



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306

303-441-3930 • www.BoulderCounty.gov

Staff Recommendation for Docket AP-25-0002

BOULDER COUNTY BOARD OF COUNTY COMMISSIONERS PUBLIC HEARING

STAFF PLANNER: Kim Sanchez, Deputy Planning Director

HEARING DATE: August 19, 2025 at 1 p.m.

Docket AP-25-0002 Flynn/Parker Appeal: Administrative appeal of the administration of Article 4-101.E.3 (Structure Size provisions) of the Land Use Code

Request:	Administrative appeal of the decision of the Director's determination to administer Article 4-101.E.3 (Structure Size provisions) of the Land Use Code on the property located at 228 Alpine Way located in the Forestry zoning district.
Location:	228 Alpine Way
Zoning:	Forestry zoning district
Appellants:	Timothy and Nathaly Flynn (appellants/owners) and Bill Parker (agent)

STAFF RECOMMENDATION: Uphold Director's Administration of Article 4-101.E.3 of the Land Use Code

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SUMMARY

In May 2025 Boulder County adopted structure size provisions as part of the Boulder County Land Use Code (the Code) zoning district regulations. The structure size provisions for the Forestry zoning district are outlined in Article 4-101.E.3 of the Code. Specifically, the property at 228 Alpine Way is allowed 3,879 square feet maximum Residential Floor Area (RFA). The appellants object to this limitation and are appealing administration of the zoning regulations to the Board of County Commissioners as provided in Article 4-101.E.3.b.¹ See Attachment A for Appellants' Materials.

BACKGROUND

In September 2024 Community Planning & Permitting was directed to explore changes to the Site Plan Review (SPR) regulations to better address neighborhood character, sustainability, and affordability. Specifically, staff were authorized by the Board of County Commissioners (BOCC) to explore the following changes to the SPR regulations:

¹ The appellants' narrative states they are appealing "an administrative decision regarding the permissible Residential Floor Area (RFA) for a proposed home addition to this [228 Alpine Way] residence, under Section 4-1200 of the Boulder County Land Use Code."

- Reducing the current compatible size from 125% of the median of a defined neighborhood to the median of a defined neighborhood;
- Changing what is currently a size presumption (that potentially could be overcome to get a larger size in certain circumstances) to a size limitation based on the median of a defined neighborhood;
- Clarifying the regulations to improve processes, increase the public's ability to better navigate the regulations, and provide greater certainty of outcomes for applicants.

Regulation changes were reviewed and made effective May 13, 2025 through a public process, including public hearings with the Planning Commission and the BOCC. See <https://bouldercounty.gov/property-and-land/land-use/planning/land-use-code-update/dc-24-0003/>

Resolution 2025-023 is the resolution approving the text amendments to the Code (Attachment B).

In the adopted Code changes, structure size was addressed as a bulk zoning regulation for each zoning district similar to the minimum lot size, minimum setbacks, maximum building height, etc. This is different than the previous approach where the Site Plan Review regulations dictated a size that was presumed to be compatible with the defined neighborhood and the size presumption could be overcome in limited circumstances. In the updated regulations, a maximum Residential Floor Area is set for structure size in each zoning district.

The structure size provisions for the Forestry zoning district (Article 4-101) are as follows:

E. Lot, Building, and Structure requirements

3. Structure size

a. Maximum Residential Floor Area

(i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:

(A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;

(B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and

(C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.

...

d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.

The provisions above apply to the property at 228 Alpine, which is subject of this appeal. The maximum size allowed on this parcel is the larger of either the median RFA of the defined Neighborhood, or an additional 750 square feet over the existing RFA on the Parcel as of May 13, 2025 since this is a Parcel with RFA between 1,501 and 3,000 square feet. 3,879 square feet is the median for the defined Neighborhood and is larger than 3,590 square feet, which is the existing 2,840 square feet of RFA (per the Assessor's Records) plus 750 square feet. Thus, the maximum RFA allowed on the property is 3,879 square feet. See parcel report (Attachment C) and neighborhood size analyses from April 2025 (Attachment D) and August 2025 (Attachment E).

DISCUSSION

The appellants assert both that the County's records of the existing house size are incorrect and that they should not be "penalized" for Code changes that occurred after they purchased their property. They contend that the existing home at 228 Alpine is 3,096 square feet.

Article 4-101.E.3.d provides that the Boulder County's Assessor's Records will be used to determine the median RFA within a defined Neighborhood and the existing RFA on a Parcel, as verified by Community Planning & Permitting staff. The County calculated both the existing RFA on the property and the Neighborhood median pursuant to the applicable Code provisions and available data. Based on the Assessor's Records, the median RFA in

the defined Neighborhood is 3,879 square feet². The Assessor's Records show that the existing RFA on the parcel is 2,840 square feet.

Staff verified the existing RFA on the property by looking at building permits for the original dwelling (BP-73-17991) and a residential addition (BP-90-1001), as well as reviewing the Assessor's Card which includes floor plan/sketches of the structure (Attachments F, G, and H). The building permits show a first floor finished area of 1,000 square feet, a garage (conversion of an existing carport) of 480 square feet, and second floor finished area of 583 square feet for a total of 2,063 square feet. The Assessor's Card shows the same size that is indicated on the parcel report: 2,840 square feet. The sizes from both the building permit record and the Assessor's Card are smaller than the 3,096 square feet the appellants state in their narrative is the actual existing RFA of the home.

If the appellants believe that the Assessor's Records are incorrect, they would need to correct this with the Assessor's office. Regardless, the appellants' assertions that the existing home is larger than what the Assessor's Records show will not help them obtain a larger total allowance. To the contrary, if the home is verified to be larger than what the Assessor determined on current record, appellants will be allowed even less additional RFA up to the maximum. Furthermore, even if the appellants were to update their existing home size to 3,096 square feet with the Assessor's office, this would not change the median (3,879 square feet) for the Neighborhood nor would it allow them more RFA than the median.

The maximum RFA in the Forestry zoning district is the larger of the median RFA of the defined Neighborhood, or either an additional 750 square feet or 675 square feet over the existing RFA on the parcel as of May 13, 2025, depending on if the existing RFA is between 1,501 and 3,000 square feet (*Article 4-101.E.3.a.i.B*) or between 3,001 and 3,500 square feet (*Article 4-101.E.3.a.i.C*) respectively. If the existing RFA is 2,840 square feet as shown in Assessor's records, an additional 750 square feet is allowed totaling 3,590 square feet; this size is smaller than the median for the Neighborhood (3,879 square feet) therefore the median would be the limitation. If the existing RFA was updated by the Assessor's office to 3,096 square feet, an additional 675 square feet would be allowed for a total of 3,771 square feet. This size is also smaller than the median³ for the Neighborhood (3,879 square feet) so the median would be the limitation in this scenario. Either way

² The appellants were provided two different median calculations in February 2025 and April 2025 that differed by 28 square feet. Upon further research, the 28 square foot difference was due to a glitch in the County's GIS system on that particular day the data was given in February, which has since been corrected.

³ The median of the defined Neighborhood would not change if the house size was updated to 3,096 square feet.

the maximum RFA allowed on the subject property is the median for the Neighborhood, which is 3,879 square feet.

The appellants argue that they purchased the property in reliance on incorrect information given by County staff, which should exempt them from the structure size provisions. This argument fails because County staff provided the information that is on record. On February 14, 2025 County staff replied to an inquiry from Emily Hawbecker and informed her of the existing RFA on the property (2,840 square feet), provided a median for the Neighborhood (3,907 square feet was the number provided; see footnote 1), and provided information regarding the temporary moratorium and pending regulation changes including a link to the press release (Attachments I and J). The press release stated that the moratorium was in place at the county “while it considers changes to the Land Use Code.” In the February 14, 2025 email staff explained that the property was allotted up to 1,000 square feet with a building permit only and a Site Plan Review Waiver (SPRW) would be required to build up to the median, but no development over the median was allowed. However, during the moratorium which began on January 17, 2025 for a six-month period or until new regulations were adopted, additions that did not exceed the median RFA of a defined neighborhood were allowed to proceed.

The later phone conversation with Ethan Abner on April 7, 2025 that the appellants mention, as well as email correspondence with staff between April 7 and July 7, 2025 (Attachment K), occurred after the purchase of the home on March 10, 2025. County staff again provided the correct information at the time: the existing RFA on record (2,840 square feet), the median for the Neighborhood (3,879 square feet; see footnote 1), and direction that they were permitted to build 1,000 square feet with a building permit only or up to the median for the Neighborhood with a SPRW but no projects resulting in a size greater than the median were allowed to proceed under the moratorium. Ethan further explained the changes to the draft regulations that were being proposed and how they would apply to the subject property, based on how they were drafted at that snapshot in time; however, the draft regulations evolved during the public process and the adopted regulations differed from the initial draft as is expected during Code amendment processes. Once the moratorium was lifted, the new structure size provisions and the regulations as approved by the BOCC became effective and are applicable to the appellants’ property moving forward. Since the appellants did not apply for a building permit for 1,000 square feet before the new regulations were enacted, the existing RFA on the Parcel as of May 13, 2025 remained the 2,840 square feet size per the Assessor’s records.

The language of the moratorium which was publicly available (to which staff provided a link in their communication with the appellants) is clear that its purpose “[was] to allow time to formulate and publicly review necessary amendments to current county land use regulations regarding residential structure size in the unincorporated county.” (Attachment

L) Therefore, appellants purchased the property knowing that a moratorium was in place until new regulations went into place. They cannot now claim that they detrimentally relied on any understanding of what would be allowed on their property when the new code provisions had not yet been adopted, nor did they submit a building permit to increase the existing house size from 2,840 square feet during the moratorium prior to the new regulations becoming effective.

REVIEW CRITERIA

The specific provision being appealed is Article 4-101.E.3 of the Land Use Code. In hearing an appeal of an administrative decision or interpretation, the Board of County Commissioners shall consider the following:

a. the technical meaning of the provision being appealed;

The structure size provisions are based on the existing RFA of a property and the median RFA of the defined Neighborhood (Article 18-179.C), based on the Assessor's Records and verified by County staff as provided in Article 4-101.E.3.d of the Code. RFA is defined in Article 18-189D of the Code. The plain meaning of the structure size provisions is that these calculations are used to define a specific maximum RFA for the property.

b. evidence as to the past interpretation of the provision;

The County applies the structure size provisions uniformly in all zoning districts using the same calculations. The County has not varied its interpretation of the structure size provisions.

c. the principles of interpretation and rules of construction in Article 1 of this code; and

Article 1-900 notes that the provisions of the Code shall be regarded as the minimum requirements for the protection of the public health, safety, and general welfare. This Code shall therefore be regarded as remedial and shall be liberally construed to further its underlying purposes.

The structure size provisions are bulk zoning regulations based on straightforward calculations that apply uniformly throughout the County. They are not discretionary and do not leave room for varied interpretations or application other than what are outlined in the Code.

d. the effect of the interpretation on the intent of this Code and the implementation of the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

Again, the structure size provisions are bulk zoning regulations based on straightforward calculations that apply uniformly throughout the County. As explained in the Background section above, the provisions were adopted through an extensive public process seeking to better align the County's structure size regulations with the goals of the Comprehensive Plan. Applying the provisions as written accomplishes the goals stated throughout the Code amendment process.

RECOMMENDATION

The appellants can add 1,000 square feet to the existing 2,840 square foot of RFA on record with only a building permit and no planning review, or they can add 1,039 square feet with Expedited Site Plan Review (ESPR) (formerly SPRW) up to the median RFA of 3,879 square feet for the Neighborhood and be compliant with the structure size provisions.

Staff recommends that the BOCC uphold the Director's administration of Article 4-101.E.3 of the Land Use Code on the property at 228 Alpine Way in the Forestry zoning district.



Boulder County Community Planning & Permitting Department

Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930
Email: planner@bouldercounty.gov
Web: www.bouldercounty.gov

Shaded Areas for Staff Use Only

Intake Stamp

Planning Application Form

Community Planning & Permitting maintains a submittal schedule for accepting applications. Planning applications are accepted by appointment only. Please call 303-441-3930 or email CPPFrontDesk@bouldercounty.gov to schedule a submittal appointment.

Project Number		Project Name	
<input checked="" type="checkbox"/> Appeal of Administrative Decision <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use Review <input type="checkbox"/> Limited Impact Special Use Waiver	<input type="checkbox"/> Location and Extent <input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Replat <input type="checkbox"/> Rezoning	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use (Oil & Gas Development)	<input type="checkbox"/> Special Use/SSDP <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Vacation (road/easement) <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es) 228 ALPINE WAY			
BOULDER, CO 80304			
Subdivision Name PINE BROOK HILLS 7			
Lot(s) LOT 359	Block(s)	Section(s) S23	Township(s) 1N
Area in Acres 1.75	Existing Zoning F - FORESTRY	Existing Use of Property RESIDENTIAL	Range(s) R71W
Proposed Water Supply DISTRICT		Proposed Sewage Disposal Method SEPTIC TANK W/ LEACH FIELD	

Applicants:

Applicant/Property Owner CHRISTOPHER & NATHALY FLYNN			Email CFLYNN4242@GMAIL.COM
Mailing Address 228 ALPINE WAY			
City BOULDER	State CO	Zip Code 80304	Phone 617-834-9813
Applicant/Property Owner/Agent/Consultant BILL PARKER, NORTH STUDIOS LLC			Email PARKER@NORTHSTUDIOSLLC.COM
Mailing Address 6041 WEST PACIFIC CIRCLE			
City LAKEWOOD	State CO	Zip Code 80227	Phone 720-695-6069
Agent/Consultant			Email
Mailing Address			
City	State	Zip Code	Phone

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All owners of record are required to sign application. If additional space is needed, attach additional sheet signed and dated. If the parcel is held in a trust or other entity, a Statement of Authority recorded in Boulder County is also required.

Signature of Property Owner	Printed Name	Date
Signature of Property Owner	Printed Name	Date

The Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



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<input type="checkbox"/> Correction Plat	<input type="checkbox"/> Modification of Site Plan Review	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> State Interest Review (1041)
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Modification of Special Use	<input type="checkbox"/> Site Plan Review Waiver	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Vacation (road/easement)
<input type="checkbox"/> Limited Impact Special Use Review	<input type="checkbox"/> Replat	<input type="checkbox"/> Special Use (Oil & Gas Development)	<input type="checkbox"/> Variance
<input type="checkbox"/> Limited Impact Special Use Waiver	<input type="checkbox"/> Rezoning		<input type="checkbox"/> Other:
Location(s)/Street Address(es) 228 ALPINE WAY BOULDER, CO 80304			
Subdivision Name PINE BROOK HILLS 7			
Lot(s) LOT 359	Block(s)	Section(s) S23	Township(s) 1N
Area in Acres 1.75	Existing Zoning F - FORESTRY	Existing Use of Property RESIDENTIAL	Range(s) R71W
Proposed Water Supply DISTRICT		Proposed Sewage Disposal Method SEPTIC TANK W/ LEACH FIELD	Number of Proposed Lots 1

Applicants:

Applicant/Property Owner CHRISTOPHER & NATHALY FLYNN		Email CFLYNN4242@GMAIL.COM	
Mailing Address 228 ALPINE WAY			
City BOULDER	State CO	Zip Code 80304	Phone 617-834-9813
Applicant/Property Owner/Agent <u>Consultant</u> BILL PARKER, NORTH STUDIOS LLC		Email PARKER@NORTHSTUDIOSLLC.COM	
Mailing Address 6041 WEST PACIFIC CIRCLE			
City LAKEWOOD	State CO	Zip Code 80227	Phone 720-695-6069
Agent/Consultant		Email	
Mailing Address			
City	State	Zip Code	Phone

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All owners of record are required to sign application. If additional space is needed, attach additional sheet signed and dated. If the parcel is held in a trust or other entity, a Statement of Authority recorded in Boulder County is also required.

Signature of Property Owner	Printed Name Christopher J. Flynn	Date 7/9/25
Signature of Property Owner	Printed Name Nathaly B Flynn	Date 7/9/25

The Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



Boulder County Commissioners

Commissioner's Office
Boulder County Courthouse
1325 Pearl Street, Third Floor
Boulder, Colorado 80302

RE: Flynn Residence, 228 Alpine Way
Narrative for Appeal – Home Addition Size

Members of the Boulder County Board of County Commissioners,

Our clients and current homeowners of 228 Alpine Way, Christopher and Nathaly Flynn, are seeking to build a modest addition to accommodate their growing family, provide space to work from home, and provide essential space for Nathaly's mother to eventually live full time and age in place.

We are submitting this narrative in support of an appeal of an administrative decision regarding the permissible Residential Floor Area (RFA) for a proposed home addition to this residence, under Section 4-1200 of the Boulder County Land Use Code. The current administrative interpretation of the RFA, based on inaccurate data obtained from the county records prior to purchase, creates an undue hardship that was unforeseen at the time of property purchase.

228 Alpine Way presented a unique opportunity for the Flynn's. Although the home offered incredible views, its modest size (marketed at 2,402 square feet) clearly indicated a need for additional space to accommodate Chris and Nathaly's family and their professional requirements for a dedicated home office. Expanding on their family context, Chris has three adult children from a previous marriage, the youngest of whom will be attending college locally and residing with Chris and Nathaly throughout the multiple school years. Furthermore, Nathaly's mother serves as a vital backup caregiver for their new baby, living with the family for six months annually.

Project Scope

The proposed project encompasses a thoughtfully designed addition and strategic reconfigurations aimed at enhancing the functionality and livability of the home. An addition situated just north of the existing garage will create a more suitable main entry, incorporating a welcoming foyer, a functional mudroom, and a dining room better suited for large family gatherings. The existing deck above this new volume will be removed and replaced over the addition's new membrane roof.

The existing living/office spaces upstairs will be retained for the homeowners' private use. On the main level, the existing living room will be expanded into the area of the current bedroom. The existing mechanical room will be relocated to the crawlspace below the main level, which has a ceiling height of less than five feet, and allow the homeowners to upgrade to more energy efficient systems. This will also allow for a reconfigured laundry room, additional storage, and more suitable powder room for guests.

On the northwest elevation, a new 2-story addition is being proposed. The main level of this addition will accommodate a comfortable suite for Nathaly's mother. The upper level will also be reconfigured to include a dedicated playroom above the expanded living room and a larger bedroom for Chris's son. The existing upper-level bathroom will be removed, replaced by a Jack-and-Jill style bathroom shared between the nursery and bedroom. These proposed modifications to the home would provide an increase of 1,039 square feet of additional living space.

Externally, the proposed additions will seamlessly mimic the existing home's mountain/international style, featuring expansive windows and matching siding, while adhering to all fire protection regulations. The roofline of the home will be extended to continue over the new northwest addition, with no proposed increase in overall height. Lastly, the deck off the new main level living areas will be widened by just over five feet to improve circulation and enhance its functional use for gatherings.

Background and Discrepancies

While the Flynns were negotiating the purchase price with the seller, they became aware of the moratorium regarding new building and renovation permitting in Boulder County. To better understand the implications for a potential home addition, the Flynns requested information from the seller regarding the property's expansion capabilities. On February 14, 2025, Emily Hawbecker, the seller, initiated contact with Boulder County Planning to obtain the necessary information. A planner responded, indicating that the Assessor's records showed an existing Residential Floor Area (RFA) of 2,840 square feet for the parcel. The median RFA for the Pine Brook Hills neighborhood was stated at 3,907 square feet. Ms. Hawbecker was informed that

an additional 1,067 square feet could be added to the property, with additions up to 1,000 square feet proceeding with only a building permit, and any amount exceeding that triggering a Site Plan Review Waiver (SPRW) process.

Based on this clear understanding that they could add a minimum of 1,000 square feet, the Flynns moved forward and purchased the home. Post-closing, the Flynns retained our architectural services to work on the design of their new home addition. While completing the initial measurements for the existing home, we discovered a significant discrepancy: the actual existing RFA of the home is 3,096 square feet, not the 2,840 square feet recorded by the Assessor. This incremental difference of 256 square feet represents a material variance as it relates to the reported county records. Furthermore, subsequent correspondence with Boulder County Planning on April 7, 2025, revealed a revised median RFA for the Pine Brook Hills neighborhood of 3,879 square feet.

During a phone conversation with Boulder County's Long Range Planner, Ethan Abner, on the same day, we were informed of a potential pathway: had we been able to secure a building permit for an initial 1,000 square feet addition prior to the moratorium being lifted, the updated Assessor record would then reflect 3,840 square feet (2,840 + 1,000 sq ft). This would have then allowed us to apply for an additional 750 square feet under the current regulations at the time, which could have been utilized for the new detached garage and home office, crucial components of our long-term vision.

Our initial design plans, conceived prior to the reduction in maximum RFA increases from 125% to 100% of the median, and prior to the regulatory changes, have already been significantly modified to adapt. Our original vision called for a similar addition to the one being proposed in this submittal along with a new detached 2-car garage and office above it to facilitate working from home. Unfortunately, the moratorium was lifted and new regulations passed approximately two months ahead of schedule, preventing us from pursuing this sequence of permits recommended by Mr. Abner.

Upon gaining clarification of the new regulations, we diligently reworked our proposed design multiple times to ensure compliance. As you can see from the attached drawings, the home outlined is modest and designed to thoughtfully accommodate the Flynn's large family and their very strong desire to work from home. We believe we have accomplished this goal; we now respectfully seek relief that allows our project to proceed with the residential floor area originally communicated as permissible, which continues to constrain our project.

Impact of Inaccurate Information

Combining the newly verified existing RFA with the updated median RFA, the maximum allowable addition to the property is effectively limited to 783 square feet (3,879 sq ft median -

3,096 sq ft measured existing). This is a significant reduction from the originally anticipated 1,067 square feet, representing a substantial decrease in the expected addition size.

This administrative interpretation, stemming from an inaccurate baseline RFA in county records and a shifting median RFA, places our clients in an untenable position. Their decision to purchase this property was predicated on the county's initial guidance regarding the potential for a home expansion that would accommodate their family's evolving needs, specifically space for their growing toddler, college bound son, and Nathaly's mother, who plans to eventually age in place with her family. The current limitation of 783 square feet is simply inadequate to achieve the necessary functional living spaces. The existing home is already quite modest in size, and a substantial portion of its Residential Floor Area, specifically 660 square feet, is comprised of an attached garage, further reducing the actual living space available to the family.

The new regulations, effective May 13, 2025, state that for parcels with existing RFA between 1,501 and 3,000 square feet (based on Assessor's records), the limit is the greater of the neighborhood median or an additional 750 square feet. While the median of 3,879 square feet is still the larger figure, this policy defaults to using the incorrect 2,840 square feet from the Assessor's records as the baseline, which would otherwise suggest an allowable addition of 1,039 square feet (3,879 sq ft median - 2,840 sq ft recorded). However, because the actual measured RFA of the home is 3,096 square feet, the maximum allowable addition is further reduced to just 783 square feet (3,879 sq ft median - 3,096 sq ft measured). This significantly curtails the space our clients can add compared to even the minimum they had anticipated based on county records.

Basis for Appeal

Our appeal is grounded in the principle that our clients should not be penalized for inaccuracies in county records or changes in median RFA calculations that occurred after their reasonable due diligence and property acquisition. The administrative decision to strictly apply the current median RFA based on outdated property records and a potentially compromised neighborhood median constitutes an arbitrary hardship given the following:

- *Reliance on County Information:* The clients made a significant investment based on information provided by Boulder County Planning regarding the potential for expansion.
- *Material Discrepancy:* The substantial difference between the recorded RFA and the architect's measured RFA fundamentally alters the project's feasibility.

- *Unforeseen Hardship:* The subsequent reduction in allowable square footage directly impedes the client's ability to create a home that meets their family's demonstrated needs.

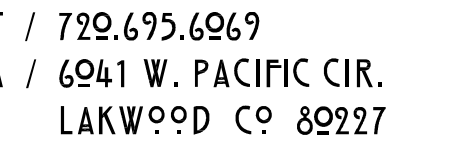
We respectfully request that the Board of County Commissioners consider the unique circumstances of this case and exercise its authority under Section 4-1200 of the Land Use Code to grant an allowance that recognizes our clients' initial understanding and the actual RFA of their home. We seek a resolution that permits an addition closer to the originally anticipated size, allowing them to proceed with a home that adequately serves their family's requirements. We are prepared to provide further documentation and engage in a collaborative discussion to find an equitable solution.

We thank you for taking the time to review our appeal and preliminary design and look forward to hearing back from you soon.

Sincerely,

A handwritten signature in black ink, appearing to read "Bill Parker", with a stylized, cursive script.

