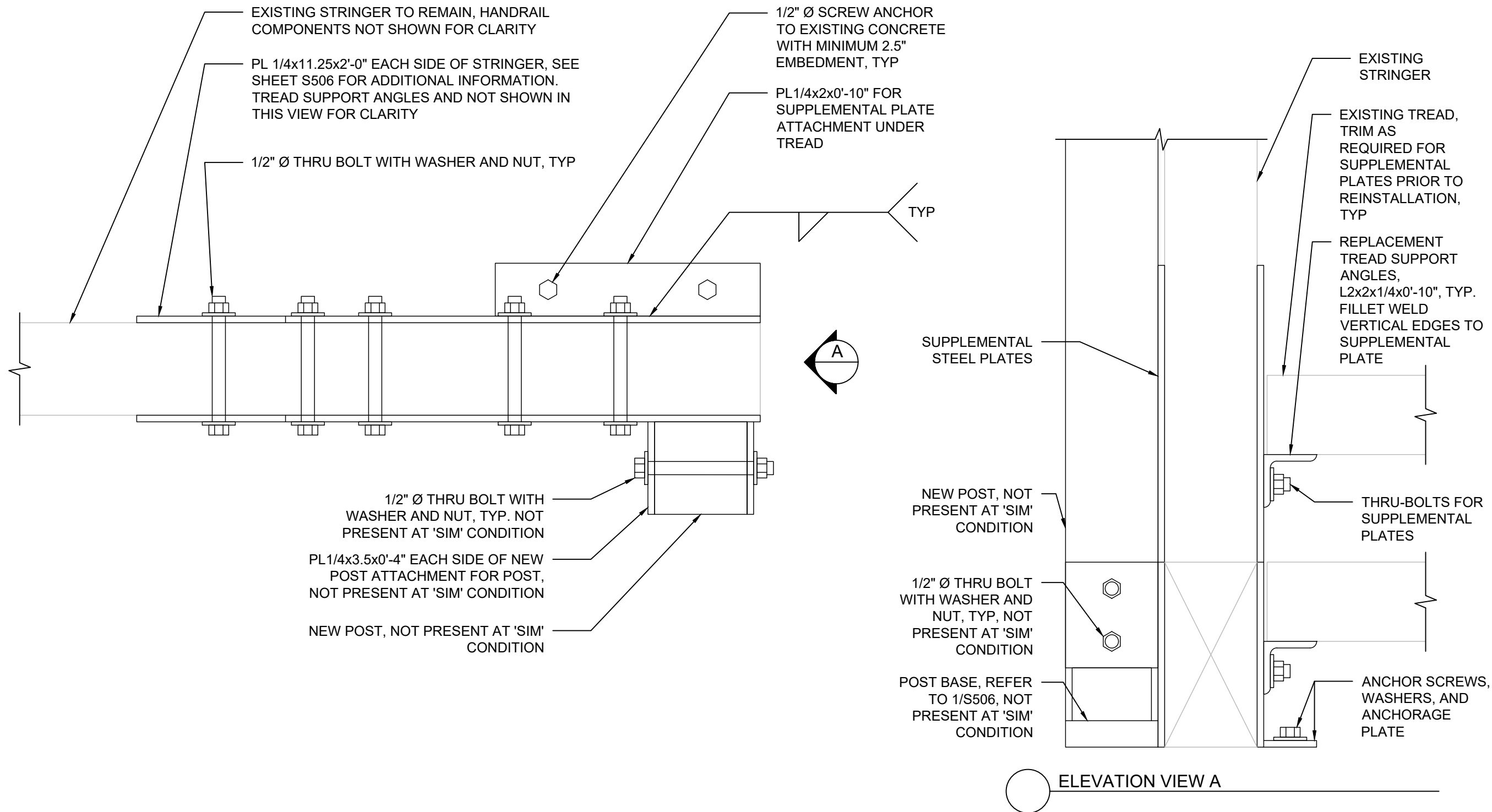
**Balcony & Siding Repairs**  
 Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

**ISSUED FOR  
 BIDDING -  
 NOT FOR  
 CONSTRUCTION**

Rev.	Desc.	Date

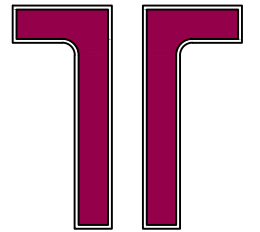
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S507**  
 REGAL STAIR DETAILS



**1 ENLARGED PLAN AT STAIR BASE SUPPLEMENTAL REINFORCEMENT**

Scale: 3"=1'-0"