Bill Parker, Architect
North Studios LLC



228 ALPINE WAY
BOULDER | COLORADO 80304

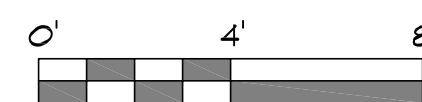
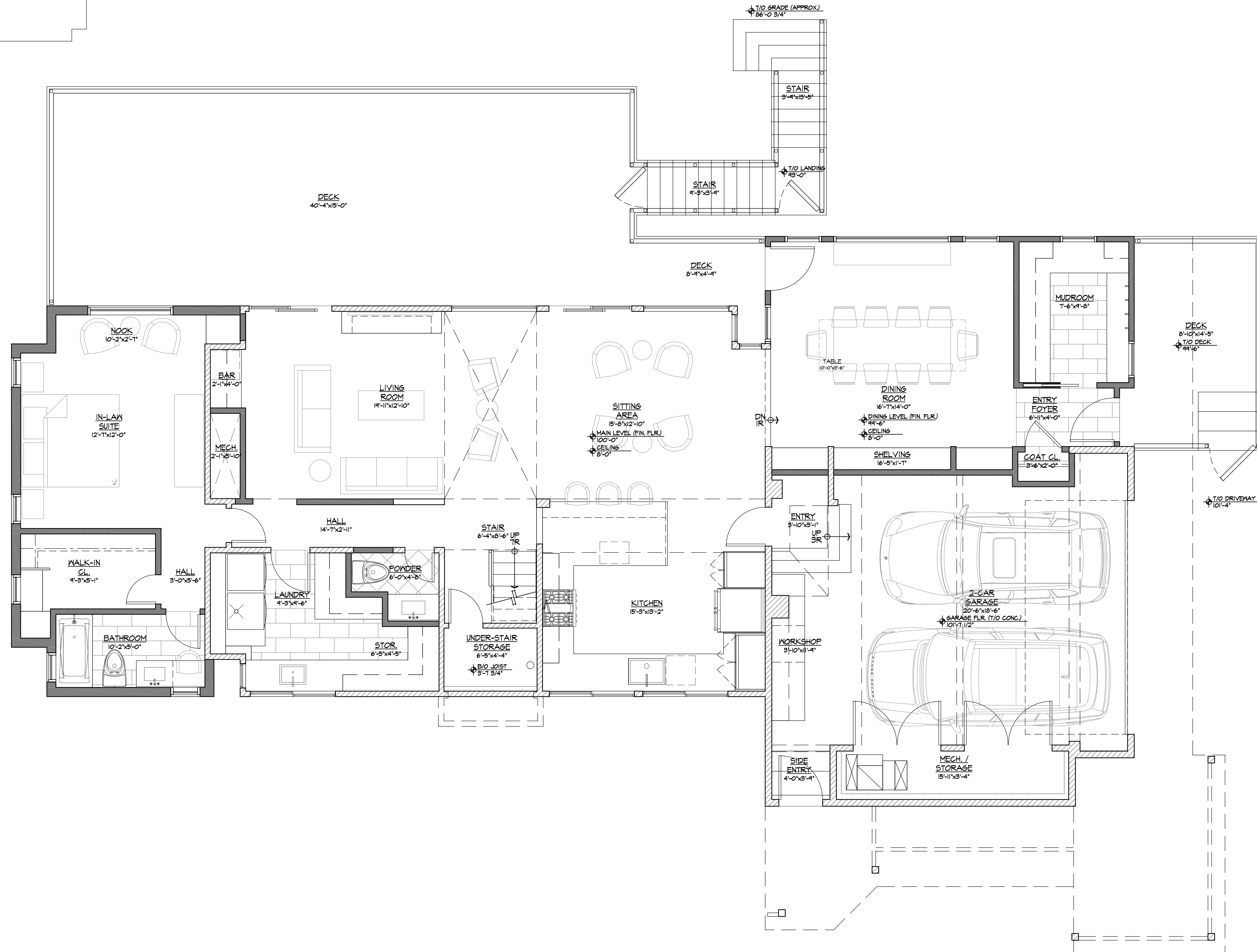
MR. CHRIS AND MRS. NATHALY FLYNN
228 ALPINE WAY
BOULDER, CO 80304
P: 617.834.9813
E: CFLYNN4242 @ GMAIL.COM

MR. BILL PARKER
NORTH STUDIOS, LLC
6041 WEST PACIFIC CIRCLE
LAKEWOOD, CO 80221
P: 720.695.6069
E: PARKER@NORTHSTUDIOSLLC.COM

SEAL:

A/2.1

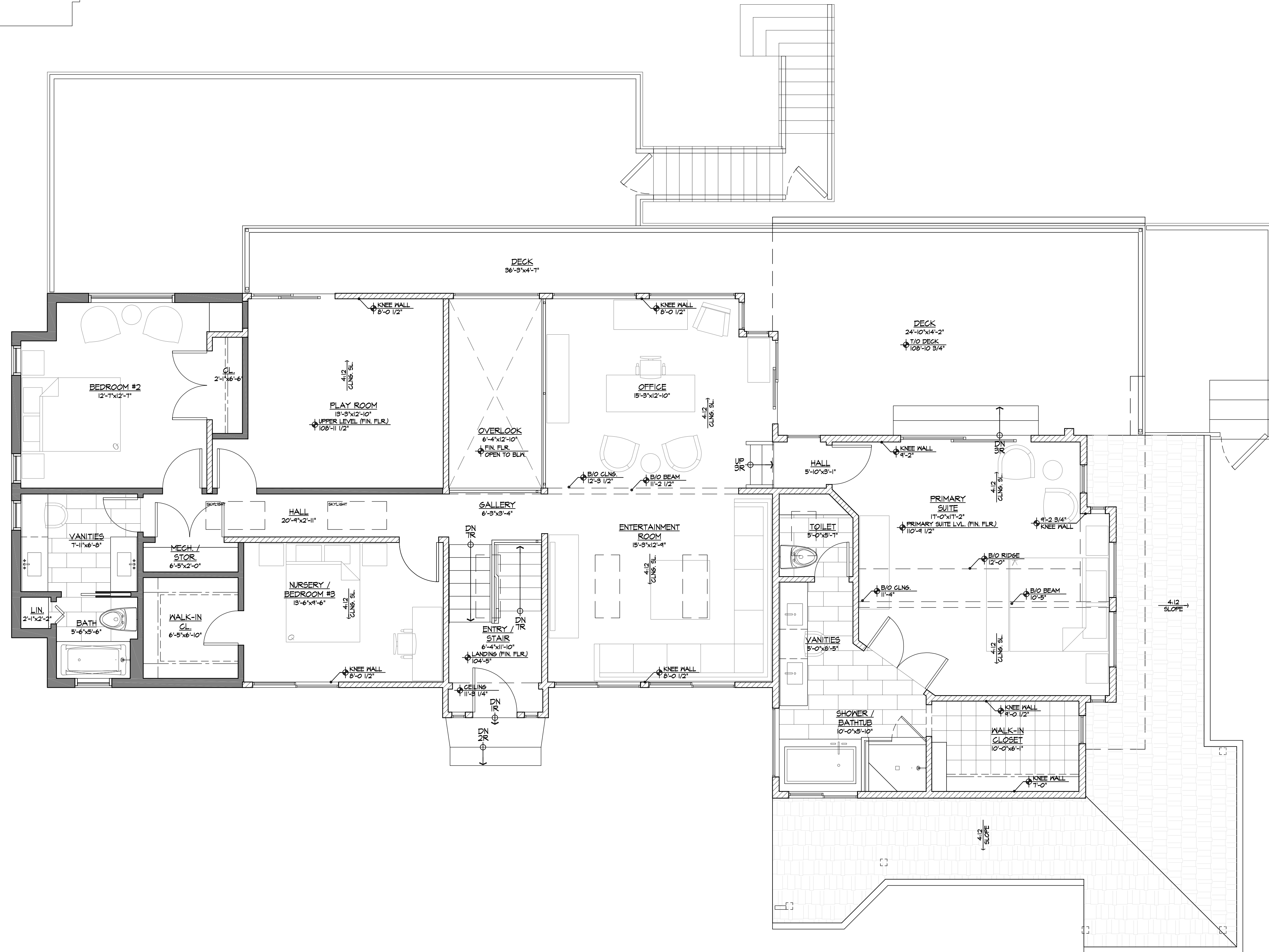
228 ALPINE WAY BOULDER CO



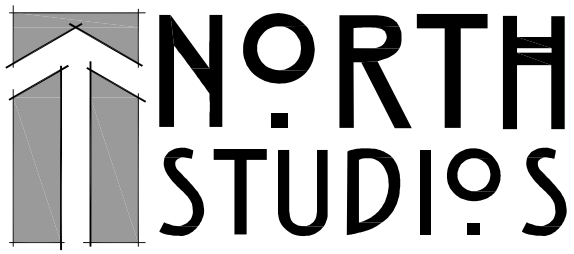
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SEAL:

228 ALPINE WAY BOULDER CO



T / 720.695.6969
A / 6041 W. PACIFIC CIR.
LAKEWOOD CO 80227

FLYNN
RESIDENCE

228 ALPINE WAY
BOULDER | COLORADO 80304

OWNER:

MR. CHRIS AND MRS. NATHALY FLYNN
228 ALPINE WAY
BOULDER, CO 80304
P: 617.834.9813
E: CFLYNN4242 @ GMAIL.COM

ARCHITECT:

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ISSUED FOR:

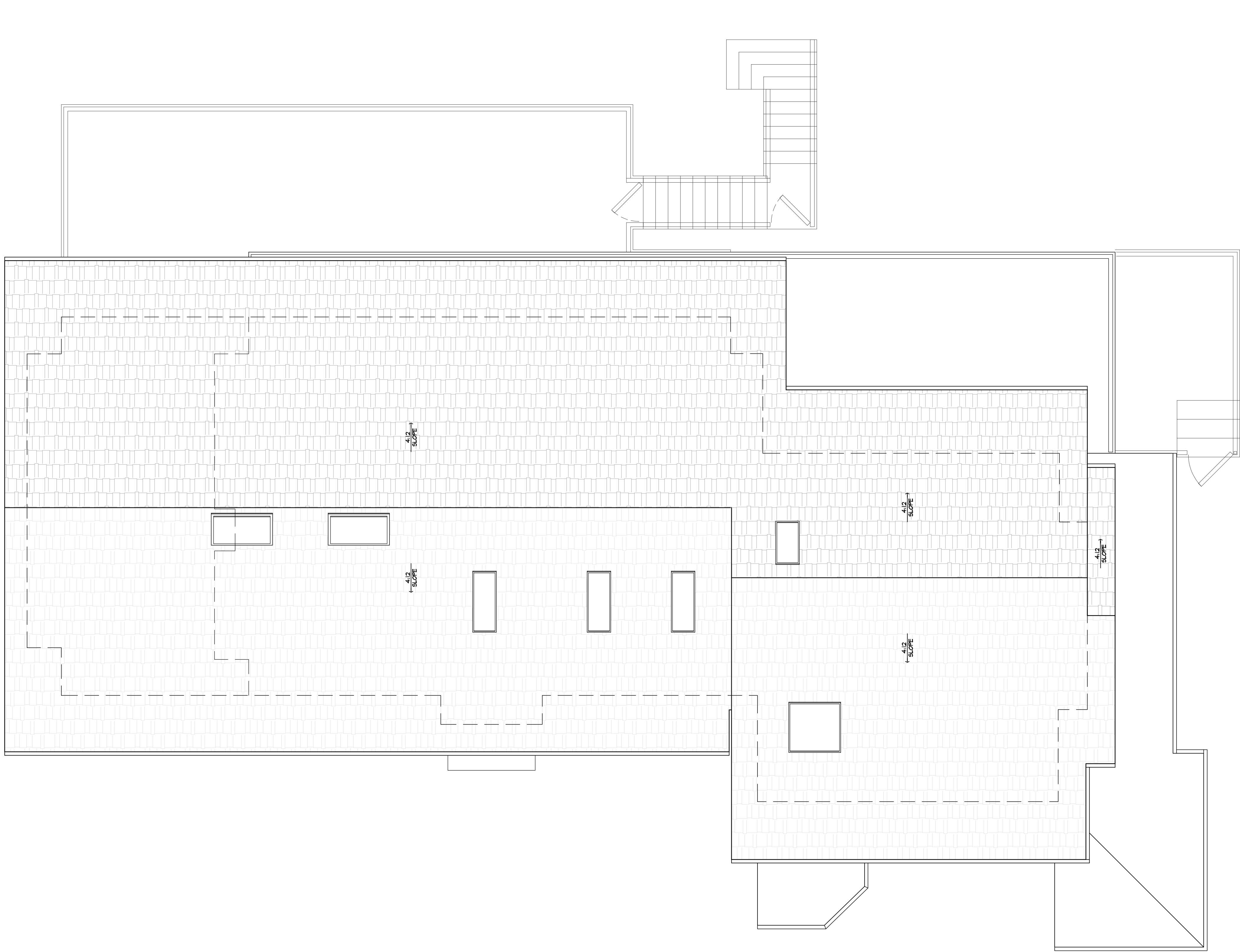
ITEM	DATE	DESCRIPTION
1.	06.27.2025	SCHEMATIC DESIGN

SCALE:

PROPOSED ROOF PLAN

A/2.3

228 ALPINE WAY BOULDER CO



25' SIDE
SETBACK

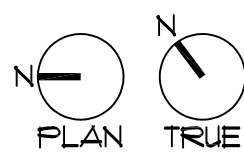
4/12
8/12

4/12
8/12

4/12
8/12

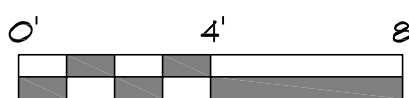
4/12
8/12

4/12
8/12



ROOF PLAN

SCALE: 1/4" = 1'-0"



FLYNN
RESIDENCE

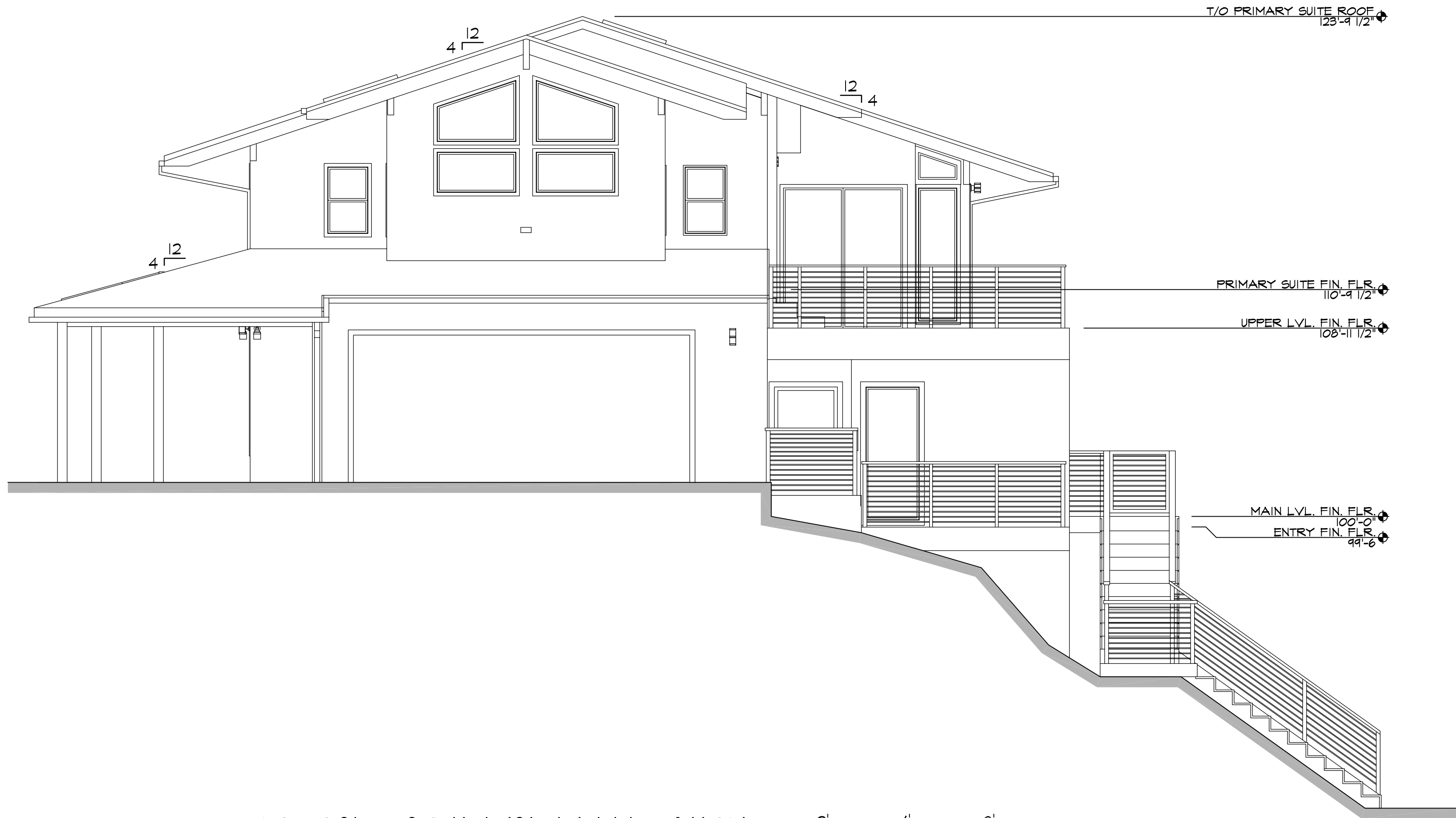
228 ALPINE WAY
BOULDER | COLORADO 80304

OWNER:

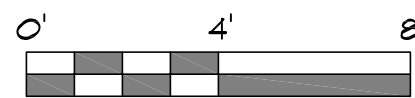
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1
A/4.1
PROPOSED SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



2
A/4.1
PROPOSED EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

ISSUED FOR:

ITEM	DATE	DESCRIPTION
1.	06.27.2025	SCHEMATIC DESIGN

SEAL:

PROPOSED ELEVATIONS

A/4.1

228 ALPINE WAY BOULDER CO

**FLYNN
RESIDENCE**

228 ALPINE WAY
BOULDER | COLORADO 80304

OWNER:

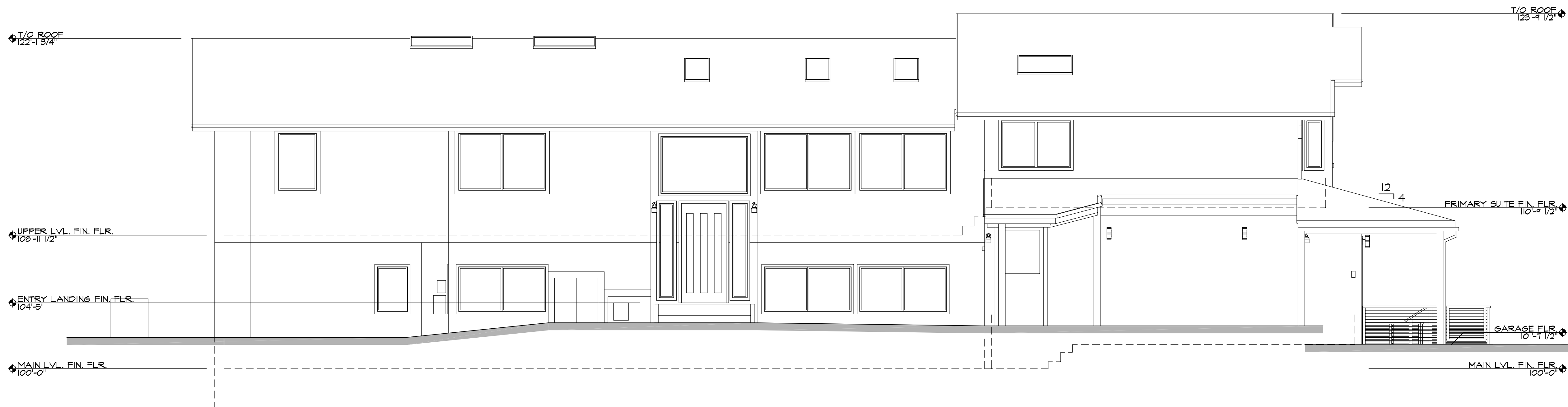
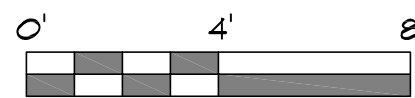
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PROPOSED NORTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

ISSUED FOR:		
ITEM	DATE	DESCRIPTION
1.	06.27.2025	SCHEMATIC DESIGN

SEAL:

PROPOSED ELEVATIONS

A/4.2

228 ALPINE WAY BOULDER CO

FLYNN RESIDENCE

228 ALPINE WAY
BOULDER CO 80304

EXISTING CONDITIONS PACKAGE

AS MEASURED ON APRIL 21ST 2025

NORTH
STUDIOS

T / 720.695.6969
A / 6041 W. PACIFIC CIR.
LAKWOOD CO 80227

FLYNN
RESIDENCE

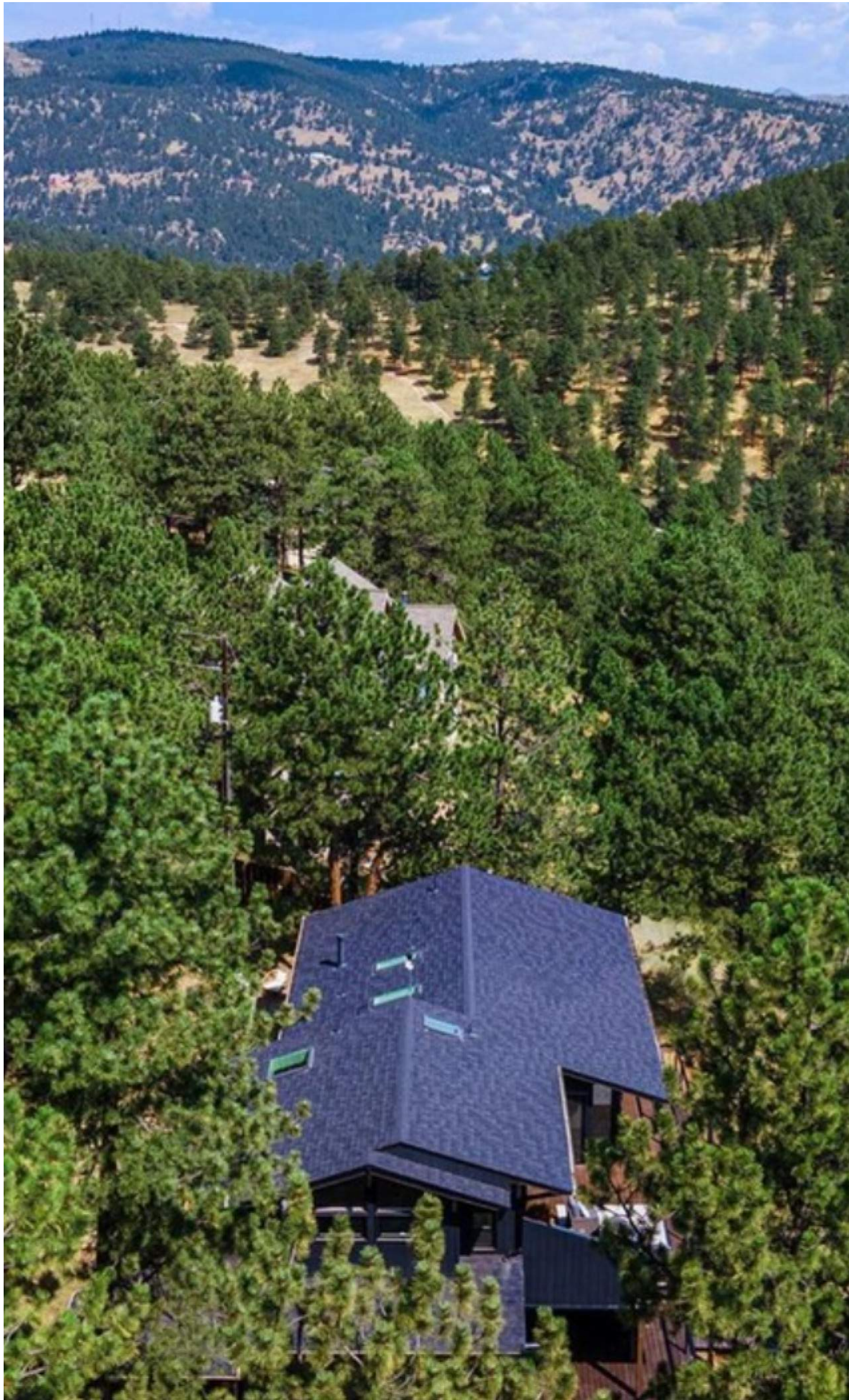
228 ALPINE WAY
BOULDER | COLORADO 80304

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ISSUED FOR:

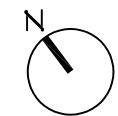
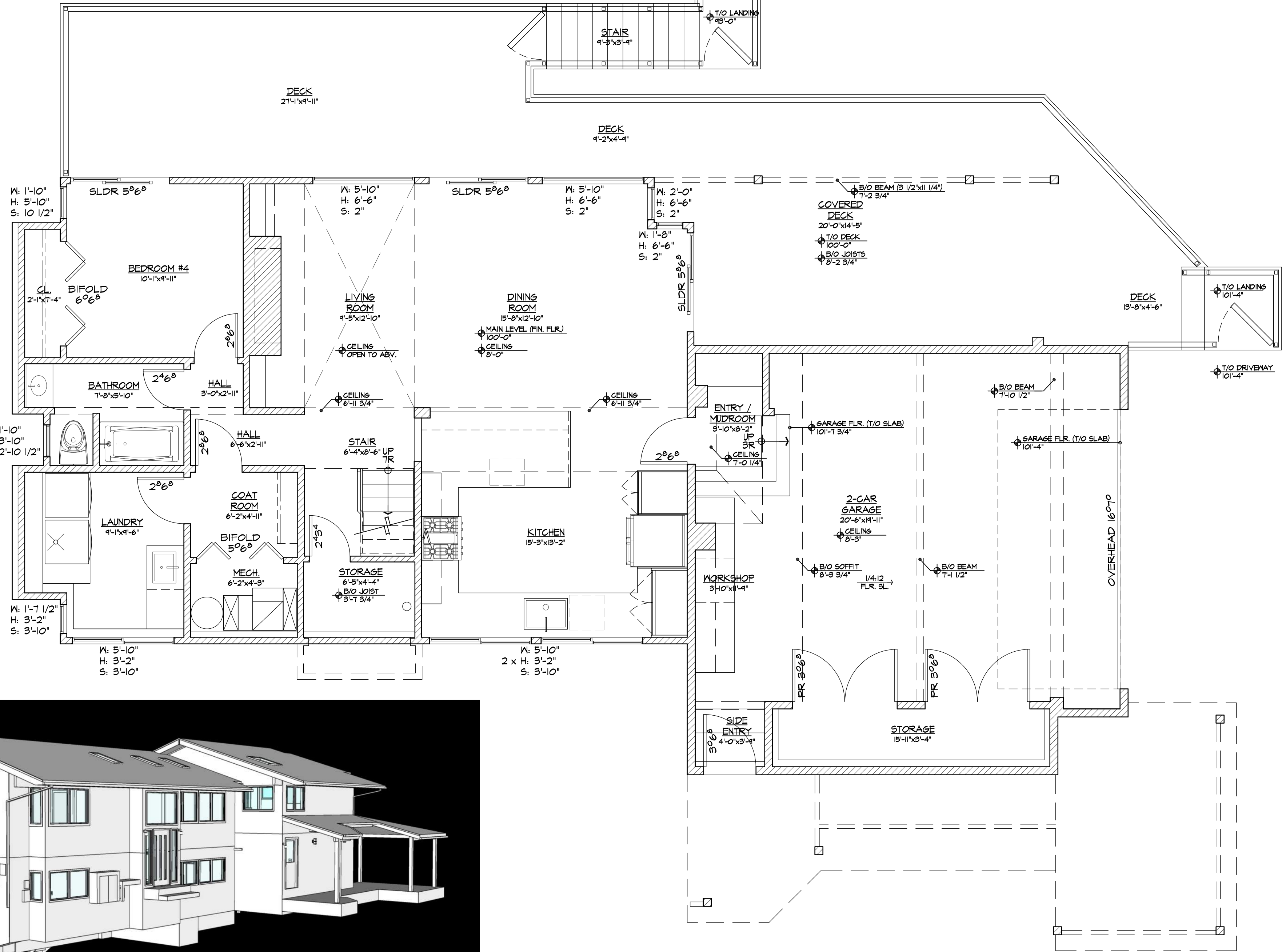
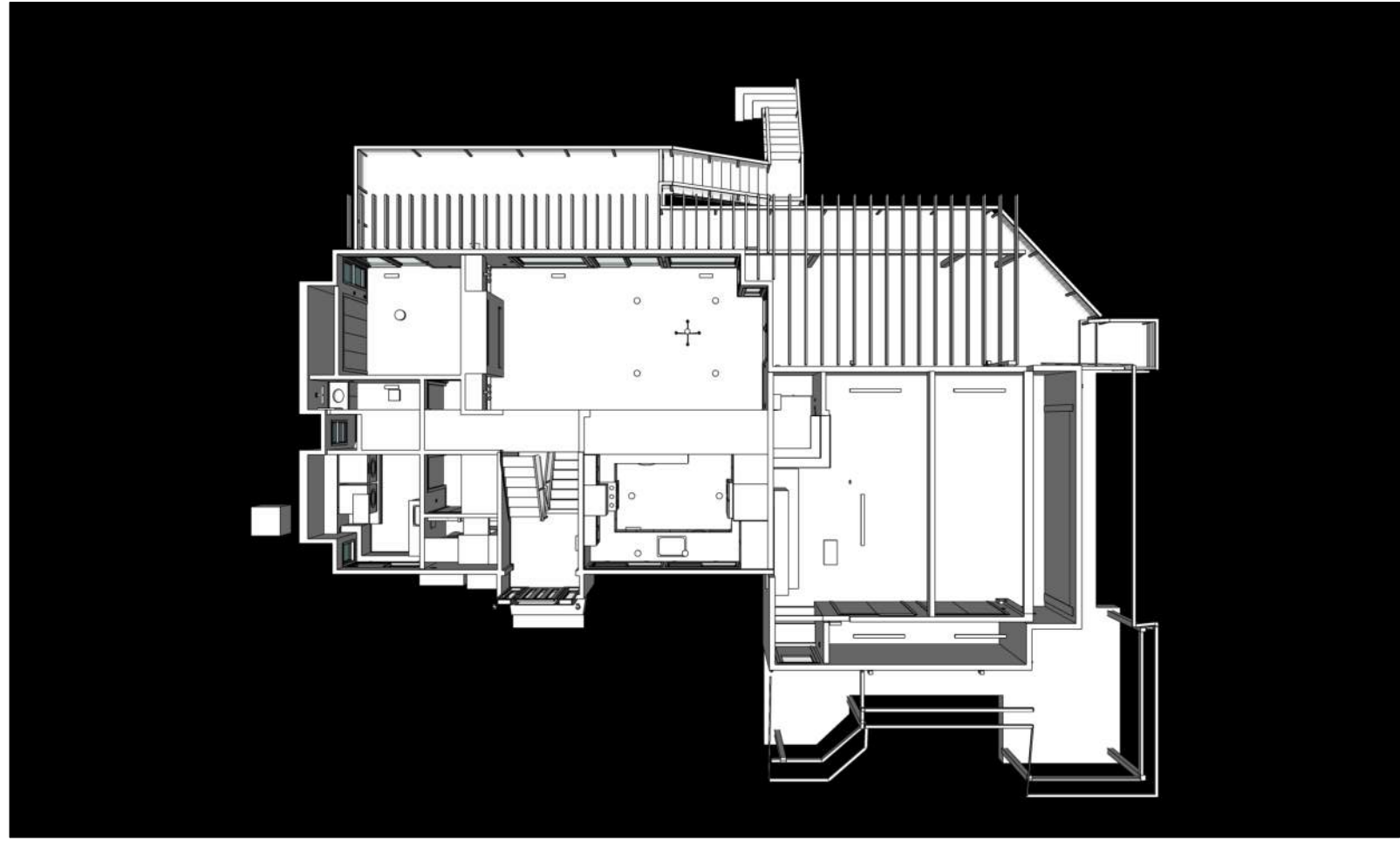
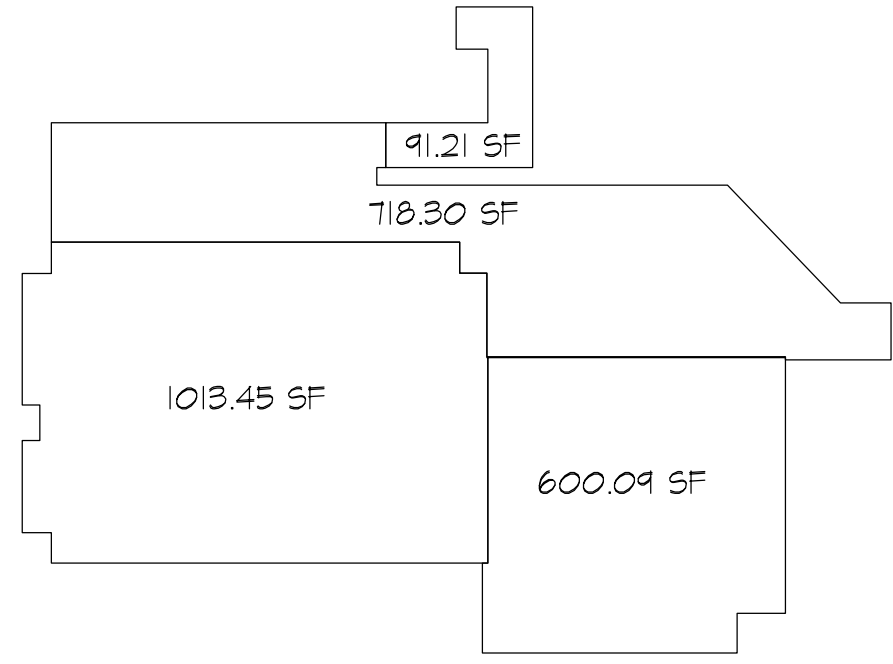
ITEM	DATE	DESCRIPTION
1.	05.19.2025	EXISTING CONDITIONS

SEAL:

COVER SHEET

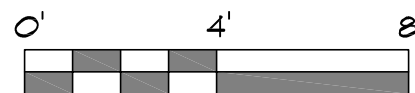
EC/1.0

228 ALPINE WAY BOULDER CO



MAIN LEVEL AND GARAGE FLOOR PLANS

SCALE: 1/4" = 1'-0"



NORTH STUDIOS

T / 720.695.6969
A / 6041 W. PACIFIC CIR.
LAKWOOD CO 80227

FLYNN RESIDENCE
228 ALPINE WAY
BOULDER | COLORADO 80304

OWNER:
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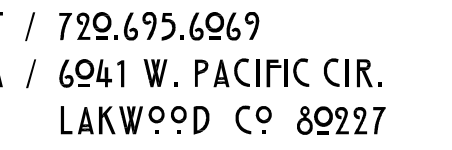
ISSUED FOR:		
ITEM	DATE	DESCRIPTION
1.	05.19.2025	EXISTING CONDITIONS

SCALE:

EXISTING MAIN LEVEL &
GARAGE FLOOR PLANS

EC/2.1

228 ALPINE WAY BOULDER CO



228 ALPINE WAY
BOULDER | COLORADO 80304

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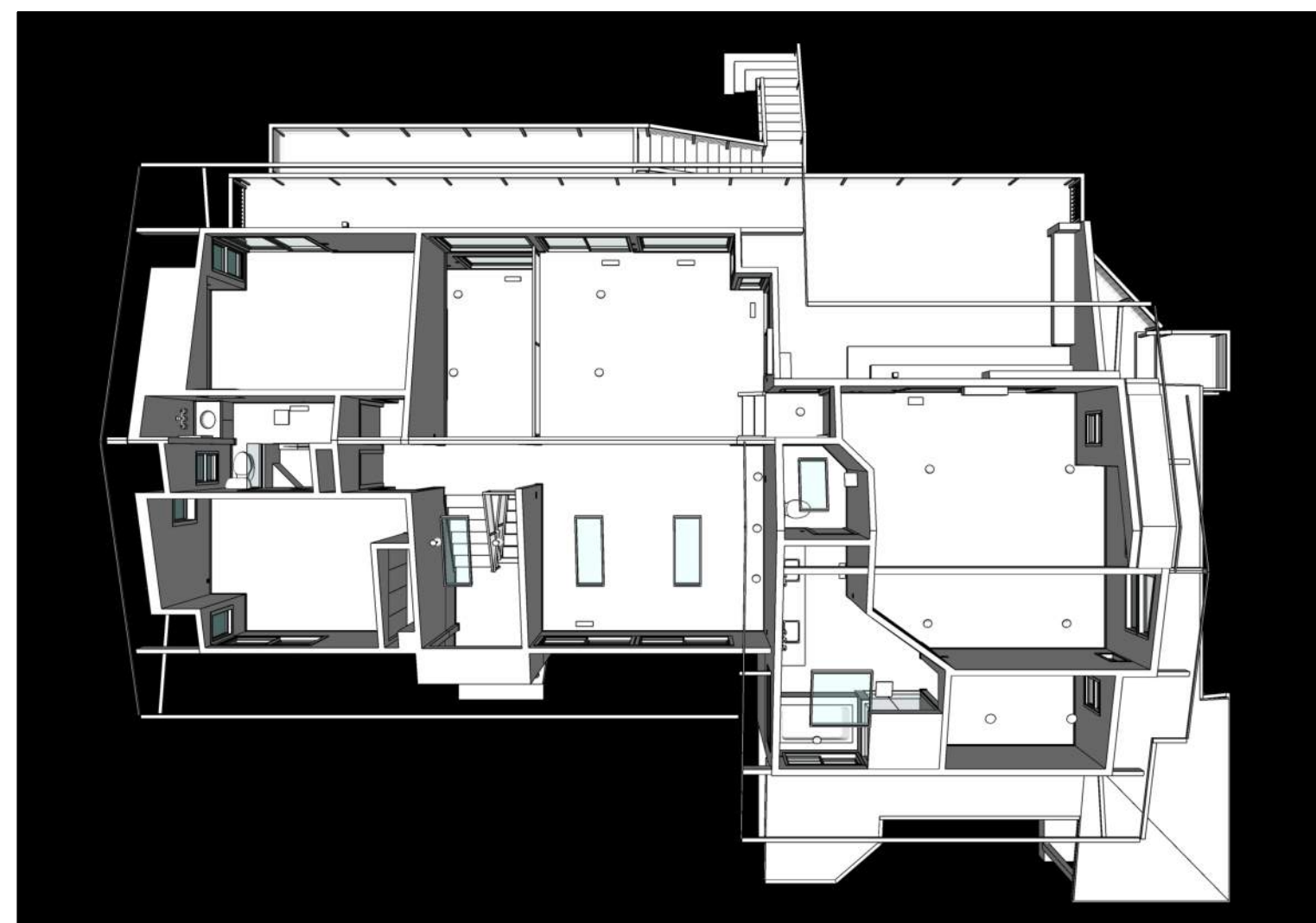
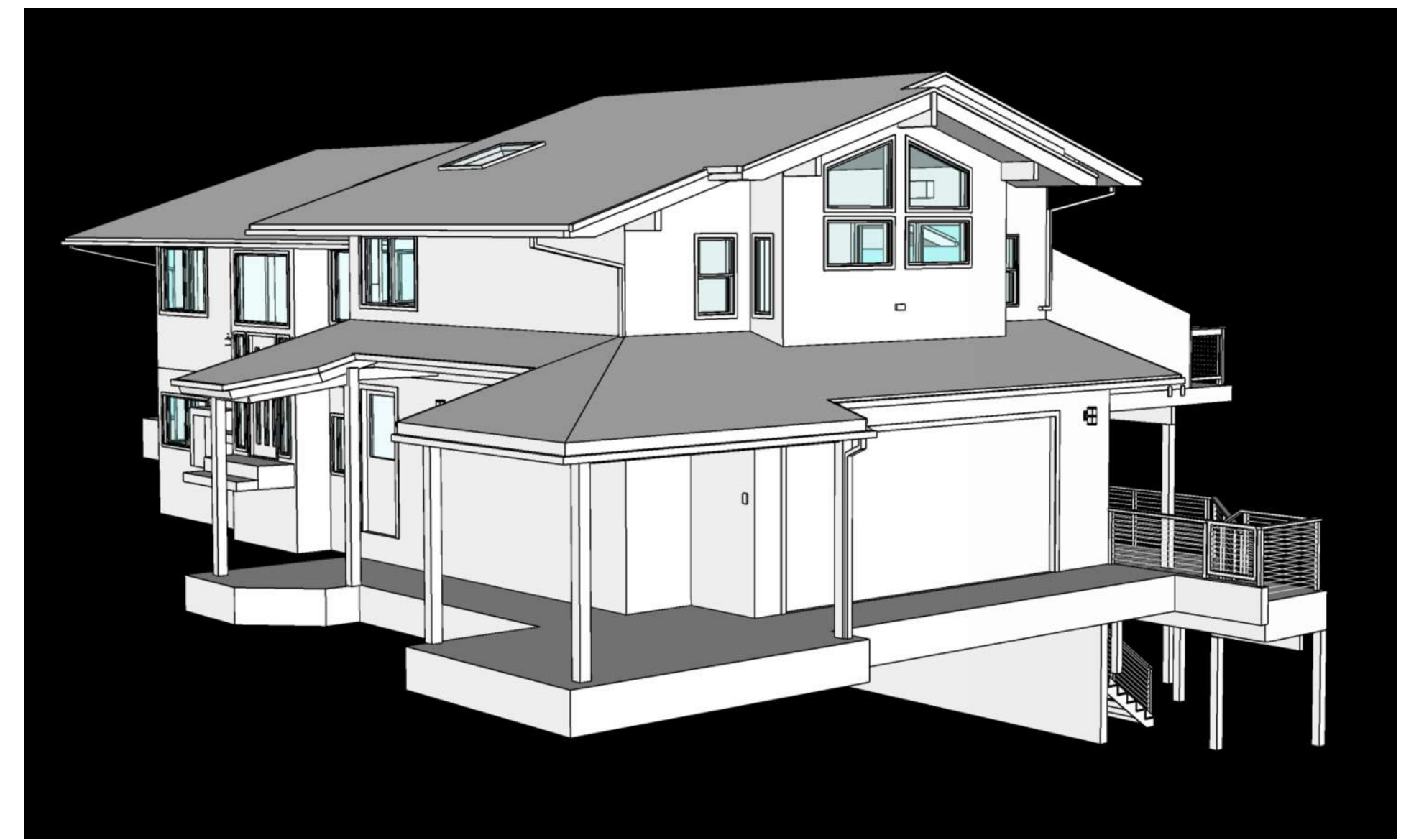
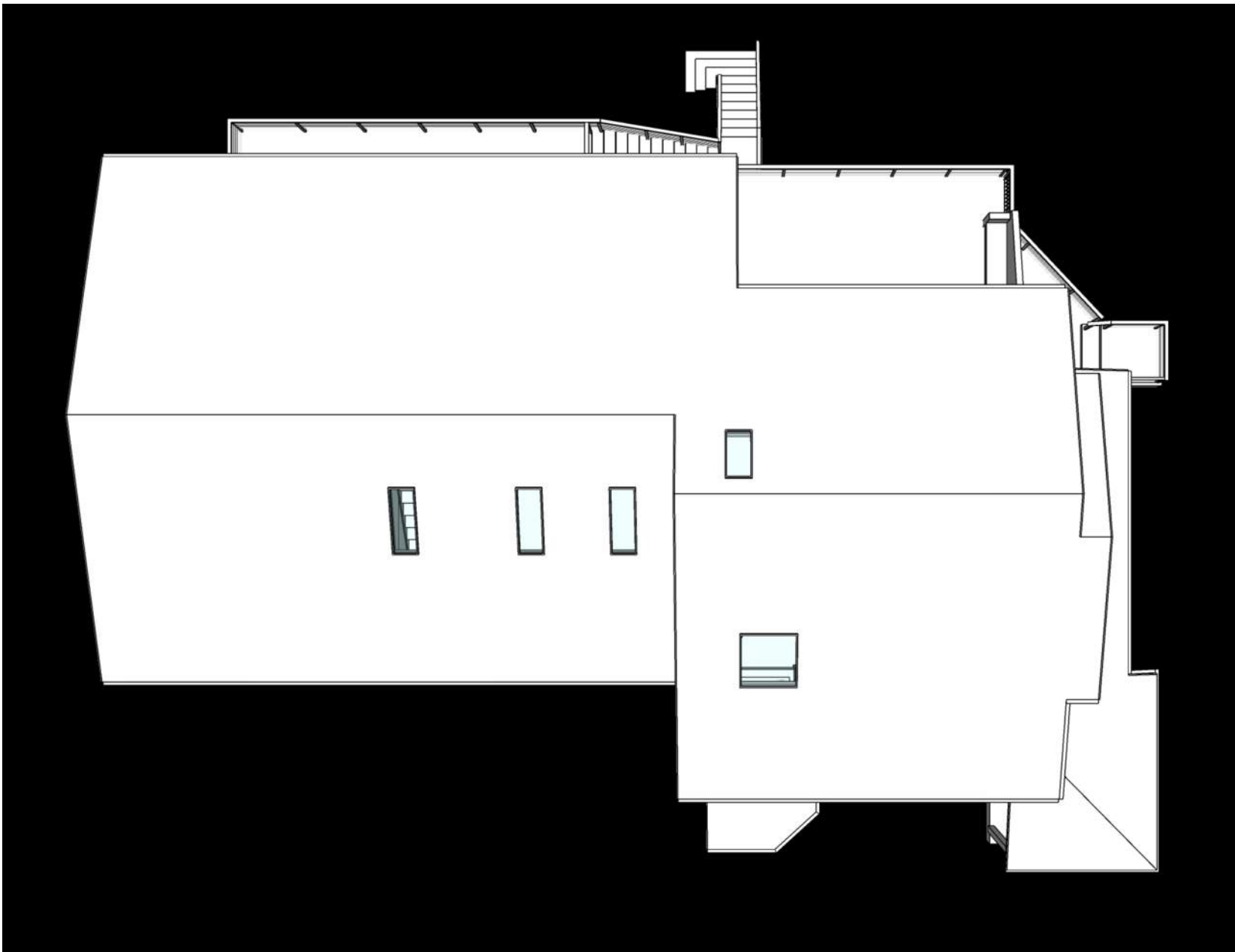


Diagram illustrating a 2D lattice structure. The lattice consists of a grid of squares. The top-left square is labeled O' and the top-right square is labeled $4'$. The squares are arranged in a checkerboard pattern, with alternating white and gray squares.

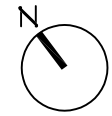
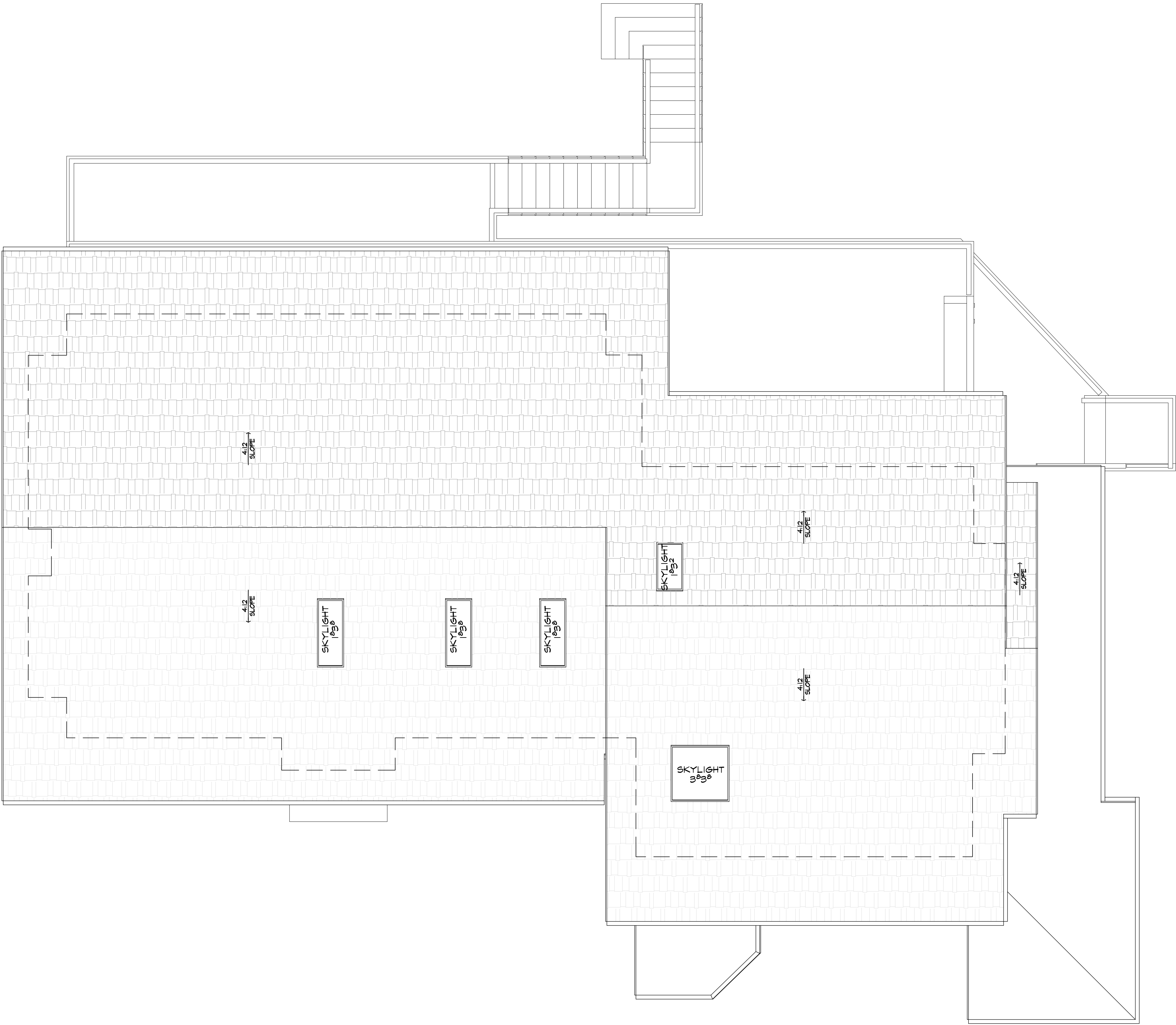
SEAL:

EC/2.2

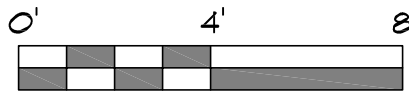
228 ALPINE WAY BOULDER CO



25' SIDE
SETBACK



1
EC/23
ROOF PLAN
SCALE: 1/4" = 1'-0"



**FLYNN
RESIDENCE**
228 ALPINE WAY
BOULDER | COLORADO 80304

OWNER:
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ISSUED FOR:		
ITEM	DATE	DESCRIPTION
1.	05.19.2025	EXISTING CONDITIONS

SCALE:

EXISTING ROOF PLAN

EC/2.3

228 ALPINE WAY BOULDER CO

FLYNN

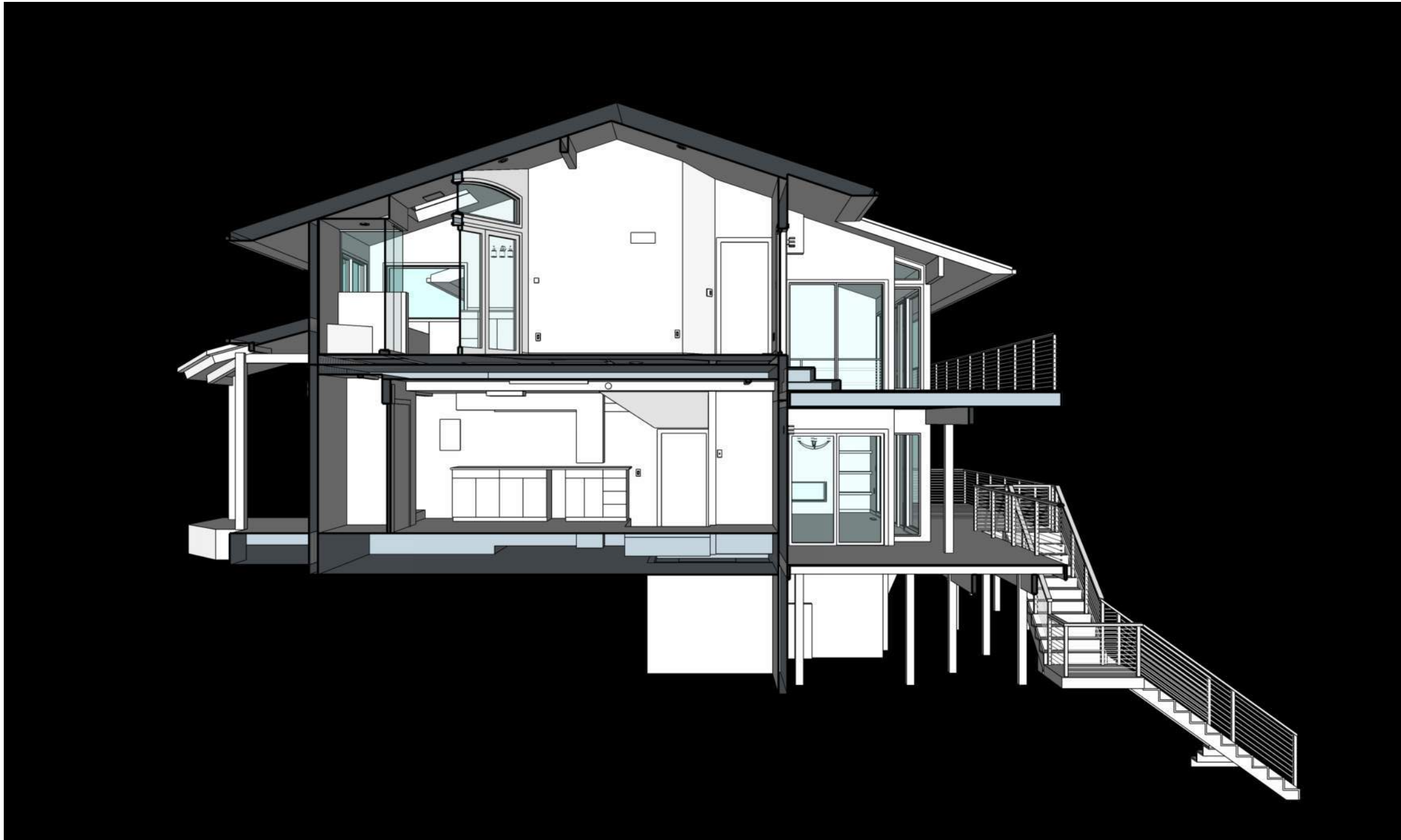
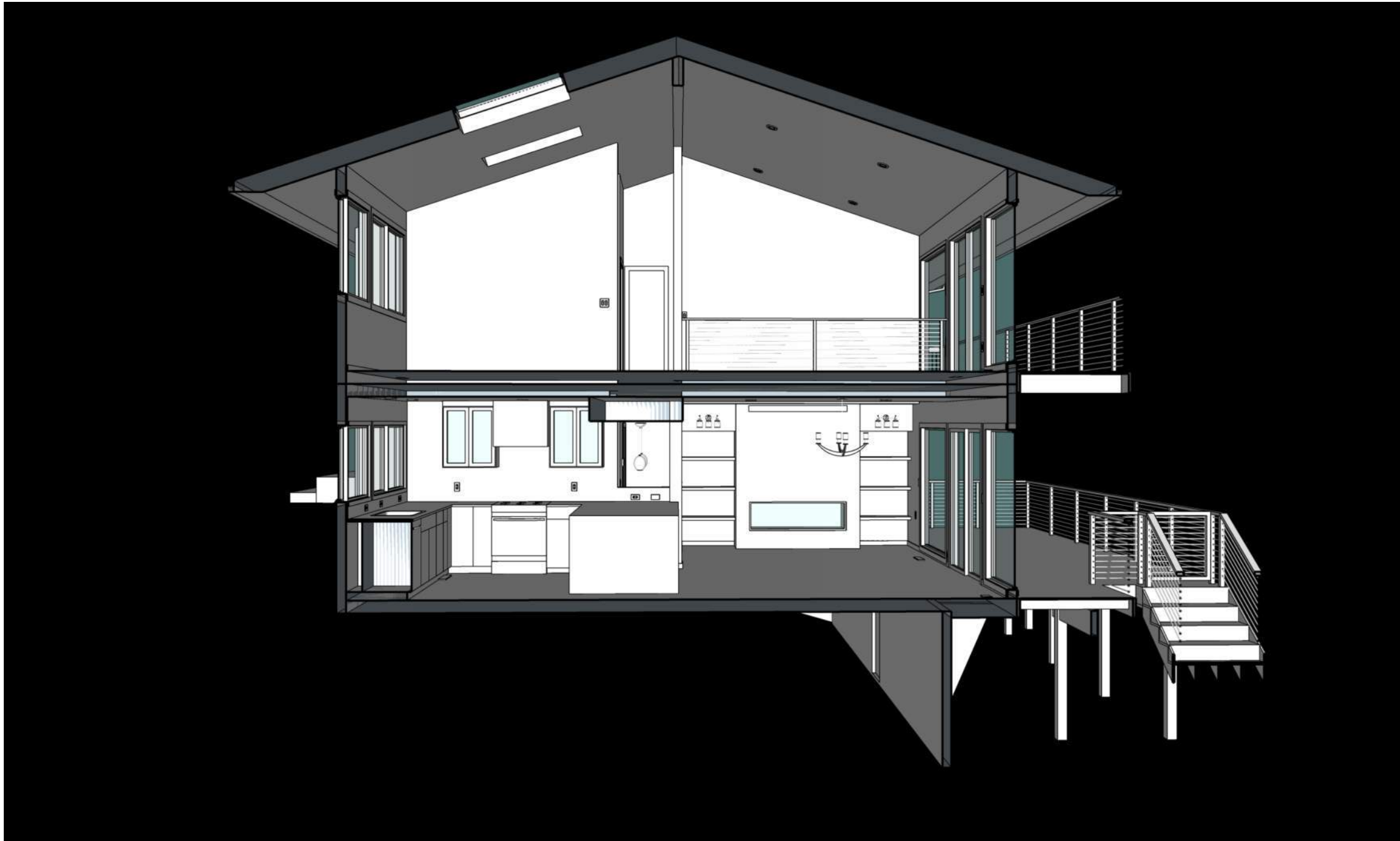
RESIDENCE

228 ALPINE WAY

BOULDER | COLORADO 80304

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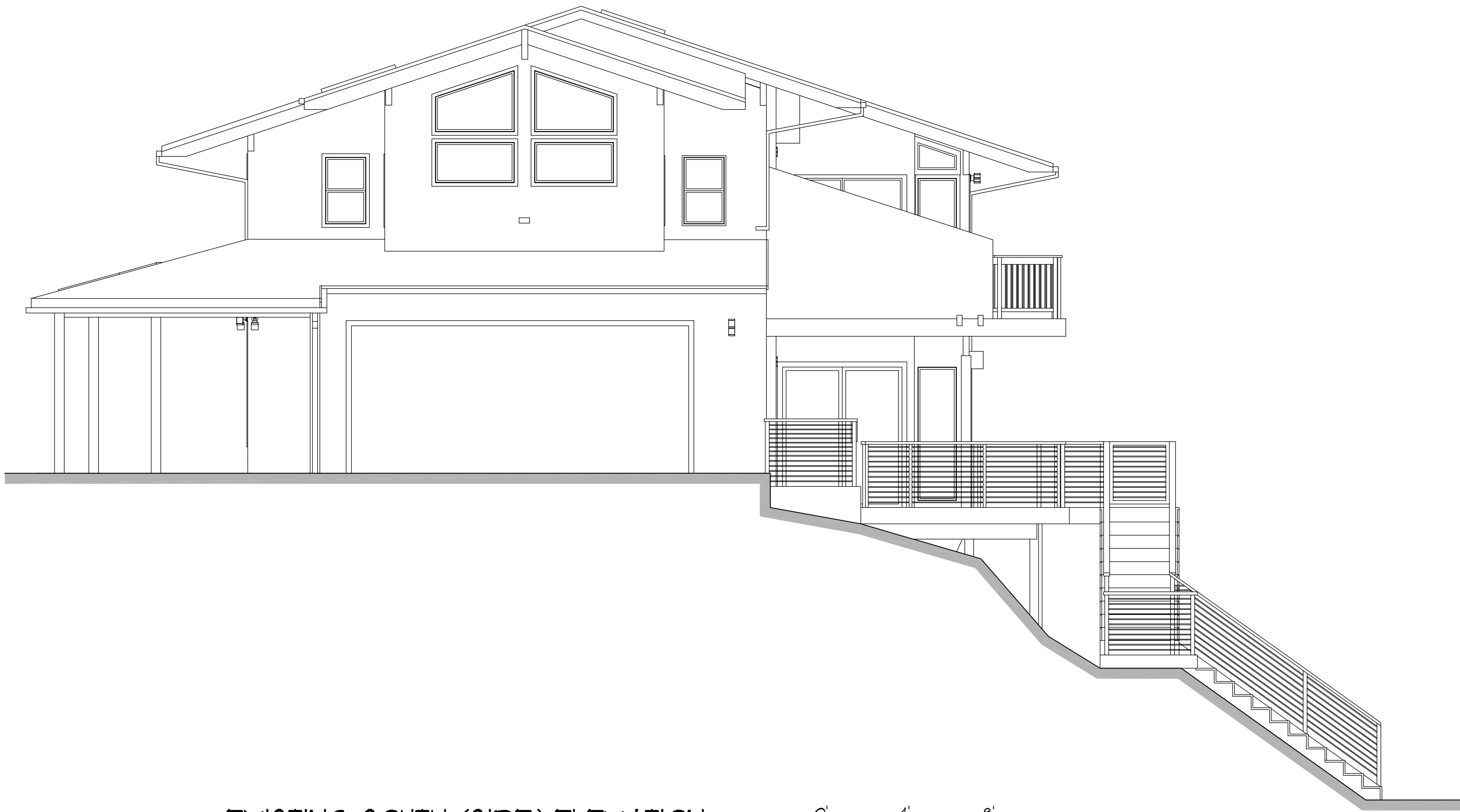
ISSUED FOR:		
ITEM	DATE	DESCRIPTION
1.	05.19.2025	EXISTING CONDITIONS

SEAL:

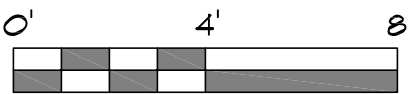
EXISTING ELEVATIONS

EC/4.1

228 ALPINE WAY BOULDER CO



1
A/4.1
EXISTING SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



2
A/4.1
EXISTING EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

FLYNN

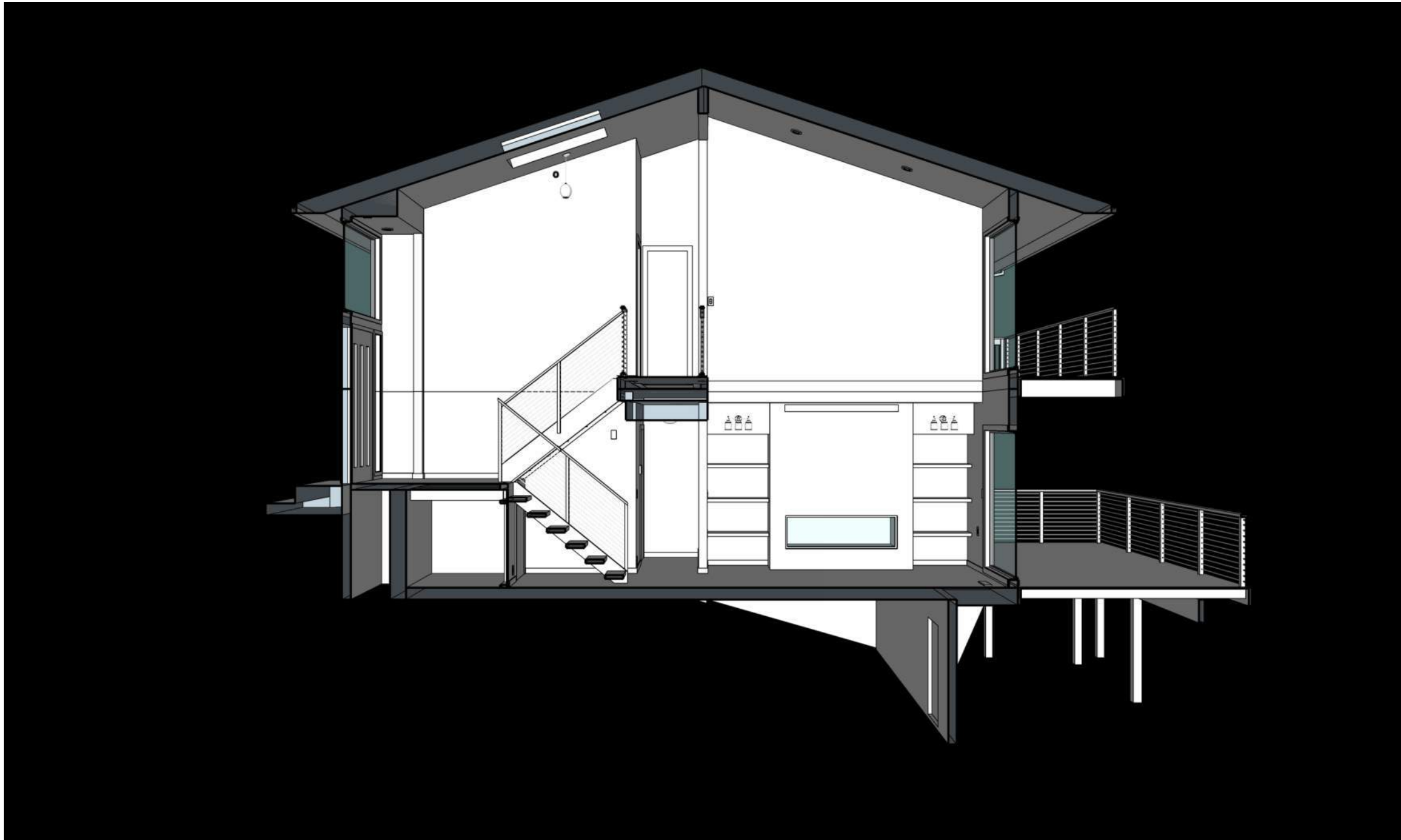
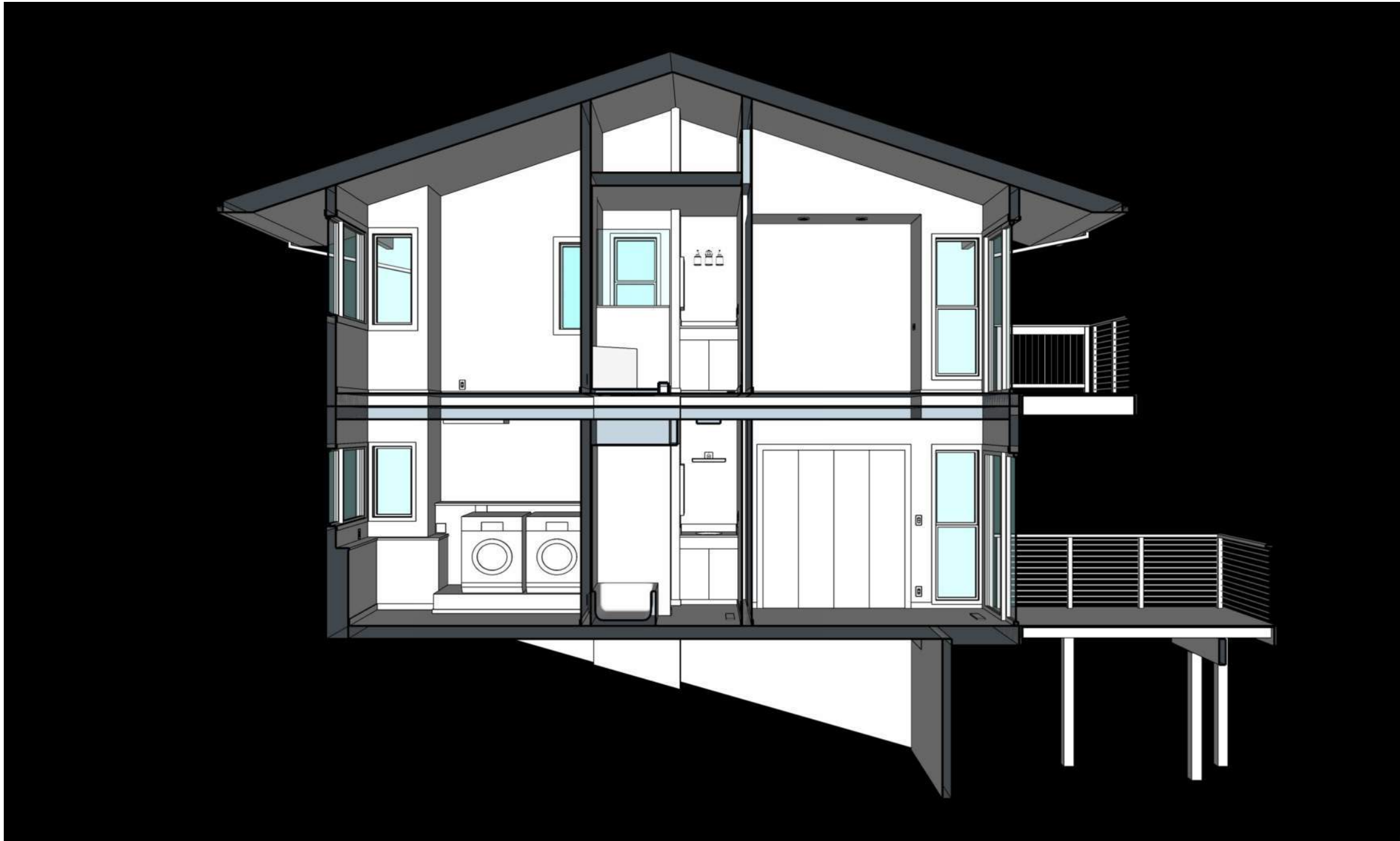
RESIDENCE

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1

A/4.2

EXISTING NORTH (SIDE) ELEVATION

SCALE: 1/4" = 1'-0"

0'

4'

8'



2

A/4.2

EXISTING WEST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"

ISSUED FOR:		
ITEM	DATE	DESCRIPTION
1.	05.19.2025	EXISTING CONDITIONS

SCALE:

EXISTING ELEVATIONS


EC/4.2

228 ALPINE WAY BOULDER CO



PARCEL REPORT: 146115005006

Property Information

R0034894			Site Address(es)				
			228 ALPINE WAY				
			Owner(s)				
			FLYNN CHRISTOPHER & NATHALY				
		Mailing Address(es)					
		228 ALPINE WAY , BOULDER CO 80304-0406					
		Abbreviated Legal Description					
		LOT 359 PINE BROOK HILLS 7					
Estimated Parcel Size as Drawn		Parcel Size used in Valuation		Zoning			
76,360 sq.ft. (1.75a.)		1.7529 acres		(F) Forestry, 1.75 Acres			
Fire Response Provider				Wind Load		Snow Load	
BOULDER MOUNTAIN FIRE				165 mph		50 lbs/sqft	
Floodplain						STR	
Boulder County: NOT PRESENT						S23 - T1N - R71W	
FEMA: X (1.75 Acres)							
Boulder County Open Space				Plats			
NOT PRESENT				PINE BROOK HILLS UNIT 7 (1.75 Acres)			

Structure Details

Account	Building	Built	Remodeled	Bedrooms	Bath Full	Bath 3/4	Bath 1/2
R0034894	1	1974	2020	4	3	0	0
Class / Design / Construction							
SINGLE FAM RES IMPROVEMENTS / Split-level / Mountains							
Floor Area Description					Floor RFA	Floor Not RFA	
FIRST FLOOR (ABOVE GROUND) FINISHED AREA					960		
2ND FLOOR AND HIGHER FINISHED AREA					500		
LOWER LVL WALKOUT FINISHED (BI-SPLIT LVL)					796		
ATTACHED GARAGE AREA					584		
DECK AREA						708	
PATIO AREA						637	
PORCH AREA						378	
Parcel Total					Total RFA	Total Not RFA	Total Area
Parcel Total					2,840	1,723	4,563
Account	Building						
R0034894	1						
CONST - Commercial: Frame		EXT_WALL_PRIMARY: Frame Wood/Shake			FOUNDATION: Concrete		
HEATING: Forced Air		INTERIOR: Drywall			LAND_PERCENT: 55% LAND RATIO		
ROOF_COVER: Asphalt		ROOF_DSN: Gable			SIZE_ADJ: 1 - SIZE_ADJ		
WINDOWS: Wood Thermopane							

Application, License, and Permit History

Record Type PreApplication Conference			ID Number PAC-25-0124	
Name Parker				
Description SPR/W - Build a new addition to the existing home to expand the original small bedrooms and construct a new detached garage with gym on the 2nd floor per W.Jefferies./FJD				
Application Date 4/9/2025	Record Status PAC Held	Status Date 4/15/2025	Public Documents 1	Assigned AKNOTTS

Record Type OWTS Property Transfer			ID Number PTC-2025-0033	
Application Date 2/25/2025	Record Status Certificate Issued	Status Date 3/4/2025	Public Documents 1	

Record Type Furnace			ID Number BP-24-0375	Value \$10,321
Description Install Furnace				
Application Date 2/15/2024	Record Status Permit Issued	Status Date 2/16/2024	Public Documents 2	Disaster No

Record Type Reroofing			ID Number BP-21-2355	Value \$5,100
Description Reroof residence using Owens Corning TruDefinition Duration in Onyx Black.				
Application Date 9/23/2021	Record Status Permit Issued	Status Date 9/24/2021	Public Documents 2	Disaster No

Record Type OWTS Property Transfer			ID Number PTC-2021-0168	
Application Date 5/10/2021	Record Status Certificate Issued	Status Date 5/21/2021	Public Documents 1	

Record Type OWTS Property Transfer			ID Number PTC-2015-0049102	
Application Date 9/17/2015	Record Status Certificate Issued	Status Date 9/24/2015	Public Documents 0	

Record Type OWTS Major Repair			ID Number MAJP-2001-0033555	
Application Date 5/9/2001	Record Status System Approved	Status Date 12/18/2001	Public Documents 0	

Application, License, and Permit History

Record Type Residential Addition		ID Number BP-90-1001	Value \$41,619
Description GARAGE/ADD MASTER BEDROOM			
Application Date 8/29/1990	Record Status	Status Date	Public Documents 2
Record Type New Residence		ID Number BP-73-17991	Value \$23,000
Description SINGLE FAM DWELLING			
Application Date 1/1/1973	Record Status	Status Date	Public Documents 1
Record Type OWTS New System		ID Number NEWP-1900-0026021	
Application Date 1/1/1900	Record Status System Approved	Status Date 1/1/2010	Public Documents 0

Recent Deeds

Type	Reception No	Date	Amount	Grantee Grantor
WARRANTY DEED				FLYNN CHRISTOPHER & NATHALY
4078986	3/10/2025	\$2,100,000		MARSHALL EMILY
WARRANTY DEED-JOINT TENANT				MARSHALL EMILY
03888077	5/20/2021	\$1,400,000		GREGG VALETA
WARRANTY DEED				GREGG VALETA
3478500	9/28/2015	\$740,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				CATHEY W THOMAS JR TRUST &
2304836	7/2/2002	\$0		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				GRAAFF JANET
2304839	7/2/2002	\$605,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				
1861286-8	10/21/1998	\$0		
QUIT CLAIM DEED				
1089093	2/25/1991	\$0		
QUIT CLAIM DEED				
41124	10/27/1972	\$4,000		

Assessed Value

Account	Tax Year	Land	Structures	Total
R0034894	2025	\$406,600	\$1,092,400	\$1,499,000

Taxing Districts

[Mill Levy Breakdown](#)

COUNTY		
BOULDER CO TEMP HS SAFETY NET FUND	BOULDER COUNTY CAPITAL EXPEND FUND	BOULDER COUNTY CONTINGENCY FUND
BOULDER COUNTY DEVEL DISABILITY FUND	BOULDER COUNTY GENERAL OPERATING	BOULDER COUNTY HEALTH & HUMAN SERVICES
BOULDER COUNTY JUDGMENT LEVY FUND	BOULDER COUNTY PUBLIC WELFARE FUND	BOULDER COUNTY PUBLIC WORKS
BOULDER COUNTY REFUND ABATEMENT	BOULDER COUNTY RETIREMENT FUND	BOULDER COUNTY ROAD & BRIDGE
BOULDER COUNTY SELF INSURANCE FUND	BOULDER COUNTY SOLID WASTE FUND	
FIRE PROTECTION DISTRICT		
BOULDER MTN FIRE DIST GENERAL OPER		
LIBRARY DISTRICT		
BOULDER PUBLIC LIBRARY DISTRICT GENERAL		
SCHOOL DISTRICT		
BOULDER VALLEY RE2 ABATEMENT REFUND	BOULDER VALLEY RE2 BOND REDEMPTION	BOULDER VALLEY RE2 CAPITAL CONSTRUCTION
BOULDER VALLEY RE2 GENERAL OPERATING	BOULDER VALLEY RE2 OVERRIDES	BOULDER VALLEY RE2 TRANSPORTATION
BOULDER VALLEY RE-2 INSURANCE	BOULDER VALLEY RE-2 RESERVE	BOULDER VALLEY RE-2 TAX CREDIT
TRANSPORTATION DISTRICT		
RTD GENERAL OPERATING		
WATER DISTRICT		
PINE BROOK WATER BOND REDEMPTION	PINE BROOK WATER GENERAL OPERATING	

For More Information

Community Planning & Permitting Department
Building Safety & Inspection Services
2045 13th Street, Boulder, Co. 80302 – PO Box 471, Boulder, Co. 80306
303-441-3930 (Office)
www.bouldercounty.gov

http://sarsbeprod2017/BCPRODReportServer/PROD/BOCO/CPP_ParcelReport_BOCC/bgracia



Boulder County Land Use Department Publications

Fee Agreement

Land Use Department
Courthouse Annex Building
2045 13th Street
PO Box 471
Boulder, CO 80302

Planning Division:
Phone: 303-441-3930
Fax: 303-441-4856
Email: planner@bouldercounty.org
<http://www.bouldercounty.org/lu/>

Office Hours:
Monday — Friday 8:00 AM to 4:30 PM

Fee Agreement

Agreement for payment of Land Use Department Application Fees and for processing of Application in accordance with the Boulder County Land Use Code.

I/We (applicant), **CHRISTOPHER & NATHALY FLYNN**

as Property Owner of Record/Applicant ("APPLICANT"), AGREE AS FOLLOWS with the County of Boulder and its Land Use Department (collectively "COUNTY"), in consideration of the County's acceptance of Applicant's application for the land use approval as further described below:

1. Applicant has submitted to County an application for approval of:

Application Type:

APPEAL OF ADMINISTRATIVE DECISION

2. Applicant acknowledges and understands that Board of County Commissioners has established and amends from time to time a fee structure for County Land Use Department applications for most applications, this includes a non-refundable deposit which must be paid prior to the Department's acceptance of any application for processing, and provision for billing the Applicant for any costs of processing applications which may accrue above the non-refundable deposit amount. The Applicant acknowledges and agrees that this Agreement shall govern the payment of fees for the processing of the Application.
3. The Application shall not be accepted for processing unless the property owner of record of the property included in the Application signs this Agreement. In the case of multiple property owners, the Director of the County Land Use Department ("Director") shall have the discretion to determine which owner(s) shall sign. A person other than the property owner of record may sign the Application and this Agreement only if the Land Use Director, for good cause shown, waives the requirement for landowner signature under the applicable provisions of the Land Use Code.
4. The Applicant shall be billed by the County Land Use Department ("the Department") for all direct and indirect costs (including but not limited to staff time of the Department, the County Attorney's Office, and the County Transportation, Public Health, and Parks Departments); mailing, copying, recording, and publication fees and costs; and authorized consultants' fees incurred by the County), which the Department has accrued to date in processing the Application. The Department will continue to bill the Applicant until all costs have accrued and are paid.
5. The Applicant agrees to pay all such bills in full, and by whatever manner of payment is specified as acceptable by the Director, by delivery made to the Department no later than one month after the billing date. The Director shall have the discretion to suspend processing of the Application if any payments under this Agreement are not made on time. This suspension may involve the postponement of scheduled Planning Commission or Board of County Commissioner hearings or meetings, and the incurrence of additional costs such as for remodification or republication. Similarly, the Director shall have the discretion to terminate the processing of any Application for which any billed payment is more than three months overdue.
6. The person/address whom the Applicant designates to receive all billings for fees under this Agreement are as follows:

CHRISTOPHER & NATHALY FLYNN

Mailing Address
228 ALPINE WAY

City:
BOULDER

State:
CO

ZIP Code:
80304

Any billing mailed to this person/address and not returned to the Department shall be deemed received. The Applicant may change the billing address under this Paragraph by providing written notification of such change to the Department.