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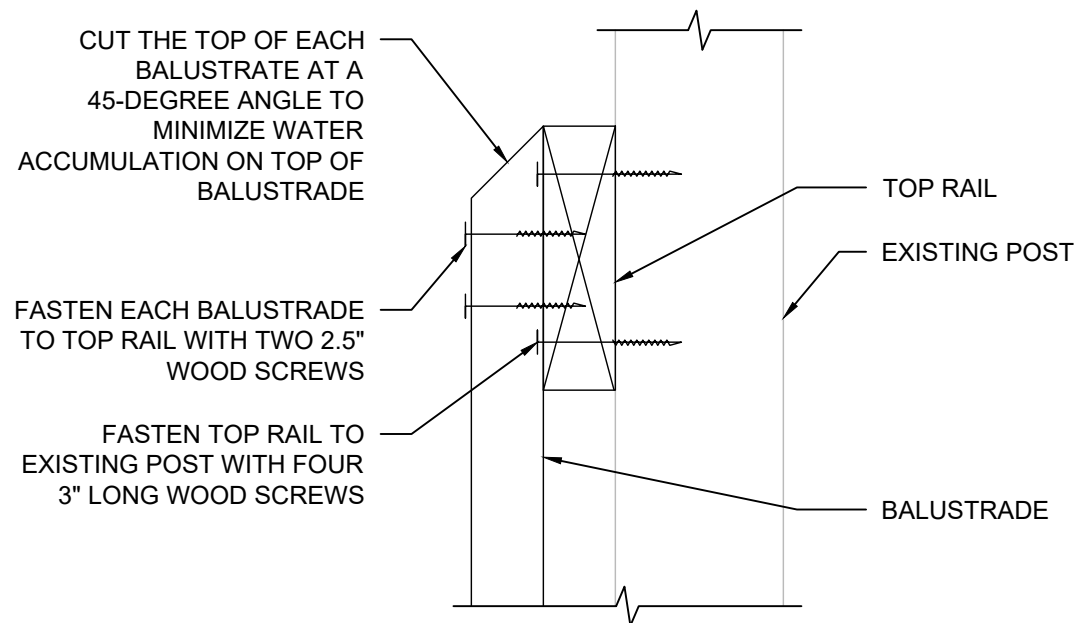
Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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 CONSTRUCTION

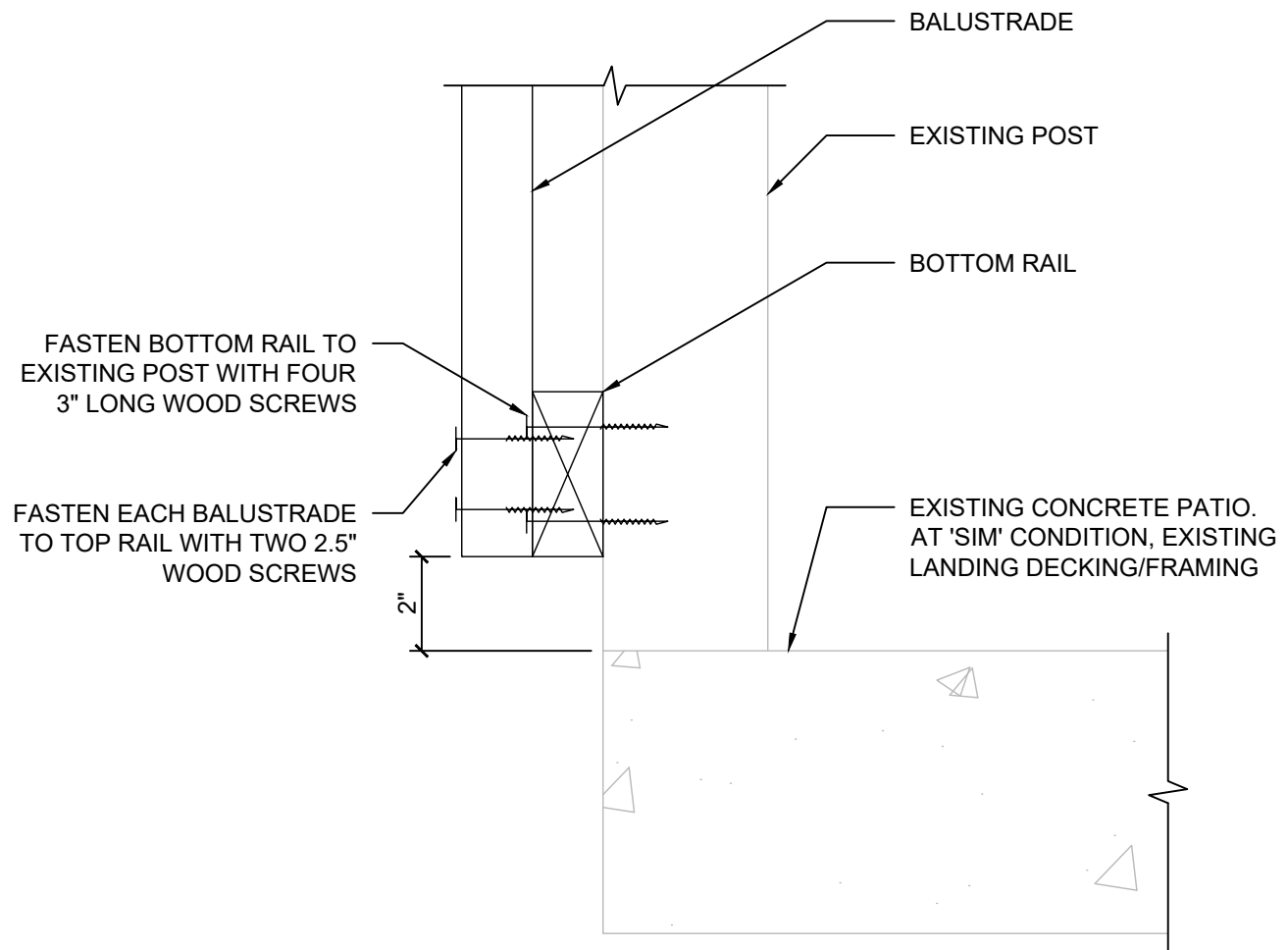
Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S510**  
 REGAL PATIO/BALCONY DET.