7. In the event of nonpayment of fees, the County shall have the right to file a fee collection action against any or all of the persons signing this Agreement or the Application as Applicant. Any resulting judgment for fees may be enforced in any legal manner whatsoever and may be filed as a judgment lien against the real property which is the subject of the Application, as well as against any real property owned in whole or in part by any judgement debtor hereunder.
8. Any agreement by the Director or County to forego any of the judicial or administrative remedies available to them under this Agreement in response to the late payment or nonpayment of fees, shall not in any way constitute a waiver of the Director's or County's rights to collect fees or appropriately adjust the processing of the Application as provided herein.
9. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the Application is subject to the applicable processing and public hearing requirements set forth in the Boulder County Land Use Code. The Applicant acknowledges that the Applicant has obtained or has access to the Boulder County Land Use Code, and that, prior to filing the Application, the Applicant has had the opportunity to consult the relevant provisions governing the processing of and decision on the Application.
10. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the Applicant is authorized to make available to the County, for purposes of copying and distributing for public review, all of the documents and information which the Applicant submits with or in support of the Application. Upon demand from the County, the Applicant agrees to indemnify and defend the County and its officials, agents and employees, and to hold them harmless from, any action, claim, suit, loss, cost, damage, or expense which may be brought or assessed against the County or any of its officials, agents or employees on account of any allegation by the Applicant or any person that the County may have violated federal copyright law, or violated any law, agreement, or provision allegedly protecting the confidentiality of or restricting public review of the Application materials which the Applicant submits to the County for review as part of the Application.
11. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the County Land Use Department and any other County staff involved in processing the Application or their duly authorized representatives will need to enter upon the property which is the subject of the Application and conduct inspections thereof to evaluate the Application pursuant to the applicable criteria of the Land Use Code, and perform related tasks. The Applicant hereby consents to allow the County staff or their designees to enter upon and inspect the subject property at any time for this purpose without obtaining the Applicant's separate consent at the time of inspection. This consent extends to inspections while the Application is in process, as well as after it has been approved to assure that any imposed conditions of approval are met.
12. The Applicant agrees to waive any requirements for the Applicant's written consent to extend voluntarily any public hearing or other deadline associated with processing the Application, if the Applicant or its representative agrees orally to any such extension.
13. The Applicant acknowledges that the Applicant executes this Agreement freely, voluntarily, and without threat of compulsion. The Applicant understands that the Applicant may consult an attorney or any other person concerning the Application or this Agreement prior to executing this Agreement, if the Applicant so chooses.
14. Acceptance of the Application for filing and receipt of the Application fee deposit do not necessarily mean that the Application is complete under the applicable requirements of the Land Use Code.
15. This Agreement shall become effective once signed by the Applicant and the County. It shall remain in effect throughout the processing of the Application Form, and until all obligations of the Applicant under this Agreement and under any County approval of the Application Form are met.
16. This Agreement shall be construed and enforced in accordance with the law of the State of Colorado.

Applicant Signature:

Property Owner must sign this document per Paragraph 3.

Property Owners Signature:	Date:
Property Owners Signature:	Date:
Property Owners Signature:	Date:
Property Owners Signature:	Date:

Boulder County:

Land Use Director or Designee:	Date:
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For Land Use Department Use

Docket Name:	Docket Number:	Deposit Amount: \$	Date Received:
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7. In the event of nonpayment of fees, the County shall have the right to file a fee collection action against any or all of the persons signing this Agreement or the Applicant as Applicant. Any resulting judgment for fees may be enforced in any legal manner whatsoever and may be filed as a judgment lien against the real property which is the subject of the Application, as well as against any real property owned in whole or in part by any judgement debtor hereunder.
8. Any agreement by the Director or County to forego any of the judicial or administrative remedies available to them under this Agreement in response to the late payment or nonpayment of fees, shall not in any way constitute a waiver of the Director's or County's rights to collect fees or appropriately adjust the processing of the Application as provided herein.
9. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the Application is subject to the applicable processing and public hearing requirements set forth in the Boulder County Land Use Code. The Applicant acknowledges that the Applicant has obtained or has access to the Boulder County Land Use Code, and that, prior to filing the Application, the Applicant has had the opportunity to consult the relevant provisions governing the processing of and decision on the Application.
10. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the Applicant is authorized to make available to the County, for purposes of copying and distributing for public review, all of the documents and information which the Applicant submits with or in support of the Application. Upon demand from the County, the Applicant agrees to indemnify and defend the County and its officials, agents and employees, and to hold them harmless from, any action, claim, suit, loss, cost, damage, or expense which may be brought or assessed against the County or any of its officials, agents or employees on account of any allegation by the Applicant or any person that the County may have violated federal copyright law, or violated any law, agreement, or provision allegedly protecting the confidentiality of or restricting public review of the Application materials which the Applicant submits to the County for review as part of the Application.
11. In submitting the Application and signing this Agreement, the Applicant acknowledges and agrees that the County Land Use Department and any other County staff involved in processing the Application or their duly authorized representatives will need to enter upon the property which is the subject of the Application and conduct inspections thereof to evaluate the Application pursuant to the applicable criteria of the Land Use Code, and perform related tasks. The Applicant hereby consents to allow the County staff or their designees to enter upon and inspect the subject property at any time for this purpose without obtaining the Applicant's separate consent at the time of inspection. This consent extends to inspections while the Application is in process, as well as after it has been approved to assure that any imposed conditions of approval are met.
12. The Applicant agrees to waive any requirements for the Applicant's written consent to extend voluntarily any public hearing or other deadline associated with processing the Application, if the Applicant or its representative agrees orally to any such extension.
13. The Applicant acknowledges that the Applicant executes this Agreement freely, voluntarily, and without threat of compulsion. The Applicant understands that the Applicant may consult an attorney or any other person concerning the Application or this Agreement prior to executing this Agreement, if the Applicant so chooses.
14. Acceptance of the Application for filing and receipt of the Application fee deposit do not necessarily mean that the Application is complete under the applicable requirements of the Land Use Code.
15. This Agreement shall become effective once signed by the Applicant and the County. It shall remain in effect throughout the processing of the Application Form, and until all obligations of the Applicant under this Agreement and under any County approval of the Application Form are met.
16. This Agreement shall be construed and enforced in accordance with the law of the State of Colorado.

Applicant Signature:

Property Owner must sign this document per Paragraph 3.

Property Owners Signature:	Date: 7/9/2025
Property Owners Signature:	Date: 7/9/2025
Property Owners Signature:	Date:
Property Owners Signature:	Date:

Boulder County:

Land Use Director or Designee:	Date:
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For Land Use Department Use

Docket Name:	Docket Number:	Deposit Amount: \$	Date Received:
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**Boulder County
Land Use Department
Publications**

Historic Preservation Referral Requirement

Land Use Department
Courthouse Annex Building
2045 13th Street
PO Box 471
Boulder, CO 80302

Planning Division:
303-441-3930
planner@bouldercounty.org
www.bouldercounty.org/lu

Office Hours:
8 a.m.-4:30 p.m. Mon., Wed., Thurs., Fri.
10 a.m.-4:30 p.m. Tuesday

Historic Preservation Referral Requirement

Boulder County is committed to identifying and preserving the rich history of the unincorporated areas of the county. Through our Comprehensive Plan, Land Use Code, and other policies we have created a program to document, protect, and preserve the varying historic resources in our jurisdiction. County Land Use staff and the Historic Preservation Advisory Board (HPAB) are available to assist property owners in researching their property history, determining whether it is eligible for landmark designation, identifying ways to preserve the property and finding financial incentives for preservation.

The Historic Preservation Advisory Board (HPAB) serves as a referral body to review and comment on development proposals which would affect historic properties (any property with structures 50 years of age or older). Development review applications may require review by the full Historic Preservation Advisory Board, however, this depends on the nature of the historic resource and specific development proposal. A Boulder County Historic Preservation Planner in coordination with the members of HPAB determines the appropriate level of review for each development project.

Please contact a Boulder County Land Use Historic Preservation Planner at historic@bouldercounty.org or 303-441-3930 to discuss your project, and complete this form prior to submitting an application. Contact staff as soon as possible, since historic property research can take time. To avoid delays, contact the staff to begin this research well in advance of your submittal.


Applicant - Please complete this section:

Applicant(s):		
Project Address: 228 Alpine		
City:	State:	Zip Code:
Parcel Information: 146115005006		

The following is required to be completed by a Boulder County Historic Preservation Planner:

Land Use Staff in cooperation with HPAB has considered an application for:

at the property listed above and has determined that the Application:

<input type="checkbox"/>	Does not require a referral
<input checked="" type="checkbox"/>	Requires a referral only to the Boulder County Historic Preservation Planner lacks significance and integrity
<input type="checkbox"/>	Requires a review by the Historic Preservation Advisory Board
Historic Preservation Planner Signature: 	Date: 7/8/25

RESOLUTION 2025-023

**A resolution approving Boulder County Community Planning & Permitting Docket
DC-24-0003: Text Amendments to the Land Use Code Related to
Site Plan Review (Article 4-800)**

Recitals

A. The Board of County Commissioners of Boulder County (the “Board”) is authorized to amend the text of the County’s Zoning Regulations according to the procedures in Article 16 of the Boulder County Land Use Code and C.R.S. § 30-28-112, -116 and -133.

B. Under other statutory authority, the Board is empowered to adopt regulations related to the control of land use, including but not limited to Article 65.1 of Title 24 (Areas and Activities of State Interest); Articles 67 and 68 of Title 24 (Planned Unit Developments and Vested Rights); Article 20 of Title 29 (Local Land Use Enabling Act); Articles 11 and 15 of Title 30 (County Powers and Police Power); Article 1 of Title 32 (Special District Control); and Article 2 of Title 43 (County Highways), C.R.S.

C. By Resolution 94-185, adopted October 18, 1994, the Board approved a unified Boulder County Land Use Code (the “Code”), which the Board has amended on subsequent occasions.

D. In the present docket, DC-24-0003 (the “Docket”), authorized by the Board at a public meeting on September 17, 2024, Boulder County Community Planning & Permitting staff proposed text amendments to the Code (the “Proposed Amendments”) related to Site Plan Review, as set forth in the Boulder County Community Planning & Permitting Department’s memorandum and recommendation dated April 22, 2025, with its attachments (the “Staff Recommendation”).

E. The Proposed Amendments address concerns related to the increasing size of residential structures and their impacts on neighborhood character, sustainability, and affordability, specifically:

- Replacing the current presumed compatible size from 125% of the median of a defined neighborhood with a size limitation that is the median of a defined neighborhood;
- Changing what is currently a size presumption (that potentially could be overcome to get a larger size in certain circumstances) to a size limitation based on the median of a defined neighborhood; and
- Clarifying the regulations to improve processes, increasing the public’s ability to navigate the regulations, and providing greater certainty regarding potential development to applicants and neighbors.

F. As outlined in **Exhibit A**, the Proposed Amendments include updates to Article 4-800, with corresponding updates to Articles 2, 4, 18, and 19 of the Code.

G. The Boulder County Planning Commission (the “Planning Commission”) held a duly noticed public hearing on the Proposed Amendments on March 19, 2025. While the Planning Commission expressed general support for the goals of the Proposed Amendments, they did not agree that the Proposed Amendments were the best way to accomplish those goals. The Planning Commission unanimously recommended denial of the Proposed Amendments as presented by staff and certified the Docket for action to the Board with a request that the Board rescind the temporary moratorium imposed by Resolution 2024-070 pending consideration of the Code amendments.

H. On April 22, 2025, the Board held a duly noticed public hearing on the Docket (the “Public Hearing”) and considered the Staff Recommendation, documents, and testimony presented by County Community Planning & Permitting Department staff. Twenty-six members of the public spoke at the Public Hearing.

I. Based on the Public Hearing, the Board finds that the Proposed Amendments presented by staff and modified by the Board outlined in **Exhibit A** meet the criteria for text amendments contained in Article 16-100.B of the Code, in that the existing text is in need of amendment; the Proposed Amendments are not contrary to the intent and purpose of the Code; and the Proposed Amendments are in accordance with the Boulder County Comprehensive Plan.

Therefore, the Board resolves:

1. The Proposed Amendments in **Exhibit A** are approved, effective as of May 13, 2025.
2. Resolution 2024-070 “A resolution imposing a temporary moratorium on processing applications for residential development over the median Residential Floor Area within the defined neighborhood in the unincorporated county pending consideration of Boulder County Land Use Code amendments” shall expire upon the effective date of the Proposed Amendments.
3. Under § 30-28-125, C.R.S., the Board authorizes the Clerk to the Board to transmit this Resolution, with its **Exhibit A**, to the County Clerk and Recorder for filing and appropriate indexing.

A motion to approve the Docket was made by Commissioner Ashley Stolzmann, seconded by Commissioner Marta Loachamin, and passed by a 2-1 vote. Commissioners Stolzmann and Loachamin voted in favor and Commissioner Claire Levy voted opposed.

A motion to rescind the moratorium imposed by Resolution 2024-070, to be effective when the Proposed Amendments go into effect, was made by Commissioner Ashley Stolzmann, seconded by Commissioner Marta Loachamin, and passed by a 3-0 vote.

[Signature Page to Follow]

ADOPTED as a final decision of the Board on this 13th day of May 2025.

The signatures below indicate approval of the text of the Resolution but are not necessarily reflective of the votes taken at the Public Hearing.

**BOARD OF COUNTY COMMISSIONERS
OF BOULDER COUNTY:**

Marta Loachamin
Marta Loachamin, Chair

Voted Against this Resolution
Claire Levy, Vice Chair

Ashley Stolzmann
Ashley Stolzmann, Commissioner

ATTEST:

Matthew Ramos
Clerk to the Board

Exhibit A

DC-24-0003: Text amendments to the Land Use Code related to Article 4-800, Site Plan Review, and any other related Articles and provisions necessary to integrate these changes.

~~Strikethrough~~ indicates text that is to be deleted, and underline indicates text to be added.

Article 2 Administrative & Decision Making Bodies

Article 2-800 Boulder County Board of Adjustment

A. Short Title

1. The Boulder County Board of Adjustment may also be referred to as the 'Board of Adjustment.'

B. Membership, Selection, and Term

1. The Board of County Commissioners appoints five regular Board of Adjustment members. Members of the Planning Commission may take the place of a regular Board of Adjustment member in the event of a temporary absence or vacancy; however, not more than two members of the Board of Adjustment may concurrently be members of the Planning Commission.
2. All members must be residents of the County.
3. The term of regular members is three years.

C. Duties and Responsibilities

1. The Board of Adjustment holds regular meetings to hear appeals of any order, requirement, decision, or determination made by the Land Use Director or County Engineer in administering or enforcing Article 4 related provisions (e.g. definitions in Article 18) of this Code, to hear appeals of the Director specified provisions of Article 12, and to consider certain variances from the requirements of Article 4 of this Code.
2. The Board of Adjustment does not have the authority to grant any variance:
 - a. from uses permitted in the zoning district;
 - b. from the minimum lot size required, maximum gross density, or structure size maximum of any zoning district;
 - c. from any definition;
 - d. from the height or yard requirements which may be obtained, or have been denied, through the approval of a special use;
 - e. which authorizes a substantial modification of a planned unit development or special use approved by the Board of County Commissioners; or
 - f. which will cause an increase in the base flood to occur;
 - g. from any provision of Article 12.

Article 4-100 Zoning District Regulations

Article 4-101 Forestry (F) District

E. Lot, Building, and Structure Requirements

1. Minimum lot size... 35 acres

Exhibit A

2. Minimum setbacks

- a. Front yard... 15 feet
- b. Side yard... 25 feet
- c. Rear yard... 15 feet
- d. From an irrigation ditch... 50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
- e. Supplementary requirements may apply, refer to Article 7-1400.
- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).

3. Structure size

- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel within the mapped Townsites of Allenspark, Eldorado Springs, Eldora, Raymond, and Riverside, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.

Exhibit A

- (B) Subsection (iv) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
 - (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
 - (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height
 - a. On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
 - b. On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any residential structure exceed 35 feet.
 - c. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-102 Agricultural (A) District

- E. Lot, Building, and Structure requirements
 - 1. Minimum lot size... 35 acres

Exhibit A

2. Minimum setbacks

- a. Front yard... 35 feet
- b. Side yard... 7 feet
- c. Rear yard... 15 feet
- d. From an irrigation ditch... 50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may—with County concurrence—be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
- e. Supplementary requirements may apply, refer to Article 7-1400.
- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).

3. Structure size

- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel within the mapped Townsite of Eldorado Springs, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iv) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building

Exhibit A

- permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
 - (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
 - b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
 - c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
 - d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
4. Maximum building height
- a. Residential structures:
 - (i) On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
 - (ii) On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any residential structure exceed 35 feet.
 - (iii) 50 feet for nonresidential structures.
 - (iv) The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-103 Rural Residential (RR) District

E. Lot, Building, and Structure Requirements

Exhibit A

1. Minimum lot size
 - a. In a community service area on subdivided land with connection to public water and sewer facilities... One acre
 - b. On other land... 35 acres
2. Minimum setbacks
 - a. Front yard... 25 feet
 - b. Side yard... 7 feet
 - c. Rear yard... 15 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
 - a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.

Exhibit A

- (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height
 - a. On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
 - b. On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any residential structure exceed 35 feet.
 - c. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-104 Estate Residential (ER) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size

Exhibit A

- a. In a community service area on subdivided land with connection to public water and sewer facilities... One acre
 - b. On other land... 35 acres
2. Minimum setbacks
 - a. Front yard... 35 feet
 - b. Side yard... 10 feet
 - c. Rear yard... 25 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
 - a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel within the mapped Townsite of Eldorado Springs, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has

Exhibit A

- not been otherwise limited through a previous land use review process.
- (B) Subsection (iv) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
- (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
- (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
4. Maximum building height
- a. On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
- b. On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any residential structure exceed 35 feet.
- c. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

Exhibit A

4-105 Suburban Residential (SR) District

E. Lot, Building, and Structure Requirements

1. Minimum lot size

- a. In a community service area on subdivided land with connection to public water and sewer... 7,500 square feet
- b. On other land... 35 acres

2. Minimum setbacks

- a. Front yard... 25 feet
- b. Side yard... 7 feet
- c. Rear yard... 15 feet
- d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
- e. Supplementary requirements may apply, refer to Article 7-1400.
- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).

3. Structure size

a. Maximum Residential Floor Area

- (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
- (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
- (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.

Exhibit A

- (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
- (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. **Maximum building height**
 - a. On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
 - b. On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any residential structure exceed 35 feet.
 - c. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

Exhibit A

4-106 Multifamily (MF) District

E. Lot, Building, and Structure Requirements

1. Minimum lot size

- a. In a community service area on subdivided land where the principal structure is a Single Unit Dwelling, educational facility, or Church connected to public water and sewer facilities... 7,500 square feet
- b. On subdivided land where any other principal structure is connected to public water and sewer facilities... 1,500 square feet
- c. On any other land... 35 acres

2. Minimum setbacks

- a. Front yard... 25 feet
- b. Side yard... 7 feet
- c. Rear yard... 15 feet
- d. From an irrigation ditch... 50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may-with County concurrence-be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
- e. Supplementary requirements may apply, refer to Article 7-1400.
- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).

3. Structure size

a. Maximum Residential Floor Area

- (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Single Unit Dwelling on a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
- (ii) For a Single Unit Dwelling on a Parcel within the mapped Townsite of Eldorado Springs, the maximum Residential Floor Area shall be 1,500 square feet.
- (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that

Exhibit A

- conservation easement, recorded agreement with the County, or other approval shall be the maximum.
- (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
 - (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
 - (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
 - c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
 - d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
4. Maximum building height... 50 feet
- a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

Exhibit A

4-107 Manufactured Home (MH) Park

E. Lot, Building, and Structure Requirements

1. Minimum lot size...35 acres, or the area of the parcel or portion of parcel occupied by a manufactured (mobile) home park legally existing on the effective date of the amendments creating this District.
2. Minimum setbacks
 - a. Front yard... 25 feet
 - b. Side yard... 7 feet
 - c. Rear yard... 15 feet
 - d. From an irrigation ditch... 50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
 - a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Single Unit Dwelling on a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Single Unit Dwelling on a Parcel within the mapped Townsite of Eldorado Springs, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the

Exhibit A

maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.

- (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
- (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum structure height... 30 feet
 - a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-801 Transitional (T) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size

Exhibit A

- a. In a community service area on subdivided land where any other principal structure is connected to public water and sewer facilities... 15,000 square feet
 - b. On any other land... 35 acres
2. Minimum setbacks
 - a. Front yard... 25 feet
 - b. Side yard... 7 feet
 - c. Rear yard... 15 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
 - a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Single Unit Dwelling on a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Single Unit Dwelling on a Parcel within the mapped Townsite of Eldorado Springs, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.

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- (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
- (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height... 50 feet.
 - a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-109 Business (B) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size
 - a. On subdivided land where the principal structure is connected to public water and sewer facilities...no minimum requirement
 - b. On other land... 35 acres

Exhibit A

2. Minimum setbacks

- a. Front yard... 60 feet from the centerline of the ROW
- b. Side yard... Zero or 12 feet
- c. Rear yard... 20 feet
- d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
- e. Supplementary requirements may apply, refer to Article 7-1400.
- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).

3. Structure size

- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel within the mapped Townsites of Allenspark, Eldorado Springs, Raymond, and Riverside, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.

Exhibit A

- (B) Subsection (iv) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height... 50 feet
 - a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-110 Commercial (C) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size
 - a. In a community service area on subdivided land where the principal structure is connected to public water and sewer facilities...no minimum requirement
 - b. On other land...35 acres
 - 2. Minimum setbacks
 - a. Front yard... 60 feet from the centerline of the ROW
 - b. Side yard... Zero or 12 feet

Exhibit A

- c. Rear yard... 20 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
 - (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded

Exhibit A

county agreement may be granted additional Residential Floor Area over the maximum provided:

- (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
- (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height... 50 feet
 - a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-111 Light Industrial (LI) District

E. Lot, Building, and Structure Requirements

- 1. Minimum lot size
 - a. In a community service area on subdivided land where the principal structure is not a Single Unit Dwelling and is connected to public water and sewer facilities... no minimum requirement
 - b. On any other land... 35 acres
- 2. Minimum setbacks
 - a. Front yard... 60 feet from the centerline of the ROW
 - b. Side yard... Zero or 12 feet
 - c. Rear yard... 20 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.

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- e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
 - (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.

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- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height... 50 feet
 - a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-112 General Industrial (GI) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size
 - a. In a community service area on subdivided land where the principal structure is not a Single Unit Dwelling and is connected to public water and sewer facilities... no minimum requirement
 - b. On any other land... 35 acres
 - 2. Minimum setbacks
 - a. Front yard... 60 feet from the centerline of the ROW
 - b. Side yard... Zero or 12 feet
 - c. Rear Yard... 20 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.
 - f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
 - 3. Structure size
 - a. Maximum Residential Floor Area

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- (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
- (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
- (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall

Exhibit A

thickness due to the use of straw-bale construction, or similar techniques.

- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
 - c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
 - d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
4. Maximum building height... 50 feet
- a. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

4-113 Economic Development (ED) District

D. Lot, Building and Structure Requirements

1. Structure size

a. Maximum Residential Floor Area

- (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
- (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
- (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.

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- (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
- (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.

E. Additional Requirements

- 1. Maximum gross residential density...

4-114 Historic (H) District

No proposed changes.

4-115 Rural Community (RC) District

No proposed changes.

4-116A Niwot Rural Community District I (NRCDI)

C. Lot, Building, and Structure Requirements

- 1. Minimum lot size
 - a. 3,500 square feet

Exhibit A

2. Maximum building height
 - a. 30 feet
 - b. 15 feet within 25 feet of rear property line where the rear lot line is adjacent to a parcel or right-of-way outside of the NRCD I.
 - (i) Properties that do not currently meet this requirement may rebuild the same massing as the existing structure if approved by the Community Planning & Permitting Director or applicable processes.
 - c. 15 feet within 20 feet of the front property line in Blocks 5 and 6.
3. Minimum setbacks
 - a. Front yard
 - (i) Blocks 1, 2, 3, 4: 0 feet
 - (ii) Blocks 5, 6:
 - (A) 20 feet along 2nd Avenue with the ability to reduce the front setback to 10 feet as long as the front and rear combined setbacks are not less than 20 feet.
 - (B) 10 feet along Franklin with the ability to reduce the setback to 5 feet if retaining at least 30 feet from 2nd Avenue.
 - b. Side yard
 - (i) Block 1, 2, 3, 4, 5, 6: 0 feet
 - (ii) Interior parcel lines perpendicular to 2nd Avenue shall be considered a side yard.
 - c. Rear yard
 - (i) Blocks 1, 2, 6: 10 feet
 - (ii) Blocks 3, 4: 0 feet for corner parcels and parcels where the rear lot line is adjacent to a parcel in the NRCD I, or 15 feet for interior parcels where the rear lot line is adjacent to a parcel outside the NRCD I.
 - (iii) Block 5: 10 feet with the ability to reduce to 0 feet as long as the front and rear combined setbacks are not less than 20 feet.
4. Supplemental Setbacks
 - a. No supplemental setback from the center line of 2nd Avenue is required.
 - b. Along Niwot Road, the minimum yard requirements for all structures, with the exception of signs, shall not be less than 80 feet from the center line of the roadway.
5. Lot Coverage
 - a. Definition: The percentage of total parcel area that can be covered by structures.
 - b. Provisions:
 - (i) Blocks 1, 2, 5, 6: 0.6
 - (ii) Blocks 5, 6: can propose an increase in FAR from 0.6 to a maximum of 0.7 if transferring an equal amount of square footage from another parcel in the same block. The parcel the square footage is transferred from would then be limited to the reduced FAR. The additional FAR can be approved through the review process if it is determined that:

Exhibit A

- (A) The design flexibility created by transferring square footage keeps parking and driveways in the rear of the subject properties; or
 - (B) Achieves a greater rear setback; or
 - (C) Allows for existing structures or mature trees to be retained; and
 - (D) The proposal does not negatively impact historic resources.
 - (iii) Blocks 5, 6 can propose an increase in FAR from 0.6 to a maximum of 0.7 if all residential square footage, with the exception of garages and carports, is located above non-residential uses. The additional FAR can be approved through the review process if it is determined that:
 - (A) The proposal does not negatively impact historic resources.
 - (iv) Areas within the NRCD I Historic District: No FAR – Historic, Site Plan Review, setback, and lot coverage provisions to control.
6. Structure size
- a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (v), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iii) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iii) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.