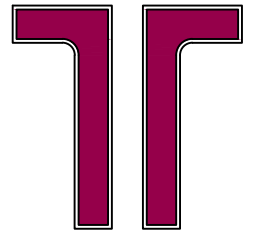


**1** TYPICAL SECTION AT TOP RAIL  
 Scale: 3"=1'-0"



**2** TYPICAL SECTION AT BOTTOM RAIL  
 Scale: 3"=1'-0"





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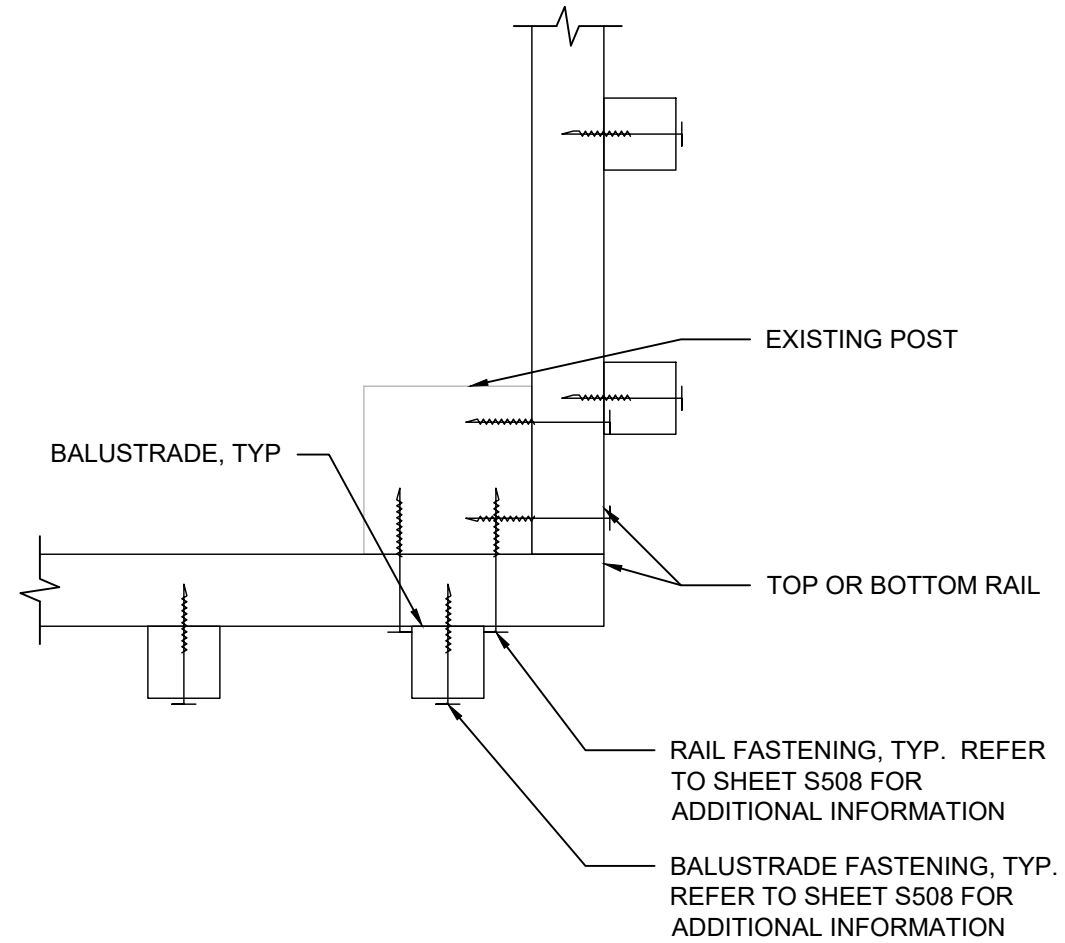
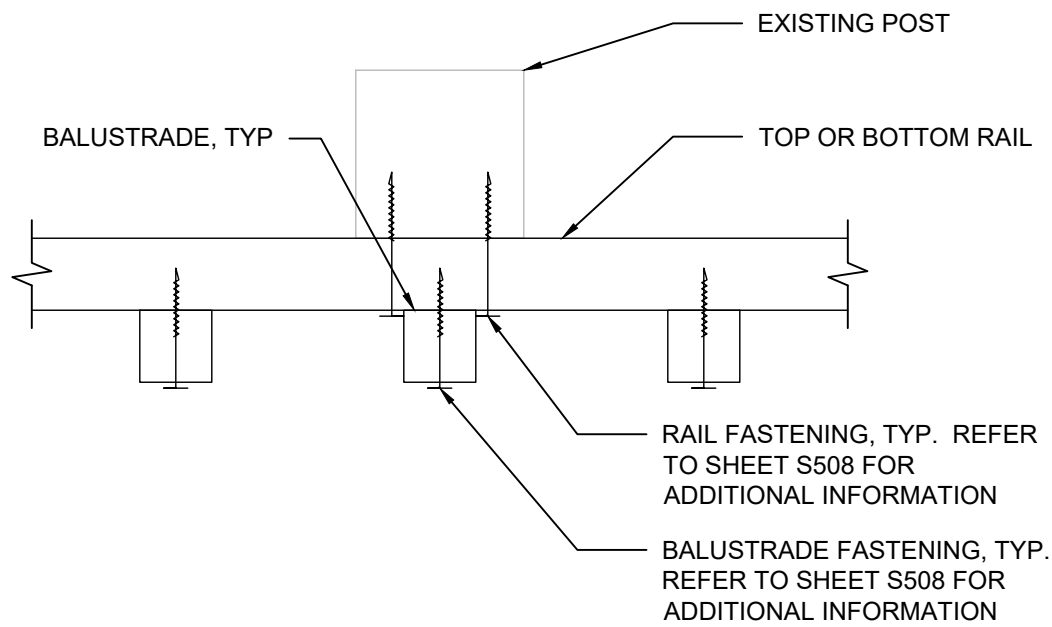
Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