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- (iv) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement;
and
 - (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (v) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.

4-116B Niwot Rural Community District II (NRCD II)

No proposed changes.

4-117 Mountain Institution (MI) District

- E. Lot, Building, and Structure Requirements
 - 1. Minimum lot size... 35 acres
 - 2. Minimum setbacks
 - a. Front yard... 15 feet
 - b. Side yard... 25 feet
 - c. Rear yard... 15 feet
 - d. From an irrigation ditch...50 feet from the centerline of the ditch. This requirement only affects structures built after October 10, 1996. The setback may -with County concurrence- be reduced in accordance with a letter from the applicable ditch company establishing a different setback, but in any event shall not be less than 20 feet from the ditch centerline.
 - e. Supplementary requirements may apply, refer to Article 7-1400.

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- f. The Director may require a structure to be located farther from any minimum setback as a mitigation measure to meet one or more Site Plan Review standard(s).
3. Structure size
 - a. Maximum Residential Floor Area
 - (i) Unless otherwise specified in subsections (ii) through (vi), the maximum Residential Floor Area for a Parcel shall be the larger of either the median Residential Floor Area of the defined Neighborhood or:
 - (A) An additional 1,000 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with 1,500 square feet or less of Residential Floor Area;
 - (B) An additional 750 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 1,501 and 3,000 square feet; and
 - (C) An additional 675 square feet over the existing Residential Floor Area on the Parcel as of May 13, 2025, on a Parcel with Residential Floor Area between 3,001 square feet and 3,500 square feet.
 - (ii) For a Parcel within the mapped Townsite of Allenspark, the maximum Residential Floor Area shall be 1,500 square feet.
 - (iii) For a Parcel encumbered by a Boulder County conservation easement, recorded agreement, or other approval that specifies an allowable Residential Floor Area, the Residential Floor Area specified in that conservation easement, recorded agreement with the County, or other approval shall be the maximum.
 - (iv) For a Parcel with existing Residential Floor Area that exceeds the maximum Residential Floor Area limits set forth in subsection (i), the maximum Residential Floor Area is the existing Residential Floor Area as of May 13, 2025.
 - (A) A one-time 200-square-foot maximum of additional Residential Floor Area may be allowed, provided the Residential Floor Area has not been otherwise limited through a previous land use review process.
 - (B) Subsection (iv) will not apply if existing Residential Floor Area is deconstructed and a Site Plan Review determination or building permit to rebuild deconstructed Residential Floor Area is not issued within one year.
 - (v) A Parcel with a historic structure(s) that is designated as a Historic Landmark(s) or protected by a restrictive covenant or other recorded county agreement may be granted additional Residential Floor Area over the maximum provided:
 - (A) the proposed development does not conflict with the intent of the landmark designation, restrictive covenant, or recorded agreement; and

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- (B) the additional Residential Floor Area granted is related to the preservation of the protected structures.
- (vi) The Director may approve a reasonable allowance of additional Residential Floor Area over the maximum for the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or associated with the use of building materials or design intended to achieve heightened energy efficiency or the use of low-carbon materials, such as an incremental increase in wall thickness due to the use of straw-bale construction, or similar techniques.
- b. Appeals of this subsection shall be decided by the Board of County Commissioners considering the provisions in 4-1202.A.
- c. The Director may limit the Floor Area to an amount less than the maximum as a mitigation measure to meet one or more Site Plan Review standard(s).
- d. The Boulder County's Assessor's Records will be used to determine the median Residential Floor Area within a defined Neighborhood and the existing Residential Floor Area on a Parcel, as verified by Community Planning & Permitting staff. The median Residential Floor Area calculation will include all Residential Floor Area on a subject Parcel.
- 4. Maximum building height
 - a. On subdivided land with a final plat approved by the County prior to August 29, 1994, 35 feet unless a lower height was approved through the platting process.
 - b. On any other land, 30 feet unless, through a subdivided land approval or Site Plan Review approval, a lower or higher height is permitted due to the unique characteristics of the particular site; in no event, however, shall any non-agricultural structure exceed 35 feet.
 - c. The Director may require a reduction in structure height as a mitigation measure to meet one or more Site Plan Review standard(s).

Article 4-800 Site Plan Review

4-801 Purpose

- A. Site Plan Review is an administrative review procedure for certain proposed developments which are considered likely to significantly impact important ecosystems, agricultural lands, surrounding land uses and neighborhoods, and infrastructure needs and demands, and which may be unsafe due to natural hazards.
- B. This Site Plan Review process for proposed new development will allow any significant adverse impacts on the environment, agricultural lands, surrounding land uses and neighborhoods, and infrastructure to be identified, evaluated, and avoided or acceptably mitigated through the imposition of reasonable conditions.

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4-802 Applicability and Scope of the Site Plan Review Process for Development

- A. Site Plan Review shall be required for (unless not required or ~~waived expedited~~ pursuant to sections B and C below):
1. Any development requiring a building permit on vacant parcels in unincorporated Boulder County, except for:
 - a. Season-Extending Agricultural Structures, if the dimensions of the Season-Extending Agricultural Structures on a property fall below the thresholds identified in 4-802.A.1516.
 - ~~2. Any increase in residential floor area which results in a total residential floor area greater than 125% of the median residential floor area for the defined neighborhood in which the subject parcel is located. In determining if the proposed development is greater than 125% of the residential median floor area, any demolition and rebuilding of any existing residential structure or any portions thereof, shall be counted toward the threshold.~~
 2. Any cumulative increase in Floor Area of more than 1,000 square feet on a parcel over that existing as of September 8, 1998.
 - a. In calculating this 1,000 square foot threshold, any demolition and rebuilding of any existing structure or any portions thereof, shall be counted toward the threshold.
 - b. Any Floor Area not ~~legally~~ existing as of September 8, 1998, shall be counted toward the threshold.
 - c. Calculation of this threshold includes applies to all principal and accessory structures, except for:
 - (i) Season-Extending Agricultural Structures, if the dimensions of the Season-Extending Agricultural Structures on a property fall below the thresholds identified in 4-802.A.156.
 - (ii) Agricultural Sales Structures less than 500 square feet.
 - (iii) Structures identified in 17-300.A.1. that fall below the thresholds for a building permit.
 3. New structures of any size requiring a building permit when the site is located within a Natural Landmark or Natural Area as described in the Environmental Resources Element of the Comprehensive Plan and shown on the Zoning District Maps of Boulder County.
 4. New structures 500 square feet or more in the 250' buffer associated with a Natural Landmark or Natural Area, as described in the Environmental Resources Element of the Comprehensive Plan and shown on the Zoning District Maps of Boulder County.
 5. New structures or additions to existing structures of any size on property over which a conservation easement has been granted.
 - a. The Director may exempt a structure ~~Season-Extending Agricultural Structure(s)~~ from this provision if the holder of the conservation easement confirms in writing that, in the opinion of the easement holder, the proposed structure(s) would not conflict with the terms of the easement.

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6. Development occurring in a Rural Community District as described in the regulations for that District.
 7. Any development in the Floodplain Overlay District involving new structures, elevation of an existing building, or additions to existing buildings that expand the footprint of the structure.
 8. Any grading permit for over 50 cubic yards of earthwork (including grading associated with an access permit).
 9. A change of use of a parcel, except for a change in use to:
 - a. A Vacation Rental; or
 - b. A Single Unit Dwelling where the proposed Residential Floor Area is less than or equal to the maximum Residential Floor Area for the zoning district. The conversion of existing Floor Area to Residential Floor Area shall be limited to the maximum Residential Floor Area for the zoning district.
 10. A commercial telecommunications facility utilizing an existing structure and meeting the height requirements of the district in which the facility is located.
 11. A small wind-powered energy system.
 12. A ground-mounted or parking canopy solar energy system as a Principal Use or accessory use, as specified in Articles 4-514 and 4-516.
 13. Any proposal which is eligible ~~to be waived from~~ for an Expedited Site Plan Review, but for which ~~an approval waiver~~ was not granted.
 14. An Agricultural Sales Unit larger than 500 square feet, or greater than 12 feet in height.
 15. Season-Extending Agricultural Structure(s) greater than 5,000 cumulative square feet located on Parcels 5 acres or larger, or greater than 3,000 cumulative square feet located on Parcels less than 5 acres, or Season-Extending Agricultural Structure(s) greater than 12 feet in height.
 - a. Season-Extending Agricultural Structures that do not go through a Site Plan Review process will go through an administrative review to ensure proposed structures are constructed within applicable setbacks and adhere to applicable Floodplain Overlay District provisions (4-400).
 16. Any application proposing to utilize the retrofitting of an existing structure for the purpose of making a demonstrated energy efficiency improvement or the use of building materials or design intended to achieve heightened energy efficiency as an exemption from compliance with the zoning district maximum Residential Floor Area.
 17. Any application proposing to utilize a landmarked or otherwise protected historic structure(s) as an exemption from compliance with the zoning district maximum Residential Floor Area.
- B. Site Plan Review shall not be required for:
1. Earthwork that is part of normal agricultural or mining practices.
 2. Accessory structures less than 1,000 square feet.
 - a. Except in those circumstances in which Site Plan Review is required because of cumulative threshold specified in this section A(2) ~~or A(3)~~.

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- b. Except in a Natural Landmark, a Natural Area, or in the associated 250' buffer as specified in this section A(3) and (4).
 - ~~c. Except on conservation easements held by Boulder County.~~
 - d. Except Agricultural Sales Unit as specified in 4-802.A.145.
- 3. Restoration of a structure or access that has been damaged or destroyed by causes outside the control of the property owner or their agent.
 - a. Restoration must involve the original location along the stream for stream spanning hydraulic structures, and in the case of a non-hydraulic structure, the original location, floor area, and height, if applicable. Such restoration must meet the other applicable provisions of this Code, including but not limited to the applicable zoning district setback and height requirements and the provisions of the Floodplain Overlay District (also see Nonconforming Structures & Uses, Article 4-1002(D) and 4-1003(F)).
 - b. Restoration must be commenced within one year after the date on which the structure or access was damaged or destroyed, or a latent defect discovered. This limitation may be extended in the case of extenuating circumstances as determined by the Director.
 - c. Restoration of bridges, box culverts, low-water crossings, or other hydraulic structures, either as a temporary or permanent hydraulic structure, and accesses are subject to review by the County Engineer for compliance with the Boulder County Storm Drainage Criteria Manual and the Multimodal Transportation Standards. The County Engineer may additionally impose conditions on the construction to assure basic safety.
 - d. The provisions of this Section 4-802(B)(3) shall not apply to Substantial Improvements to buildings in the Floodplain Overlay District as provided for in Section 4-400 of this Code.
- 4. Development on subdivided land with a final plat approved after February 22, 1994, unless the plat approval otherwise requires Site Plan Review for the lots.
- 5. Development in approved Neighborhood Conservation Overlay Districts to the extent that the approved Neighborhood Conservation plan covers the relevant Site Plan Review ~~criteria~~ standards detailed in this Article 4-806.
- 6. Any development or earthwork eligible for a General Floodplain Development Permit.
- 7. Any development or earthwork requiring an Individual Floodplain Development Permit, so long as the Community Planning & Permitting Director finds no conflicts with the standards listed in Article 4-806 of this Code.
- C. ~~Site Plan Review may be waived for the following circumstances~~ If the Community Planning & Permitting Director determines that there is no potential for any significant conflict with the ~~criteria~~ standards listed in Article 4-806 of this Code, an Expedited Site Plan Review may be allowed in the following circumstances:
 - 1. Any increase in the total Residential Floor Area ~~to a size less than 125% of the median Residential Floor Area for the defined Neighborhood in which the subject parcel is located~~, up to an increase of 2,000 square feet, provided the proposed structure size does not exceed the zoning district maximum Residential Floor Area.

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- a. This provision includes instances in which Site Plan Review would be required because the floor area exceeds the cumulative threshold specified in this section A(2) and B(2)(a).
2. In the plains, any nonresidential accessory structure less than 5,000 square feet, with the exception of Agricultural Sales Structures.
3. In the mountainous areas, any nonresidential accessory structure less than 2,000 square feet, with the exception of Agricultural Sales Structures.
4. Any application proposing to utilize the one-time maximum 200-square-foot exemption from compliance with the zoning district maximum Residential Floor Area.
5. Any grading permit involving under 500 cubic yards of earthwork.
6. Any free-standing small wind-powered energy system that meets the height limitations for the zoning district.
7. Any roof-mounted small wind-powered energy system as described in that use classification description 4-516.
8. A principal or accessory ground-mounted solar energy system less than 0.5 acre.
9. A parking canopy solar energy system less than 0.5 acre or an Accessory Solar Energy System that does not satisfy the additional provisions described in Article 4-516.L.5.e.
- D. In considering an Expedited Site Plan Review ~~waiver~~ determination, the Director shall notify adjacent property owners. The Director shall not issue the determination for seven days following such notification and shall consider any comments received by the public. In ~~waiving any requirement for expediting~~ Site Plan Review as authorized under this section 4-802, the Director may impose written terms and conditions ~~on the waiver~~ as may be reasonably necessary to ensure that the regulatory basis for the waiver review is not contravened once the subject use or construction is commenced.
- E. If the proposed permit or development requires Special Review, Limited Impact Special Review, Development Plan Review, Historic District Review (Section 4-114), or Subdivision Regulations or PUD Review, Subdivision Exemption, or Exemption Plat Review, the applicable Review process shall substitute for the Site Plan Review process under this section. In any such combined review process, the standards in Section 4-806 shall be applied to the part of the proposal requiring Site Plan Review.

4-803 Pre-application Conference

- A. A pre-application conference as defined in Section 3-201 shall be held prior to the submission of an application for Site Plan Review.

4-804 Application and Submittal Requirements

- A. Within four days of the time application is made, all proposed access points, driveways, wells, leach fields, cisterns, turn-out, turn-arounds, and at least four corners of the proposed structures must be visibly marked on the property with clearly labeled stakes.
- B. For the purpose of referring the project to applicable agencies, the applicant shall submit ~~a minimum of three copies of~~ the following information:

Exhibit A

1. The application form available at the Community Planning & Permitting Department as specified in Article 3 of this Code.
- ~~2. All applicable maps provided in the pre-application conference.~~
2. Name of the proposed development or use and total number of acres.
3. A site plan at a scale which best conveys the conceptual aspects of the plan and allows for effective public presentation. This site plan must have the following elements:
 - a. Date of preparation, revision box, written scale, graphic scale, and north arrow (designated as true north).
 - b. Clearly identified boundary lines, corner pins, dimensions of the subject property, and distance of structures from property lines.
 - c. Location, and dimension of all structures, existing and proposed.
 - d. Parking areas, driveways, emergency turn-outs, and emergency turn-arounds will be shown, with locations and dimensions including all proposed grading for the property.
 - e. All roads, railroad tracks, irrigation ditches, fences, existing and proposed utility lines, and easements on or adjacent to the parcel.
 - f. Significant on-site features including, but not limited to: natural and artificial drainage ways, wetland areas, ditches, hydrologic features (with flooding limits based on information available through the County), aquatic habitat, geologic features (including slopes, alluvial fans, areas of subsidence, rockfall areas, USDA soil classification and landslide areas), vegetative cover, dams, reservoirs, excavations, and mines.
 - g. Location and size of leach field, sewer service lines, treatment facilities, well(s) and/or water lines to serve the proposed development.
 - h. (For mountainous area properties only) Existing and proposed topographic contours at maximum intervals of five feet for at least 50 feet around all proposed disturbances. The remainder of the site may show greater contour intervals (e.g. 20-foot intervals) or obtain contours from the area's U.S.G.S. topographic map.
 - i. Any Floodplain, 100-year Floodplain or Floodway located on the property as indicated in Article 4-400 of this code.
 - j. Any Natural Landmark or Natural Area along with a 250-foot buffer zone surrounding the landmark or area as shown on the Zoning District Maps of Boulder County. Any Environmental Resources identified in the Comprehensive Plan must also be included on the site plan.
 - k. The location(s) and type(s) of proposed exterior lighting.
4. Four elevation drawings showing existing grade, finished grade, and height of the structure above existing grade. The location and dimensions of all windows must also be included on each of the elevations.
5. Verification that the site is a legal building lot under this code and that legal access from a public road has been obtained.

Exhibit A

- C. The following information may be required to be submitted with a site plan application if the Director determines that such information is necessary to allow the site plan standards of 4-806 to be adequately evaluated:
1. A detailed site plan of developed portions of the property presented at a larger scale than required in (B) above.
 2. Land survey data to identify the subject property including section corners and distance and bearing to these corners, quarter corners, township, range, etc.
 3. Documentation of legal access to the subject parcel and/or proposed development location.
 4. (For non-mountainous portions of the county) Existing and proposed topographic contours at maximum intervals of five feet for at least 50 feet around all proposed disturbances. The remainder of the site may show greater contour intervals (e.g. 20-foot intervals) or obtain contours from the area's U.S.G.S. topographic map.
 5. Location, width, and typical cross-section of all existing and proposed earthwork, including but not limited to: driveways, pedestrian paths, parking areas, and berms. This information may include earthwork calculations, grading plan, drainage plan, drainage letter, and/or geotechnical/soils reports. The Director may request that any or all of this information be certified by a Colorado registered Professional Engineer.
 6. Information regarding the use of ignition/fire resistant construction materials.
 7. Location of existing and proposed landscaping including a revegetation plan. The site plan shall illustrate the type, height, and/or caliper of the trunk of proposed plantings. All plantings will be specified by type and location.
 8. Location and results of soil percolation tests (Boulder County Public Health approval) where on-site wastewater systems or similar systems are proposed. This may include site approval and discharge permit, if required, as issued by the Colorado Department of Health.
 9. Erosion control and revegetation plan.
 10. The areas of all development in square feet and percentage of site, including total square feet of ~~developed~~ proposed driveways, parking, and buildings. Include limits of disturbance on the site plan and provide the total area in acres.
 11. A development report addressing the standards in 4-806.
 12. A letter of verification of a search of Inventory of Cultural Resources from the State Historical Society, a report defining the archaeological or historical resources on the site (based on information available from the State Historic Preservation Officer) or the appropriate archeological field survey report.
 13. A Wildfire Mitigation Plan demonstrating the appropriate site location of structures, construction design and the use of ignition resistant building material, defensible space and fuel reduction around the structures, driveway access for emergency vehicles, and an emergency water supply for firefighting.
 14. A control plan for noxious weeds.
 15. A topographic survey certified by a Colorado Registered Surveyor or Professional Engineer.
 16. Information regarding the type of glass used on the structure as it relates to reflectivity of sunlight and their emission of internal lighting.

Exhibit A

17. A wildlife impact report meeting the requirements of Section 7-1700 of this Code.
The requirement for a wildlife impact report shall not be construed to import the substantive requirements of Article 7-1700 into the Site Plan Review process, but rather shall provide additional information for the County to apply the site plan review ~~criteria~~ standards to the facts of the application.
18. An outdoor lighting plan showing the location and type of proposed lighting, in compliance with Article 7-1600 Outdoor Lighting and Article 18 Fully Shielded Light Fixture.

4-805 Review by the Director

- A. Once an application for Site Plan Review is filed, the Director shall promptly forward one copy of the application and supporting materials to the Access and Engineering Transportation, Public Health, Parks & Open Space Departments, local fire district, and any other potentially affected agencies or organizations. The Director shall also post a sign on the property stating the Site Plan Review number and the address and phone number of the Community Planning & Permitting Department. The Director may require that a notification sign be posted off-site when on-site posting would not allow for notification of those potentially impacted. Referrals shall be returned to the Director ~~18~~ 21 days from date the application is referred.
- B. Any determination by the Director to approve, conditionally approve, or deny a site plan application must be in writing and mailed or otherwise provided to the applicant no later than ~~28~~ 35 days after the date on which the Site Plan Review application is deemed complete. Once the determination is made, the Director shall also provide notice of the determination to all referral agencies and the adjacent property owners within 1500 feet of the property. If the Director fails to make a determination on the Site Plan Review application within this time period, the application as submitted shall be considered approved and the applicant's building permit shall be processed.
- C. The Director may suspend the ~~28~~ 35-day decision period required in Subsection 4-805.B., above, at any time during the ~~28~~ 35-day period under the following circumstances:
 1. At the request of the applicant, or;
 2. Whenever the Director or a referral agency determines that the application requires more information to conduct adequate review of the standards the Director shall promptly notify the applicant of the shortcomings.
- D. The decision period will resume when either the applicant indicates to the Director in writing that they are ready to proceed, or the Director notifies the applicant that the department has received sufficient information upon which to evaluate the application. If the new information submitted results in an application that is substantially different than the original, or requires additional review, a new ~~18~~ 21-day referral may be required prompting the ~~28~~ 35-day decision period to restart. When the decision period resumes and a new referral is not required, the Director shall have ten days or the remainder of the original ~~28~~ 35-day decision period, whichever is greater, to issue a determination.
- E. The Director may declare a Site Plan Review application withdrawn if the application is not completed within six months of the date of it either being deemed incomplete or

Exhibit A

suspended by the applicant or Director as permitted by this Code. The six-month withdrawal deadline may be extended should the Director determine that circumstances beyond the control of the applicant prevent timely completion of the application. If the application is withdrawn, a new application and new fee must be submitted to continue the project. If the application is not completed within 6 months of the date of being deemed incomplete or any subsequent suspension, the Director may declare the application withdrawn. The 6 month time frame may be extended should the Director determine that circumstances beyond the control of the applicant prevent a timely completion of the application.

4-806 Site Plan Review Standards

- A. All Site Plan Review applications shall be reviewed in accordance with the following standards which the Director has determined to be applicable based on the nature and extent of the proposed development. When two or more of the standards listed below conflict, the Director shall evaluate the applicability and importance of each of the conflicting standards under the facts of the specific application and make a reasonable attempt to balance the conflicting standards in reaching a site plan decision.
 - 1.—~~To provide a greater measure of certainty as to the applicable neighborhood relevant for comparison, the following definition of neighborhood shall be used to review proposed Site Plan Review applications:~~
 - a.—~~For applications inside platted subdivisions, which have seven or more developed lots, the neighborhood is that platted subdivision.~~
 - b.—~~For applications within the mapped historic townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, the neighborhood is defined as the mapped townsite.~~
 - c.—~~For applications outside of platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, the defined neighborhood is the area within 1,500 feet from the applicable parcel. The neighborhood shall not include any parcels inside municipal boundaries, platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Gold Hill Historic District, Raymond, and Riverside.~~
 - 2.—~~The size of the resulting development (residential or nonresidential) must be compatible with the general character of the defined neighborhood.~~
 - a.—~~In determining size compatibility of residential structures with the defined neighborhood, it is presumed that structures of a size within the larger of a total residential floor area of either (1) 125% of the median residential floor area for that defined neighborhood or (2) of a total residential floor area of 1,500 square feet in the mapped townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, or 2,500 square feet for all other areas of the County, are compatible with that neighborhood, subject also to a determination that the resulting size complies with the other Site Plan Review standards in this section 4-806-A.~~

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- (i) ~~The Boulder County Assessor's Records will be the base source of data to determine both the median size within that defined neighborhood as well as the existing residential floor area on a given parcel, as verified by Community Planning & Permitting staff for the subject parcel.~~
- (ii) ~~Median floor area will include the total residential floor area, as defined in Section 18-189D.~~
- b. ~~Either the applicant or the Director may demonstrate that this presumption limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood.~~
 - (i) ~~Factors to be considered when determining the adequacy of this presumption limitation and whether a proposed development can be excepted it can be overcome include:~~
 - (A) ~~The visibility of the proposed development from other private parcels within the defined neighborhood, as well as visibility from either public roads or open space both within and outside that defined neighborhood.~~
 - (1) ~~The proposed development must be minimally visible from the above-listed areas. Mitigation of visibility impacts may be achieved by:~~
 - (a) ~~the use of natural topography to screen the proposed development, or~~
 - (b) ~~underground construction to screen the proposed development; existing underground residential floor area may be considered, or~~
 - (c) ~~distance of the proposed development from other private parcels, public roads and open spaces.~~
 - (B) ~~The distribution of residential floor area within the defined neighborhood, taking into consideration the sizes (a minimum of two) adjacent to the subject property.~~
 - (1) ~~If the proposed development is able to overcome the size presumption due to the adjacent sizes, the size of the resulting development may not exceed the median residential floor area of those adjacent to the subject property that are over the size presumption.~~
 - (C) ~~For properties which are encumbered by a Boulder County conservation easement that specifies an allowable house size on that parcel, that specified home size is a factor to be considered in rebutting a compatible size presumption which is smaller than the house size defined in the conservation easement.~~
 - (D) ~~Significant adverse impacts demonstrated according to Standards 3 through 16 of this Section 4-806.A.~~
 - (E) ~~Demolition and rebuilding of legally existing residential floor area that is not in conflict with the other standards set forth in this Section 4-806.~~
 - (F) ~~Retrofitting of an existing structure for purposes of making a demonstrated energy efficiency improvement.~~

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~~(G) Existing residential floor area that already exceeds the compatible size presumption and has not been limited through a prior County land use approval.~~

~~(1) Up to a one-time maximum of 200 square feet of residential floor area may be granted under this factor.~~

~~(H) Historic structure(s) that are landmarked or otherwise protected cause the residential floor area to exceed the size presumption.~~

1. The location of existing or proposed buildings, structures, equipment, grading, or uses shall not impose an undue burden on public services and infrastructure.
2. The proposed development shall avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors. Natural hazards may be identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Site Plan Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies. Development within or affecting such natural hazards may be approved, subject to acceptable measures that will satisfactorily mitigate all significant hazard risk posed by the proposed development to the subject property and surrounding area, only if there is no way to avoid one or more hazards, no other sites on the subject property can be reasonably developed, or if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria standards.
3. The site plan shall satisfactorily mitigate the risk of wildfire both to the subject property and those posed to neighboring properties in the surrounding area by the proposed development. In assessing the applicable wildfire risk and appropriate mitigation measures, the Director shall consider the referral comments of the County Wildfire Mitigation Coordinator and the applicable fire district, and may also consult accepted national standards as amended, such as the Urban-Wildland Interface Code; National Fire Protection Association (NFPA); International Fire Code; and the International Building Code.
4. The proposed development shall not alter historic drainage patterns and/or flow rates or shall include acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including without limitation the Boulder County Storm Drainage Criteria Manual, hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies, all as applicable given the context of the subject property and the application.

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5. The development shall avoid significant natural ecosystems or environmental features, including but not necessarily limited to riparian corridors and wetland areas, plant communities, and wildlife habitat and migration corridors, as identified in the Comprehensive Plan or through the Site Plan Review process. Development within or affecting such areas may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review ~~criteria~~ standards.
6. The development shall avoid agricultural lands of local, state or national significance as identified in the Comprehensive Plan or through the Site Plan Review process. Development within or affecting such lands may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review ~~criteria~~ standards.
7. The development shall avoid significant historic or archaeological resources as identified in the Comprehensive Plan or the Historic Sites Survey of Boulder County, or through the Site Plan Review process. Development within or affecting such resources may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review ~~criteria~~ standards.
8. The development shall not have a significant negative visual impact on the natural features or neighborhood character of surrounding area. Development shall avoid prominent, steeply sloped, or visually exposed portions of the property. Particular consideration shall be given to protecting views from public lands and rights-of-way, although impacts on views of or from private properties shall also be considered. Development within or affecting features or areas of visual significance may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review ~~criteria~~ standards.
 - a. In reviewing development proposals in the Peak-to-Peak Scenic Corridor Area, special attention will be paid to the visibility of the development from the Peak-to-Peak Highway, with the intent to ensure development is minimally visible from the Highway.
 - b. For development anywhere in the unincorporated areas of the county, mitigation of visual impact may include changing structure location, reducing or relocating windows and glazing to minimize visibility, reducing structure height, changing structure orientation, requiring exterior color and materials that blend into the natural environment, and/or lighting requirements to reduce visibility at night.
9. The location of the development shall be compatible with the natural topography and existing vegetation and the development shall not cause unnecessary or

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excessive site disturbance. Such disturbance may include but is not limited to long driveways, over-sized parking areas, or severe alteration of a site's topography. ~~Driveways or~~ All earthwork and grading shall have a demonstrated associated Principal Use.

10. Access, including non-county maintained roads and driveways, shall meet the Boulder County Multimodal Transportation Standards, from the improvements on the subject property to a maintained public road. All driveways shall have a demonstrated associated Principal Use.
11. Runoff, erosion, and/or sedimentation from the development shall not have a significant adverse impact on the surrounding area.
12. The development shall avoid Natural Landmarks and Natural Areas as designated in the Goals, Policies & Maps Element of the Comprehensive Plan and shown on the Zoning District Maps of Boulder County. The protection of Natural Landmarks and Natural Areas shall also be extended to their associated buffer zones. Development within or affecting such Landmarks or Areas may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review ~~criteria standards~~.
- ~~13. Where an existing principal structure is proposed to be replaced by a new principal structure, construction or subsequent enlargement of the new structure shall not cause significantly greater impact (with regard to the standards set forth in this Section 4-806) than the original structure.~~
13. The proposal shall be consistent with the Comprehensive Plan, any applicable intergovernmental agreement affecting land use or development, and this Code.

4-807 Community Planning & Permitting Department Director's Determination

- A. If the Director finds in reviewing a site plan application that the application meets the applicable standards set forth in Section 4-806, the Director shall approve the site plan and the applicant can continue to process the building permit.
- B. If the Director finds that the application does not meet an applicable standard or standards, and that a reasonable basis for mitigation measures has been demonstrated, the Director shall approve the application with reasonable conditions that will avoid or acceptably mitigate the significant adverse impacts of the development. These conditions may include, but are not necessarily limited to the relocation or modification of proposed structures, additional landscaping, buffering, screening, relocation of access, or any other measures necessary to mitigate any significant impact or reduce hazards. The Director shall specify when the conditions shall be met.
- C. If the Director finds that the application does not meet an applicable standard or standards and that a reasonable basis for mitigation measures has not been demonstrated, the Director shall deny the application as proposed. The Director's determination must specify the reasons for the denial based upon the Site Plan Review standards in Section 4-806.

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- D. Once the Director issues a determination, the determination shall not be final, and no permit based upon the determination shall be issued, for 14 calendar days after the date of the determination, in order to allow time for the applicant to appeal, or for the Board of County Commissioners to call up the determination for further review, pursuant to Sections 4-808 and 4-809 of this Article. The Director's determination shall become final, and permits applied for in accordance with the determination may be issued, only after the expiration of this 14-day period, and only if the determination is not reviewed and acted upon by the Board of County Commissioners at a subsequent appeal or call-up hearing.

4-808 Applicant's Right of Appeal of a Conditional Approval or Denial

- A. If the Director denies a site plan or conditionally approves it with conditions to which the applicant objects, the applicant shall be entitled to appeal the Director's determination to the County Commissioners.
- B. The applicant must file an appeal for this purpose with the Community Planning & Permitting Department in writing received no later than 14 calendar days after the date of the Director's determination.
- C. The Board shall review the Director's determination at a public hearing held as soon as practical after the appeal has been filed. Prior written notice of this hearing shall be provided to the applicant and to property owners within 1,500 feet, and shall be published as part of the Board's agenda in a newspaper of general circulation in Boulder County.
- D. At the public hearing, the Board shall consider evidence related to the Director's determination which may be presented by the Director, the applicant, or interested members of the public. The Board shall not be limited in their review to the subject of the appeal, but may review any aspect of the site plan application. Based upon this evidence the Board may affirm the Director's decision, alter conditions, add new conditions, or reverse the Director's determination on any aspect of the Site Plan Review application. In the case of denial of a site plan, the Board shall state its reasons for its decision based upon the Site Plan Review standards in Section 4-806. No permit shall be issued until and unless the Board acts on the Director's determination at the public hearing, and approves the site plan.
- E. Any site plan application submitted by a public utility or a power authority providing electric or natural gas service, which relates to the location, construction, or improvement of a major electrical or natural gas facility as contemplated by Section 29-20-108, C.R.S., as amended, shall be considered to be a "final application" under Section 29-20-108 on which final County action in the event of an appeal shall be required to be taken within 90 days after submission of the application, or the application under Section 29-20-108 is deemed approved For purposes of this Subsection 4-808.E., "submission" shall be considered to be the submission of a complete application as required by this Article 4, including but not limited with respect to compliance with any applicable notice requirements to the mineral estate owners and lessees constituting less than full fee title in the subject property as required by Article 65.5 of Title 24, C.R.S.

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4-809 Board of County Commissioner's Review ("Call-up") of a Conditional Approval or Denial

- A. No permit may be issued for 14 calendar days after the date of the Director's approval.
- B. At the same time written approval of the site plan is provided to the applicant, the Director shall forward to the Board a written statement including:
 - 1. the location of the affected property,
 - 2. a description of the proposed development under the permit, and
 - 3. the basis for the Director's determination. The Director's determination can be either that there is no significant adverse impact, that the significant adverse impacts can be avoided or acceptably mitigated through the conditions imposed as specified in the statement, or that the application be denied for reasons specified in the statement.
- C. Upon receiving the Director's statement, and no later than 14 calendar days after the date of the approval, the Board may call the Director's determination up for review before the Board. The call-up generally shall be made by the Board at a public meeting convened within this 14-day period. However, if it is not practical for the Board to convene a public meeting for this purpose within the 14-day period, any member of the Board may authorize a call-up within the 14-day period, which call-up shall be effective provided that the Board subsequently ratifies the call-up at a public meeting held within a reasonable period of time after the 14-day period expires.
 - 1. The Board shall review the Director's determination at a public hearing held as soon as practical after the Director's determination. Prior written notice of this hearing shall be provided to the applicant and to property owners within 1,500 feet and shall be published as part of the Board's agenda in a newspaper of general circulation in Boulder County.
- D. At the public hearing, the Board shall consider evidence related to the Director's determination which may be presented by the Director, the applicant, or interested members of the public. The Board shall not be limited in their review to the subject of the call-up, but may review any aspect of the site plan application. Based upon this evidence, the Board may affirm the Director's decision, alter conditions, add new conditions, or reverse the Director's determination on any aspect of the Site Plan Review application. In the case of denial of a site plan, the Board shall state its reasons for its decision based upon the Site Plan Review standards in Section 4-806. No permit shall be issued until and unless the Board acts on the Director's determination at the public hearing and approves the site plan.
- E. Any site plan application submitted by a public utility or a power authority providing electric or natural gas service, which relates to the location, construction, or improvement of a major electrical or natural gas facility as contemplated by Section 29-20-108, C.R.S., as amended, shall be considered to be a "final application" and Section 29-20-108 on which final County action in the event of a call-up shall be required to be taken within 90 days after submission of the application, or the application under Section 29-20-108 is deemed approved. For purposes of this Subsection 4-808.E., "submission" shall be considered to be the submission of a complete application as

Exhibit A

required by this Article 4, including but not limited with respect to compliance with any applicable notice requirements to the mineral estate owners and lessees constituting less than full fee title in the subject property as required by Article 65.5 of Title 24, C.R.S.

4-810 The Effect of an Approved Site Plan

- A. A Site Plan Review determination or Expedited Site Plan Review determination ~~to waive Site Plan Review~~ shall expire 3 ~~three~~ years from the date the application was approved.
- B. The approval of a site plan by the Director does not result in the vesting of development rights, nor does it permit the violation of any county or state regulations to preclude the Building Official from refusing to issue a permit if the plans and specifications do not comply with applicable regulations, or that the work described in the application for the permit does not conform to the requirement of the Uniform Building Code as adopted by Boulder County.

4-811 Amendments to an Approved Site Plan

- A. Any proposal to change a site plan approved under this Article shall require a request to the Community Planning & Permitting Department to determine whether the proposed change constitutes a substantial modification to the approved plan. If the Director determines that the change constitutes a substantial modification, no such change shall be allowed to proceed until an application to amend the approved site plan is filed with the Director and approval granted in accordance with this Article. The applicant or its successor may appeal the Director's decision to require an amended site plan to the Board of County Commissioners, provided that any such appeal shall be in writing and shall be filed with the Community Planning & Permitting Director no later than 30 days following the date of the Director's decision to require a site plan amendment.

Article 4-1000 Nonconforming Structures and Uses

4-1002 Nonconforming Structures

- A. A nonconforming structure is any existing structure which does not conform to the structure regulations of this Code for the zoning district in which such nonconforming structure is located, as a result of either (1) the adoption or amendment of this Code, or (2) a final county administrative or judicial decision precluding Boulder County from enforcing this Code specific to a structure on the basis of estoppel, laches, or waiver.
 - 1. For the purposes of these regulations, structure(s) with Existing Floor Area as of May 13, 2025 that exceeds the zoning district Residential Floor Area maximum shall not be considered Nonconforming Structures.

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Article 4-1200 Board of Adjustment

Article 4-1202 Standards of Review

- A. Appeals to the Board of Adjustment may be taken by any person aggrieved by any decision of the Community Planning & Permitting Director or County Engineer made in the course of the administration or enforcement of Article 4 or any related provision of this Code, unless the Code provides that the decision will be appealed to the Board of County Commissioners.
- B. An application for an appeal must be made within 30 days after the Director or County Engineer makes a written decision on the matter being appealed. The 30 days shall start to run on the third day after the date of mailing of the decision to the last known address of the person concerning whom the decision is made. If not appealed to the Board of Adjustment the decision shall be final.
- C. The process for filing an appeal and specifics regarding the public hearing before the Board of Adjustment are outlined in Article 3 of this Code.
- D. Appeals to the Board of Adjustment related to any matters under Article 12, Special Review for Oil and Gas Operations, must be specifically permitted under Article 12.
- E. Any party to a proceeding before the Board of Adjustment may appeal the Board of Adjustment's final decision under C.R.C.P. 106(a)(4).

Article 18 Definitions

18-117A Breezeway

A covered passage connecting two structures (such as a house and garage) that is open on two sides; breezeways may not be enclosed with walls, glass, or screens.

18-123A Carport

A structure or portion of a structure intended to cover an area and provide shelter. A Carport consists of a roof and support elements and shall be open on at least two sides. The area of a Carport is measured to the drip line of the roof above when the structure is supported with columns only. If the carport has a wall the structure is measured to the outside of the walls for that side only.

18-179C Neighborhood

- A. For ~~applications~~ Parcels inside platted subdivisions, which have seven or more developed lots, the neighborhood is that platted subdivision.
- B. For ~~applications~~ Parcels within the mapped historic Townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, the neighborhood is the mapped historic Townsite.
- C. For ~~applications~~ Parcels outside of platted subdivisions with seven or more developed lots or the Townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, the neighborhood is the area within 1,500 feet from the applicable Parcel .The

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neighborhood shall not include any Parcels inside municipal boundaries, platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Gold Hill Historic District, Raymond, and Riverside.

18-189D Residential Floor Area

For the purposes of ~~Site Plan Review and the presumptive size thresholds associated with the Expanded Transfer of Development Rights Program and the application of zoning district Floor Area regulations~~, Residential Floor Area includes all attached and detached Floor Area (as defined in 18-162) on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, storage sheds, home offices, and workshops. (Exemptions: Gazebos, carports, solar parking canopies, detached greenhouses, renewable energy storage facilities, breezeways, structures that do not require a building permit in accordance with Article 17-300, and hoop houses up to a total combined size of 400 square feet.)

Article 19 Procedures Following Disasters

Article 19-500 Marshall Fire (December 2021)


C. Fire-Damaged/Destroyed Structures Eligible for Expedited Rebuilding

3. Proposed construction that is outside the scope of the defined parameters outlined in Section 19-500.F may be undertaken if approved under the applicable provisions of the other articles of this Code, such as Site Plan Review.
 - a. Projects outside of the scope of the defined parameters outlined in Section 19-500.F shall be reviewed according to the Site Plan Review and zoning district regulations in effect at the time of the Fire.



PARCEL REPORT: 146115005006

Property Information

R0034894			Site Address(es)		
			228 ALPINE WAY		
			Owner(s)		
			FLYNN CHRISTOPHER & NATHALY		
		Mailing Address(es)			
		228 ALPINE WAY , BOULDER CO 80304-0406			
		Abbreviated Legal Description			
		LOT 359 PINE BROOK HILLS 7			
Estimated Parcel Size as Drawn		Parcel Size used in Valuation		Zoning	
76,360 sq.ft. (1.75a.)		1.7529 acres		(F) Forestry, 1.75 Acres	
Fire Response Provider				Wind Load	
BOULDER MOUNTAIN FIRE				165 mph	
				Snow Load	
				50 lbs/sqft	
Floodplain				STR	
Boulder County: NOT PRESENT				S23 - T1N - R71W	
FEMA: X (1.75 Acres)					
Boulder County Open Space				Plats	
NOT PRESENT				PINE BROOK HILLS UNIT 7 (1.75 Acres)	

Structure Details

Account	Building	Built	Remodeled	Bedrooms	Bath Full	Bath 3/4	Bath 1/2
R0034894	1	1974	2020	4	3	0	0
Class / Design / Construction							
SINGLE FAM RES IMPROVEMENTS / Split-level / Mountains							
Floor Area Description					Floor RFA	Floor Not RFA	
FIRST FLOOR (ABOVE GROUND) FINISHED AREA					960		
2ND FLOOR AND HIGHER FINISHED AREA					500		
LOWER LVL WALKOUT FINISHED (BI-SPLIT LVL)					796		
ATTACHED GARAGE AREA					584		
DECK AREA						708	
PATIO AREA						637	
PORCH AREA						378	
Parcel Total					Total RFA	Total Not RFA	Total Area
Parcel Total					2,840	1,723	4,563
Account	Building						
R0034894	1						
CONST - Commercial: Frame		EXT_WALL_PRIMARY: Frame Wood/Shake			FOUNDATION: Concrete		
HEATING: Forced Air		INTERIOR: Drywall			LAND_PERCENT: 55% LAND RATIO		
ROOF_COVER: Asphalt		ROOF_DSN: Gable			SIZE_ADJ: 1 - SIZE_ADJ		
WINDOWS: Wood Thermopane							

Application, License, and Permit History

Record Type Appeal of Interpretation			ID Number AP-25-0002	
Name Flynn Appeal				
Application Date 7/15/2025	Record Status In Process	Status Date 7/15/2025	Public Documents 7	Assigned DCASE
Record Type PreApplication Conference			ID Number PAC-25-0124	
Name Parker				
Description SPR/W - Build a new addition to the existing home to expand the original small bedrooms and construct a new detached garage with gym on the 2nd floor per W.Jefferies./FJD				
Application Date 4/9/2025	Record Status PAC Held	Status Date 4/15/2025	Public Documents 1	Assigned AKNOTTS
Record Type OWTS Property Transfer			ID Number PTC-2025-0033	
Application Date 2/25/2025	Record Status Certificate Issued	Status Date 3/4/2025	Public Documents 1	
Record Type Furnace			ID Number BP-24-0375	Value \$10,321
Description Install Furnace				
Application Date 2/15/2024	Record Status Permit Issued	Status Date 2/16/2024	Public Documents 2	Disaster No
Record Type Reroofing			ID Number BP-21-2355	Value \$5,100
Description Reroof residence using Owens Corning TruDefinition Duration in Onyx Black.				
Application Date 9/23/2021	Record Status Permit Issued	Status Date 9/24/2021	Public Documents 2	Disaster No
Record Type OWTS Property Transfer			ID Number PTC-2021-0168	
Application Date 5/10/2021	Record Status Certificate Issued	Status Date 5/21/2021	Public Documents 1	

Application, License, and Permit History

Record Type OWTS Property Transfer			ID Number PTC-2015-0049102	
Application Date 9/17/2015	Record Status Certificate Issued	Status Date 9/24/2015	Public Documents 0	
Record Type OWTS Major Repair			ID Number MAJP-2001-0033555	
Application Date 5/9/2001	Record Status System Approved	Status Date 12/18/2001	Public Documents 0	
Record Type Residential Addition			ID Number BP-90-1001	Value \$41,619
Description GARAGE/ADD MASTER BEDROOM				
Application Date 8/29/1990	Record Status	Status Date	Public Documents 2	
Record Type New Residence			ID Number BP-73-17991	Value \$23,000
Description SINGLE FAM DWELLING				
Application Date 1/1/1973	Record Status	Status Date	Public Documents 1	
Record Type OWTS New System			ID Number NEWP-1900-0026021	
Application Date 1/1/1900	Record Status System Approved	Status Date 1/1/2010	Public Documents 0	

Recent Deeds

Type	Reception No	Date	Amount	Grantee Grantor
WARRANTY DEED				FLYNN CHRISTOPHER & NATHALY
4078986	3/10/2025	\$2,100,000		MARSHALL EMILY
WARRANTY DEED-JOINT TENANT				MARSHALL EMILY
03888077	5/20/2021	\$1,400,000		GREGG VALETA
WARRANTY DEED				GREGG VALETA
3478500	9/28/2015	\$740,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				CATHEY W THOMAS JR TRUST &
2304836	7/2/2002	\$0		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				GRAAFF JANET
2304839	7/2/2002	\$605,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				
1861286-8	10/21/1998	\$0		
QUIT CLAIM DEED				
1089093	2/25/1991	\$0		
QUIT CLAIM DEED				
41124	10/27/1972	\$4,000		

Assessed Value

Account	Tax Year	Land	Structures	Total
R0034894	2025	\$406,600	\$1,092,400	\$1,499,000

Taxing Districts

[Mill Levy Breakdown](#)

COUNTY		
BOULDER CO TEMP HS SAFETY NET FUND	BOULDER COUNTY CAPITAL EXPEND FUND	BOULDER COUNTY CONTINGENCY FUND
BOULDER COUNTY DEVEL DISABILITY FUND	BOULDER COUNTY GENERAL OPERATING	BOULDER COUNTY HEALTH & HUMAN SERVICES
BOULDER COUNTY JUDGMENT LEVY FUND	BOULDER COUNTY PUBLIC WELFARE FUND	BOULDER COUNTY PUBLIC WORKS
BOULDER COUNTY REFUND ABATEMENT	BOULDER COUNTY RETIREMENT FUND	BOULDER COUNTY ROAD & BRIDGE
BOULDER COUNTY SELF INSURANCE FUND	BOULDER COUNTY SOLID WASTE FUND	
FIRE PROTECTION DISTRICT		
BOULDER MTN FIRE DIST GENERAL OPER		
LIBRARY DISTRICT		
BOULDER PUBLIC LIBRARY DISTRICT GENERAL		
SCHOOL DISTRICT		
BOULDER VALLEY RE2 ABATEMENT REFUND	BOULDER VALLEY RE2 BOND REDEMPTION	BOULDER VALLEY RE2 CAPITAL CONSTRUCTION
BOULDER VALLEY RE2 GENERAL OPERATING	BOULDER VALLEY RE2 OVERRIDES	BOULDER VALLEY RE2 TRANSPORTATION
BOULDER VALLEY RE-2 INSURANCE	BOULDER VALLEY RE-2 RESERVE	BOULDER VALLEY RE-2 TAX CREDIT
TRANSPORTATION DISTRICT		
RTD GENERAL OPERATING		
WATER DISTRICT		
PINE BROOK WATER BOND REDEMPTION	PINE BROOK WATER GENERAL OPERATING	

For More Information

Community Planning & Permitting Department
Building Safety & Inspection Services
2045 13th Street, Boulder, Co. 80302 – PO Box 471, Boulder, Co. 80306
303-441-3930 (Office)
www.bouldercounty.gov

http://scrchprod2017/BCPRODReportServer/PROD/BOCO/CPP_ParcelReport_BOCC/plorange

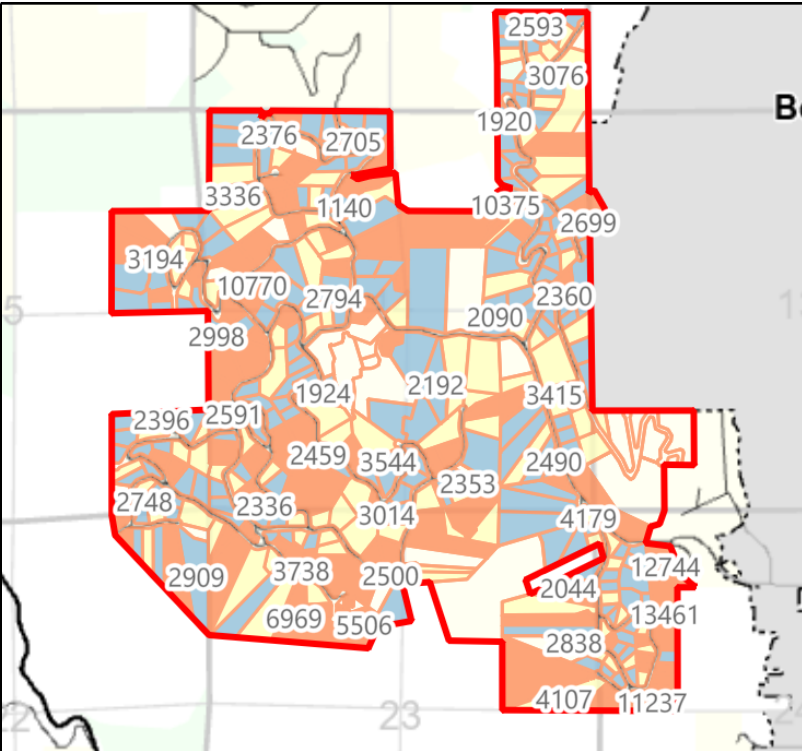


Preliminary Size Analysis

228 ALPINE WAY
FLYNN CHRISTOPHER & NATHALY

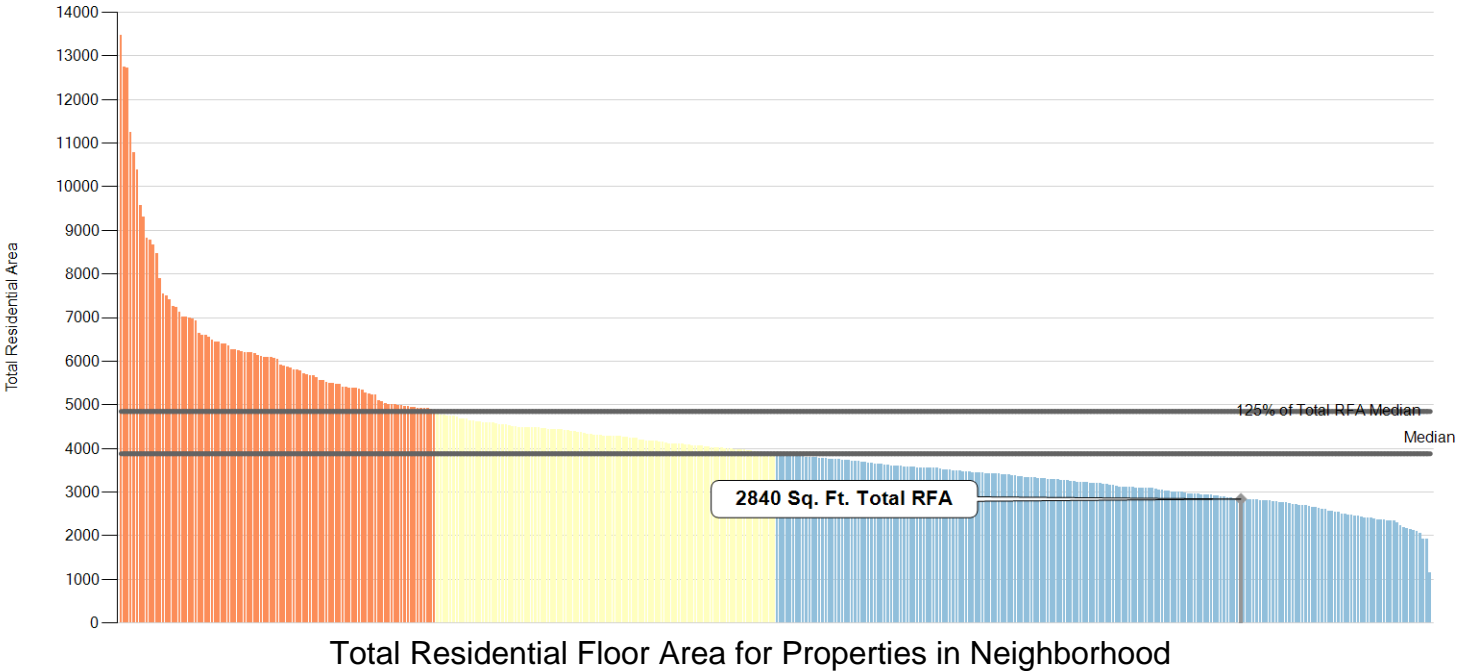
This report is not an indication of the developability of any parcel as other factors including legal building lot status, service availability, and access impact the development potential of property. Please note that this information is preliminary.