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Project No:	F6236040
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Drawn By:	K. Gromowski
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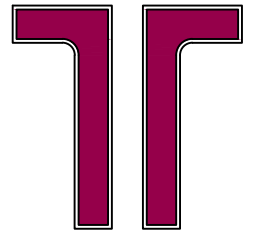
**S511**  
 REGAL PATIO/BALCONY DET.



**1** TYPICAL SECTION AT CENTRAL POST  
 Scale: 3"=1'-0"

**2** TYPICAL SECTION AT CORNER POST  
 Scale: 3"=1'-0"





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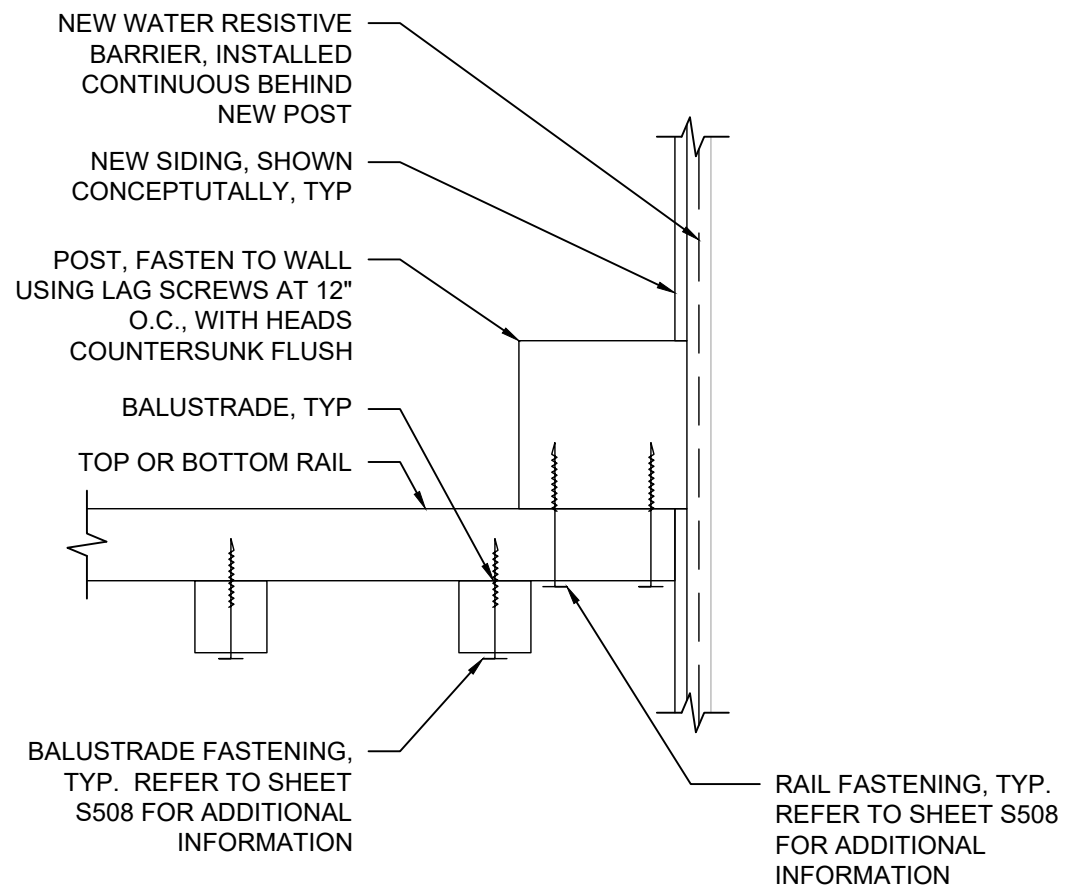
ISSUED FOR  
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CONSTRUCTION

Rev.	Desc.	Date

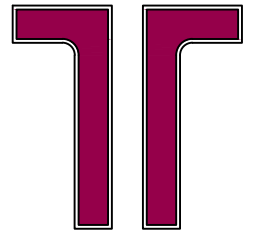
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S512**

REGAL PATIO/BALCONY DET.



**1** TYPICAL SECTION AT ADDITIONAL POST  
Scale: 3"=1'-0"



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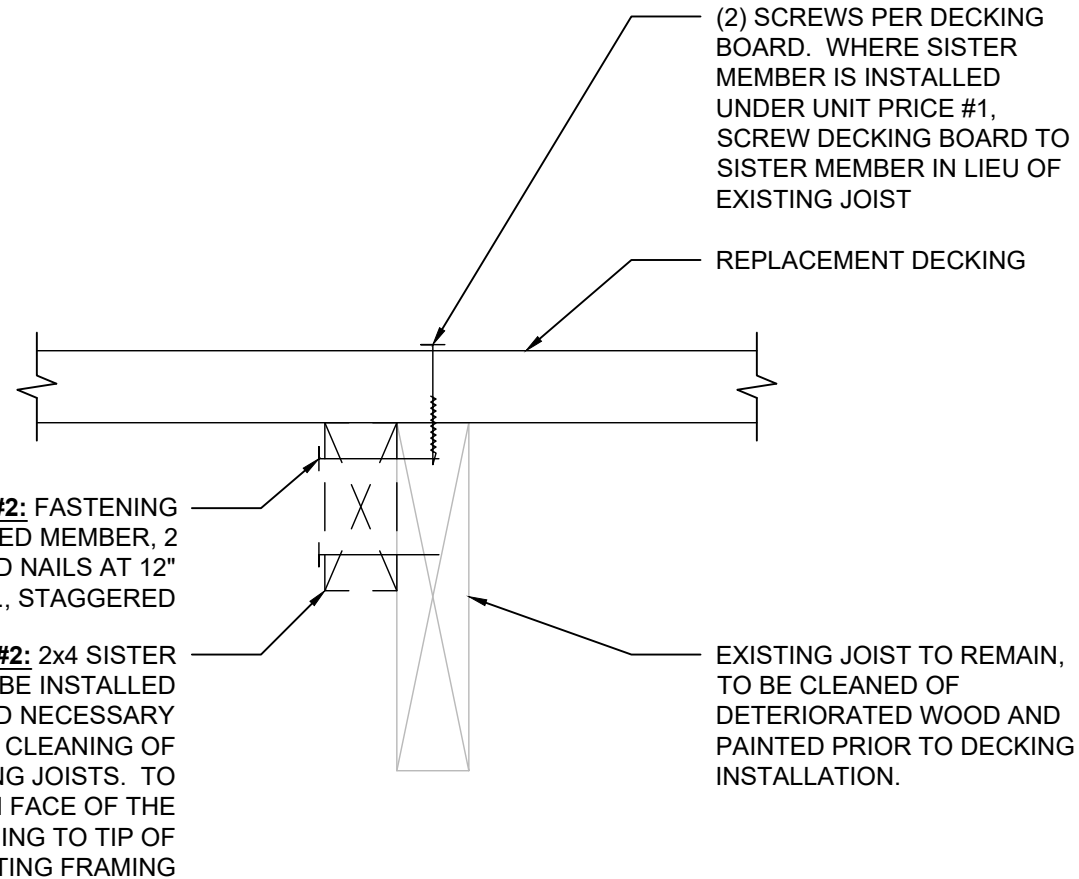
Boulder County Housing  
 Authority (BCHA)  
 Various Addresses  
 Boulder County, Colorado

ISSUED FOR  
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Rev.	Desc.	Date

Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S520**  
 GENESEO BALCONY DETAILS



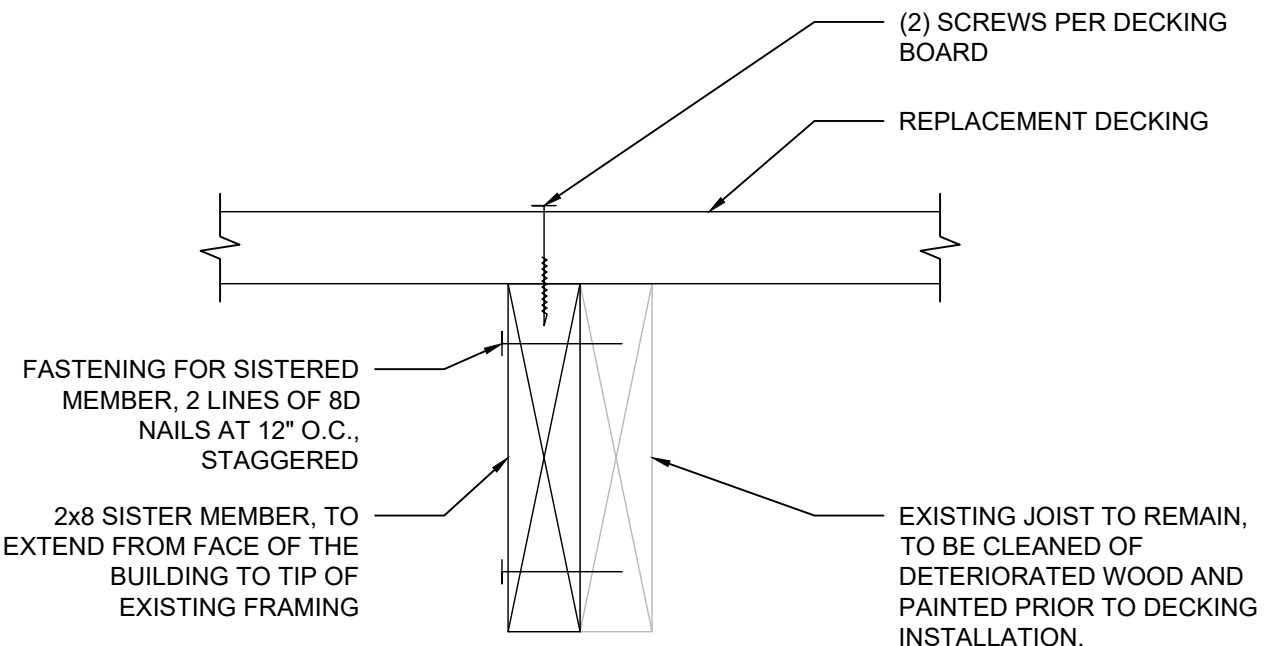
**UNIT PRICE #2:** FASTENING FOR SISTERED MEMBER, 2 LINES OF 8D NAILS AT 12" O.C., STAGGERED

**UNIT PRICE #2:** 2x4 SISTER MEMBER, TO BE INSTALLED IF DETERMINED NECESSARY FOLLOWING CLEANING OF EXISTING JOISTS. TO EXTEND FROM FACE OF THE BUILDING TO TIP OF EXISTING FRAMING

EXISTING JOIST TO REMAIN, TO BE CLEANED OF DETERIORATED WOOD AND PAINTED PRIOR TO DECKING INSTALLATION.

**1** TYPICAL SECTION AT EXISTING JOIST

Scale: 3"=1'-0"



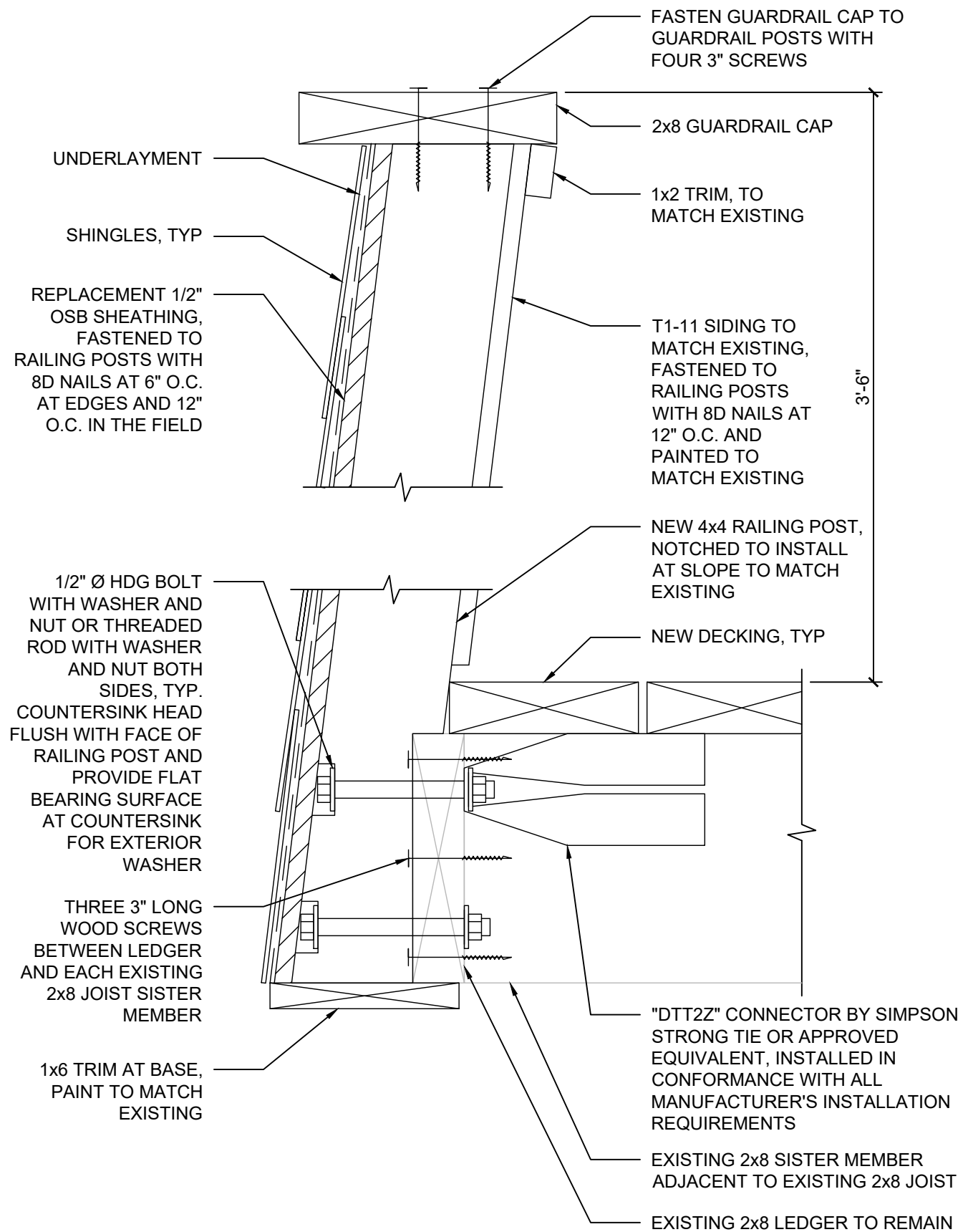
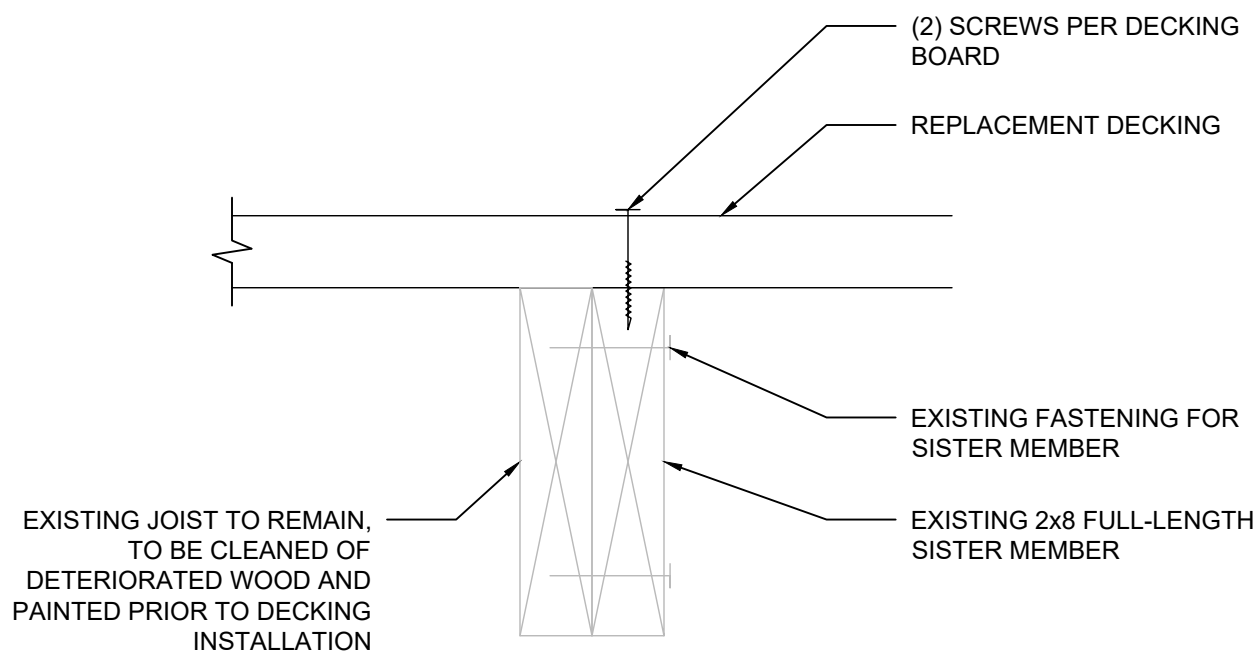
FASTENING FOR SISTERED MEMBER, 2 LINES OF 8D NAILS AT 12" O.C., STAGGERED

2x8 SISTER MEMBER, TO EXTEND FROM FACE OF THE BUILDING TO TIP OF EXISTING FRAMING

EXISTING JOIST TO REMAIN, TO BE CLEANED OF DETERIORATED WOOD AND PAINTED PRIOR TO DECKING INSTALLATION.

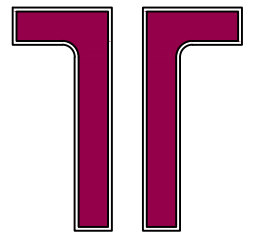
**2** TYPICAL SECTION AT JOIST SISTERING

Scale: 3"=1'-0"



**1** SECTION AT PREVIOUSLY-SISTERED JOIST  
Scale: 3"=1'-0"

**2** TYPICAL SECTION AT NEW RAILING  
Scale: 3"=1'-0"



**Terracon**  
10625 W. I-70 FRONTAGE RD. N., SUITE 3  
WHEAT RIDGE, CO 80033  
PH. (303) 423-3300 FAX. (303) 423-3353  
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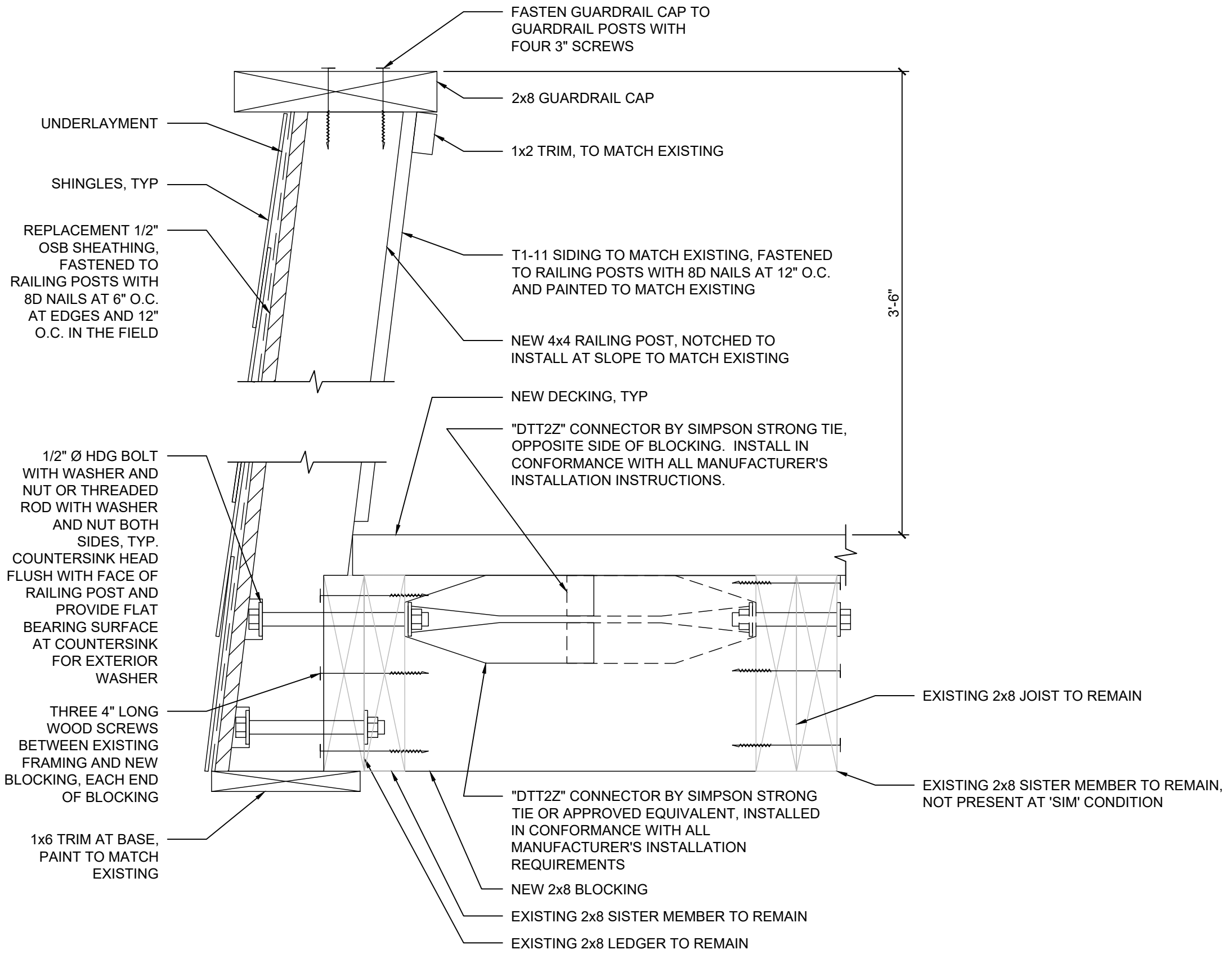
Balcony & Siding Repairs  
Boulder County Housing  
Authority (BCHA)  
Various Addresses  
Boulder County, Colorado

ISSUED FOR  
BIDDING -  
NOT FOR  
CONSTRUCTION

Rev.	Desc.	Date

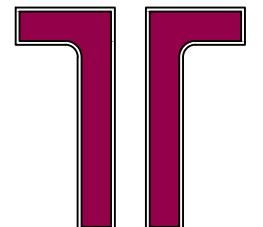
Project No:	F6236040
Issued for:	Bidding
Date:	06/16/2023
Drawn By:	K. Gromowski
Designed By:	K. Gromowski

**S521**  
GENESEO BALCONY DETAILS



**1 TYPICAL SECTION AT NEW RAILING**

Scale: 3"=1'-0"



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Balcony & Siding Repairs  
 Boulder County Housing  
 Authority (BCHA)  
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**S522**

GENESEO BALCONY DETAILS