The information for the residential floor area comes from Assessor records and may not be entirely inclusive of the residential floor area on site. Outbuildings may have changed their function or modifications may have been made. Please contact the



125% of Neighborhood Median: 4,849 sq. ft. The Presumptive Size Maximum is 2,500 sq.ft. (1,500 in townsite) or 125% of the Neighborhood Median, whichever is greater.			
	Below Grade	Above Grade	Total Grade
Minimum sq. ft.	96	1,041	1,140
Median sq. ft.	1,346	2,677	3,879
Maximum sq. ft.	5,483	9,409	13,461
Sq. Ft. Changes since 9/8/98: 0 changes			
The following areas many affect the Site Plan Review: No areas found			

Type of Neighborhood: Subdivision (Subdivision)



Parcel	Address	Owner	Below	Above	Total
146124203031 (R0035002)	200 BOULDER VIEW LN	CALANO JAMES C	5,474	7,987	13,461
146124203030 (R0034995)	19 ARROWLEAF CT	CASTLE BLACK BOULDER LLC	5,483	7,261	12,744
146124203035 (R0034953)	34 BOULDER VIEW LN	34 BVL LLC	3,306	9,409	12,715
146124203036 (R0034954)	12 BOULDER VIEW LN	CHAVEZ WAYNE A ET AL	4,470	6,767	11,237
146114009005 (R0034640)	2692 LINDEN DR	GLEBE LAURA L & JASON E	3,054	7,716	10,770
146114004016 (R0034878)	100 VALLEY VIEW WAY	MITELMAN LILYA & RYAN S	4,631	5,744	10,375
146123017001 (R0502079)	1133 TIMBER LN	ANDERSON LIVING TRUST	2,623	6,949	9,572
146124203033 (R0034955)	80 BOULDER VIEW LN	STANCLIFFE TIMOTHY R &	2,099	7,214	9,313
146114015001 (R0034826)	250 PINE TREE LN	WILLIAMS MARY JANE	2,997	5,815	8,812
146123008001 (R0034788)	855 TIMBER LN	SEVEN SISTERS TRUST	1,930	6,835	8,765
146124203014 (R0034993)	333 S CEDAR BROOK RD	GHADIMI R NADER	2,421	6,250	8,671
146114017001 (R0034918)	1530 TIMBER LN	MSW GRAT TRUST 2	1,568	6,902	8,470
146114004012 (R0034712)	166 VALLEY VIEW WAY	LAPP FAMILY REVOCABLE	2,611	5,289	7,900
146115005008 (R0034937)	382 ALPINE WAY	POLIS ROBERT NATHAN	2,496	5,042	7,538
146114009006 (R0067764)	2554 LINDEN DR	ANDRUS DAVID L & MARTHA R	2,412	5,091	7,503
146114002005 (R0034812)	101 MEADOWLOOK WAY	WESTFALL SCOTT A & LESLIE	2,466	4,948	7,414
146115001004 (R0034892)	413 WILD HORSE CIR	JOSEPH RYAN P ET AL	1,579	5,682	7,261
146124214001 (R0085687)	1142 LINDEN DR	FORSYTHE ROBERT C & HEIDI	3,133	4,108	7,241
146124214002 (R0124427)	1024 LINDEN DR	REMMERT STEPHEN & SARAH	3,535	3,596	7,131
146114012001 (R0034723)	45 WILD HORSE CIR	FUGERE JAMES P & MARLENE	2,404	4,611	7,015
146124210002 (R0034971)	497 S CEDAR BROOK RD	HOOPER EVAN A III	2,720	4,281	7,001
146114007002 (R0034773)	805 PINE BROOK RD	ANDERSEN MARK L	2,405	4,585	6,990
146123004004 (R0034717)	200 ALDER LN	POWERS JOHN P	2,378	4,591	6,969
146124201001 (R0034983)	499 S CEDAR BROOK RD	CHRISTOPHER KAREN K	1,602	5,320	6,922
146114029001 (R0034830)	162 VALLEY VIEW WAY	SPROW FAMILY TRUST	1,214	5,430	6,644
146114012004 (R0034648)	67 WILD HORSE CIR	CARY P HENDRICKS TRUST	2,084	4,500	6,584
146114016003 (R0067671)	175 PINE TREE LN	BRIDWELL JOHN D & PHYLLIS	2,442	4,142	6,584
146114032002 (R0067761)	819 TIMBER LN	FLAT CRACKER LLC	0	6,558	6,558
146114004013 (R0101730)	483 N CEDAR BROOK RD	OTTOLINO PAUL & ANNA	2,283	4,195	6,478
146115001003 (R0034891)	409 WILD HORSE CIR	MYERS ELAINE P REVOCABLE	2,823	3,623	6,446
146114026002 (R0034574)	300 PINE NEEDLE RD	CAH13 LLC	3,272	3,160	6,432
146123014001 (R0034755)	229 ALDER LN	BRADFORD DOUGLAS KENT	2,392	3,998	6,390
146124203034 (R0034998)	52 BOULDER VIEW LN	COHEN MITCHELL &	0	6,386	6,386
146115001010 (R0034828)	337 WILD HORSE CIR	BACH LIVING TRUST	2,822	3,533	6,355
146123016001 (R0064540)	296 ALDER LN	HOUGHT ROMAN & PATRICIA	1,820	4,447	6,267
146114030001 (R0034666)	50 WILDWOOD LN	LUJAN MICHAEL TRUST	0	6,256	6,256
146123014002 (R0106523)	321 ALDER LN	PATEL NEIL & MARY BETH	1,002	5,243	6,245
146114023010 (R0146545)	222 HIGH VIEW DR	WIEDEMANN JOSEPHINE A	2,504	3,716	6,220
146115005007 (R0034936)	360 ALPINE WAY	CATHEY CHERILYNN I TRUST	2,259	3,938	6,197
146123011007 (R0034659)	75 ALDER LN	MYERS BRANDON ET AL	1,852	4,341	6,193
146114010004 (R0034817)	214 PINE BROOK RD	DODGE JOHN R & LESLIE B	1,370	4,818	6,188
146115010001 (R0034889)	132 WILDCAT LN	FAULKNER GEORGE H &	2,382	3,798	6,180
146114006008 (R0034649)	24 PINE BROOK RD	HUNEKE DANIEL CHASE	1,824	4,310	6,134
146114033001 (R0034718)	1901 LINDEN DR	BUELLER URIAH & DIANE	2,291	3,818	6,109
146123009008 (R0034991)	95 ACORN LN	WAYNE EDWARD JR	3,071	3,025	6,096
146122006008 (R0034884)	90 HAWK LN	FRIEDL FAMILY TRUST	1,851	4,238	6,089
146114019005 (R0034623)	395 TIMBER TRL	YOUNG LINDSAY & KYLE RITZ	2,745	3,338	6,083
146114008004 (R0034732)	535 PINE BROOK RD	COZZENS DEREK	2,483	3,590	6,073

Parcel	Address	Owner	Below	Above	Total
146124201002 (R0034979)	7 ACORN LN	PALMOS LEONIDAS	0	6,047	6,047
146123009003 (R0035001)	230 S CEDAR BROOK RD	TURNER JOHN M	2,084	3,829	5,913
146114032001 (R0034727)	807 TIMBER LN	ALLEN ROBERT MICHAEL &	0	5,896	5,896
146114009016 (R0034781)	2900 LINDEN DR	ANDERSEN JON R & LARA F	2,468	3,403	5,871
146114002010 (R0034809)	95 MEADOWLOOK WAY	PHOENIX TRUST	2,621	3,226	5,847
146114010003 (R0034734)	210 PINE BROOK RD	COLLOPY ALEJANDRA &	2,117	3,687	5,804
146123013009 (R0034868)	63 ALPINE WAY	SINGH PARAM I	1,300	4,495	5,795
146123007007 (R0034767)	1266 TIMBER LN	THEISS EDWARD P & MARY C	1,245	4,522	5,767
146114010005 (R0034769)	50 WAGNER CIR	GAAL PETER & DANIELA	1,336	4,380	5,716
146123011015 (R0034704)	313 ALDER LN	HOLUM KNUTE E & REBECCA	798	4,890	5,688
146111012002 (R0034614)	1285 N CEDAR BROOK	SMITH ROBERT JAMES &	1,999	3,673	5,672
146124201003 (R0034984)	57 ACORN LN	ARNOLDY MARK ET AL	759	4,912	5,671
146123013002 (R0034562)	280 ALDER LN	ALDER 280 POL LLC	1,581	4,035	5,616
146122006012 (R0034914)	225 BRISTLECONE WAY	JOHNSON GREGORY B	1,696	3,866	5,562
146123013010 (R0034861)	137 ALPINE WAY	HUPKA JEAN ANN REVOCABLE	2,792	2,760	5,552
146123011016 (R0034667)	315 ALDER LN	JOHNSON HAROLD L & KRISTA	1,808	3,698	5,506
146114012006 (R0034814)	1981 TIMBER LN	MENZIES PATRICK A & JANIA	1,899	3,592	5,491
146114008015 (R0034646)	2857 LINDEN DR	MADA PROFIT SHARING PLAN	2,280	3,209	5,489
146114009004 (R0067767)	2718 LINDEN DR	GETHOFFER TRUST	1,622	3,848	5,470
146123012002 (R0034690)	46 ALPINE WAY	JOHNSON ERIK B	1,466	4,003	5,469
146124210001 (R0067768)	495 S CEDAR BROOK RD	GOODWIN WALTER E &	0	5,412	5,412
146114007001 (R0034657)	3 WILDWOOD LN	WOODS CHRISTOPHER	2,262	3,138	5,400
146123007003 (R0034771)	500 TIMBER LN	DONICHT JOHN & KAY	2,694	2,683	5,377
146114009018 (R0034747)	2936 LINDEN DR	SCHIFF FAMILY TRUST	1,015	4,357	5,372
146115003001 (R0034886)	215 WILD HORSE CIR	SMITH KEVIN J & DORIS C	1,696	3,674	5,370
146122007001 (R0034901)	230 BRISTLECONE WAY	CZIRR KYLE LEE & LAUREN	636	4,717	5,353
146114017004 (R0034934)	1754 TIMBER LN	WALLINGFORD JOSEPH H	2,144	3,187	5,331
146114026008 (R0034684)	1206 LINDEN DR	KLINE MARIA C LORD	2,051	3,208	5,259
146124203021 (R0034966)	109 BOULDER VIEW LN	SCHULER PAUL	2,411	2,834	5,245
146114008013 (R0034816)	2695 LINDEN DR	BRENNER NATHANIEL JACOB	1,762	3,474	5,236
146123007009 (R0034697)	1032 TIMBER LN	MINDEN FAMILY TRUST	2,162	3,066	5,228
146114018008 (R0034639)	318 TIMBER LN	MERELL CHARLES PATRICK &	0	5,084	5,084
146124203020 (R0034968)	107 BOULDER VIEW LN	LEMAIRE WILLIAM J &	1,746	3,314	5,060
146114025003 (R0034772)	1211 LINDEN DR	HACKNEY TERRY L & VIRGINIA	1,408	3,610	5,018
146114016007 (R0034922)	1629 TIMBER LN	LEHNERT OSWALD A ET AL	1,561	3,453	5,014
146114002025 (R0034787)	174 N CEDAR BROOK RD	COLORADO LOHI PROPERTIES	2,490	2,522	5,012
146114012003 (R0034665)	2491 LINDEN DR	TRAVIS MICHAEL	1,866	3,134	5,000
146114011003 (R0034803)	188 WILD HORSE CIR	KENDALL PATRICIA R &	1,646	3,342	4,988
146114017005 (R0034899)	1788 TIMBER LN	PRATT BENJAMIN T ET AL	1,906	3,069	4,975
146114016002 (R0034858)	1741 TIMBER LN	VIEUX JEAN E REVOCABLE	1,253	3,713	4,966
146123011008 (R0034685)	123 ALDER LN	HUFF JAMES O & ANNE S	1,382	3,582	4,964
146114019011 (R0034827)	2039 LINDEN DR	POLIS MATTHEW & SHARI LEE	2,292	2,648	4,940
146114025010 (R0034842)	1577 LINDEN DR	HOUSTON ASHLEY	2,160	2,768	4,928
146114006004 (R0034784)	14 PINE BROOK RD	RICHARDSON MARTIN & GINA	1,496	3,428	4,924
146114010002 (R0034581)	148 PINE BROOK RD	BEAUPREZ MELVIN J & GALE	1,796	3,118	4,914
146114017011 (R0034911)	2371 LINDEN DR	GAIL JULIE	2,010	2,903	4,913
146114012007 (R0034756)	1959 TIMBER LN	HARMON LAURA A	1,066	3,841	4,907
146124203023 (R0034956)	177 BOULDER VIEW LN	KAY STEPHANIE M & ROBERT	2,010	2,892	4,902

Parcel	Address	Owner	Below	Above	Total
146123009005 (R0034982)	274 S CEDAR BROOK RD	DIGIULIAN SASHA & ERIK H	1,085	3,798	4,883
146124203017 (R0034969)	415 S CEDAR BROOK RD	LINDNER RICHARD E & EMILY	1,708	3,140	4,848
146114004011 (R0034711)	150 VALLEY VIEW WAY	SROKA DAVID H	1,744	3,027	4,771
146123011004 (R0034720)	500 PINE TREE LN	VAN HATTEN MICHAEL E	1,509	3,247	4,756
146111013007 (R0034751)	1204 N CEDAR BROOK	STEINMAN JOSEPH R & SARA	655	4,091	4,746
146124203019 (R0034965)	63 BOULDER VIEW LN	LAKE ETHAN T	1,014	3,727	4,741
146111013006 (R0034748)	1306 N CEDAR BROOK	LETTS BRIAN P & CATHERINE	1,512	3,226	4,738
146111014006 (R0034841)	772 N CEDAR BROOK RD	DOBBS STEVEN PATRICK &	1,288	3,432	4,720
146114002006 (R0034757)	99 MEADOWLOOK WAY	SCHIBLI THOMAS & HISAKO	1,192	3,480	4,672
146114031002 (R0616092)	1575 LINDEN DR	UPLAND CONSTRUCTION &	1,758	2,914	4,672
146114025013 (R0034845)	219 HIGH VIEW DR	HRE HOLDINGS III LLC	0	4,672	4,672
146123008004 (R0034752)	1145 TIMBER LN	PRENTICE STEWART ET AL	745	3,889	4,634
146114016006 (R0034943)	335 PINE TREE LN	MUNDINGER PAUL G & AMY B	1,962	2,659	4,621
146114008009 (R0034745)	301 PINE BROOK RD	RINDELS BRIAN L & CAROLYN	889	3,723	4,612
146114009017 (R0034624)	2990 LINDEN DR	LILLEY GEORGE W	2,290	2,310	4,600
146114023009 (R0034857)	220 HIGH VIEW DR	WIEDEMANN JOSEPHINE A	1,680	2,916	4,596
146122006004 (R0034898)	115 HAWK LN	BEER DIANA D	1,338	3,249	4,587
146114002017 (R0067749)	142 MEADOWLOOK WAY	YAFFE DAVID A ET AL	2,052	2,524	4,576
146114017010 (R0034930)	2433 LINDEN DR	BARLOW ARLETTE &	1,493	3,082	4,575
146114015003 (R0034729)	252 PINE TREE LN	LEY OLIVIA & ALEXANDER D	1,526	3,045	4,571
146114010006 (R0034768)	37 WAGNER CIR	KOTHMANN BARBARA	830	3,722	4,552
146123006001 (R0034895)	1472 TIMBER LN	WATERS RICHARD D JR	636	3,902	4,538
146114037002 (R0611286)	54 WILDWOOD LN	QUINN ROBERT P JR & JOYCE	1,610	2,928	4,538
146114010013 (R0034568)	925 PINE BROOK RD	KAPLAN RICHARD & DENISE	1,786	2,725	4,511
146115003002 (R0034925)	291 WILD HORSE CIR	GLOTZER JANE K & STEVEN P	1,820	2,671	4,491
146114003003 (R0034880)	60 N CEDAR BROOK RD	AISNER MICHAEL D	2,358	2,132	4,490
146114016001 (R0067670)	61 PINE TREE LN	STURR GREGORY G &	1,568	2,914	4,482
146114010015 (R0034736)	98 PINE BROOK RD	LOOSE GREGORY & JULIE	1,848	2,633	4,481
146114008011 (R0034777)	201 PINE BROOK RD	MOHR ROBERT S & NANCY E	1,113	3,362	4,475
146115005003 (R0034883)	227 BALSAM LN	MCPHERSON BRUCE D	1,288	3,179	4,467
146114004005 (R0034733)	193 N CEDAR BROOK RD	ERICKSON ERIC L &	1,333	3,134	4,467
146124203009 (R0034959)	57 FIR LN	WATERS DONNA MARIE	1,040	3,426	4,466
146114028001 (R0034569)	101 PINE NEEDLE RD	OMALLEY PATRICK D & ANN	1,580	2,886	4,466
146115004008 (R0034890)	178 BALSAM LN	DIXON MARGARET	0	4,457	4,457
146114009012 (R0034691)	2150 LINDEN DR	LILLYDAHL JANE H & WILLIAM	0	4,456	4,456
146114017009 (R0034946)	2064 TIMBER LN	HIRSHLAND LAURENCE S	1,394	3,045	4,439
146114026001 (R0034573)	312 PINE NEEDLE RD	CHEW ROBERT E	1,464	2,970	4,434
146124203006 (R0034960)	201 S CEDAR BROOK RD	ROGERS BRIAN D	1,914	2,514	4,428
146114023007 (R0034824)	224 HIGH VIEW DR	JONAS SCOTT H	1,959	2,466	4,425
146123010003 (R0034728)	86 S CEDAR BROOK RD	GIANNETTI DENNIS N & TERRI	2,202	2,220	4,422
146111014002 (R0067746)	98 RIDGE DR	JACKSON ROBERT P & LYNN B	1,205	3,215	4,420
146123018001 (R0605468)	80 ALDER LN	CDXUS LLC	2,278	2,122	4,400
146114017003 (R0034917)	1670 TIMBER LN	MISHEEV ROSS & AMY	1,919	2,472	4,391
146115006002 (R0034923)	407 ALPINE WAY	BENHAM BRIAN & STACEY	1,717	2,661	4,378
146123007006 (R0034746)	1330 TIMBER LN	TUPY JUDY ANN REV TRUST	2,136	2,238	4,374
146124203013 (R0034981)	271 S CEDAR BROOK RD	MALCHOW NANCY BISHOP	286	4,069	4,355
146124203001 (R0034985)	25 S CEDAR BROOK RD	SJS 25 S CEDAR BROOK	0	4,350	4,350
146114023003 (R0034580)	36 HIGH VIEW DR	CHERONIS ALEKIE KENT	1,544	2,776	4,320

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146111013005 (R0034617)	71 RIDGE DR	CONDON WILLIAM S II &	1,182	3,130	4,312
146123011009 (R0034689)	175 ALDER LN	DEUTSCHMAN ALFRED &	1,023	3,282	4,305
146122006002 (R0034909)	67 HAWK LN	BORTZ DAVID M & VANJA	764	3,534	4,298
146114002008 (R0034583)	584 N CEDAR BROOK RD	KANDALAFT JOYCE	0	4,292	4,292
146123018002 (R0605469)	25 ALPINE WAY	WAHLERT FAMILY LIVING	1,498	2,789	4,287
146124203022 (R0034977)	151 BOULDER VIEW LN	HUNTER LEIGH K	1,502	2,782	4,284
146115002002 (R0034939)	478 WILD HORSE CIR	THOMSON ANTONEE	1,372	2,908	4,280
146114016005 (R0034713)	239 PINE TREE LN	SUMMIT HEIGHTS LLC	1,397	2,881	4,278
146123013001 (R0069390)	228 ALDER LN	CARPENTER KURT L	1,716	2,551	4,267
146123013005 (R0034741)	168 ALDER LN	WOLF FRED E & ANNE E	672	3,595	4,267
146114002015 (R0034738)	168 MEADOWLOOK WAY	HENDERSON ROGER J &	1,398	2,858	4,256
146114006002 (R0034800)	1976 LINDEN DR	ZERVOS SARA J ET AL	96	4,152	4,248
146115004001 (R0034875)	114 BALSAM LN	KING-SMITH PETER & DELLA	1,404	2,836	4,240
146114023001 (R0034739)	873 TIMBER LN	DANIEL JOHN S	2,108	2,132	4,240
146114008016 (R0034758)	28 PINE BROOK RD	GROENDYK STEPHEN	1,201	3,028	4,229
146114018011 (R0034724)	480 TIMBER LN	HOEY GEORGE W & ERIN K	784	3,415	4,199
146123010001 (R0034821)	43 BEAVER WAY	JONES RACHEL	1,093	3,086	4,179
146123005001 (R0034908)	551 PINE TREE LN	PHIFER MICHAEL L	1,307	2,868	4,175
146114009002 (R0034820)	2810 LINDEN DR	CLEEVES VINCENT F JR &	1,200	2,972	4,172
146114034005 (R0510933)	275 TIMBER LN	MCNALLY VALERY REV LIV	1,368	2,804	4,172
146114027001 (R0034597)	82 PINE NEEDLE RD	VALENTINE JAME T &	1,430	2,741	4,171
146115002004 (R0034949)	594 WILD HORSE CIR	CURTIS KIMBERLY A	0	4,146	4,146
146114004007 (R0034796)	425 N CEDAR BROOK RD	AYERS HOWARD L & TERESA	972	3,168	4,140
146114025007 (R0034662)	1375 LINDEN DR	HOWARD BENJAMIN &	0	4,115	4,115
146123011001 (R0034686)	1307 TIMBER LN	KOSLOW ALEXANDER &	1,580	2,531	4,111
146123009009 (R0034961)	71 ACORN LN	ACORN WILDLIFE LLC	1,236	2,871	4,107
146123008005 (R0034586)	1151 TIMBER LN	JRB PROPERTY LLC	0	4,096	4,096
146115005004 (R0034910)	254 PINE TREE LN	CRUZ FLORENTINA E LIVING	0	4,095	4,095
146114019006 (R0067763)	341 TIMBER LN	MCFETRIDGE JOHN C &	1,626	2,464	4,090
146115002001 (R0034924)	412 WILD HORSE CIR	BUNDY KEVIN MICHAEL &	1,581	2,504	4,085
146114024001 (R0034676)	1596 LINDEN DR	ORLOWSKI JOHN & VICTORIA	1,338	2,742	4,080
146123008008 (R0034879)	859 TIMBER LN	BUSSINGER FOSTER TRUST	396	3,670	4,066
146122006010 (R0034945)	16 HAWK LN	SEIDNER ROBIN & CINDY A	1,728	2,336	4,064
146113305001 (R0034572)	324 PINE NEEDLE RD	PILLING AARON	1,220	2,833	4,053
146115002003 (R0034885)	562 WILD HORSE CIR	NICHOLS RYAN L & KRISTIN A	1,887	2,160	4,047
146114009001 (R0034628)	2879 LINDEN DR	THOMPSON ALAN J & DIANE L	0	4,025	4,025
146114026004 (R0034681)	1352 LINDEN DR	FELL JASON R	1,458	2,566	4,024
146114002004 (R0034839)	770 N CEDAR BROOK RD	WILSON LINDSAY	1,144	2,876	4,020
146123009013 (R0505766)	364 S CEDAR BROOK RD	CURTIS KEVIN R & DARLENE K	2,010	2,010	4,020
146124203003 (R0034976)	42 ARROWLEAF CT	SCHOLZ TRINA & ERIC R	696	3,321	4,017
146123007004 (R0034847)	1390 TIMBER LN	BODORFF NATASHA &	1,520	2,491	4,011
146115007002 (R0034903)	65 BRISTLECONE WAY	JUDD ELIZABETH ANN &	1,326	2,671	3,997
146114009011 (R0034764)	2300 LINDEN DR	DELILAHS HERBALS LLC	1,117	2,880	3,997
146123007010 (R0034696)	994 TIMBER LN	ACHESON WENDY LYNN	1,658	2,322	3,980
146113301001 (R0034571)	309 PINE NEEDLE RD	SIMS DAVID & MICHELE	488	3,483	3,971
146114034001 (R0510931)	725 TIMBER LN	MILLER BURKE & SANDRA	1,128	2,838	3,966
146124202003 (R0034975)	414 S CEDAR BROOK RD	MORTIZ KATHY LIVING TRUST	1,771	2,194	3,965
146111014005 (R0034837)	982 N CEDAR BROOK RD	FRANZ RYAN W & GRACE	1,040	2,919	3,959

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146123011002 (R0034585)	1309 TIMBER LN	LASHER MARTIN A & ILENE J	1,543	2,408	3,951
146114011001 (R0034661)	128 WILD HORSE CIR	UYESHIRO COURTNEY &	1,080	2,868	3,948
146124203024 (R0034957)	209 BOULDER VIEW LN	WEINSTEIN BRETT &	797	3,130	3,927
146114022001 (R0034865)	211 HIGH VIEW DR	SMITH KEVIN K	0	3,924	3,924
146114008012 (R0034700)	203 PINE BROOK RD	SHOKRGOZAR-HOLMES	781	3,140	3,921
146123013011 (R0034579)	159 ALPINE WAY	TAYLOR JENNIFER	0	3,907	3,907
146123009004 (R0034989)	238 S CEDAR BROOK RD	SCHAEFER ALEXANDER	1,759	2,146	3,905
146114021002 (R0034625)	785 TIMBER LN	LUBAR HOWARD S	0	3,893	3,893
146111012005 (R0034612)	1131 N CEDAR BROOK	RANNIGER STACIE L	636	3,246	3,882
146115004009 (R0034904)	298 BALSAM LN	COHAN CASEY & ALISON	1,020	2,857	3,877
146114002016 (R0034805)	166 MEADOWLOOK WAY	LILLIE NICHOLAS JAMES ET AL	1,652	2,224	3,876
146124203025 (R0034990)	225 BOULDER VIEW LN	RAMIG PETER R	1,641	2,232	3,873
146111012003 (R0034613)	1257 N CEDAR BROOK	HARTZELL DALE A & H KIM	0	3,850	3,850
146122006011 (R0034915)	2 HAWK LN	LARSON PAIGE M	1,200	2,638	3,838
146111012004 (R0034622)	1253 N CEDAR BROOK	AFFLERBACH MELISSA &	1,000	2,832	3,832
146114004009 (R0034749)	417 N CEDAR BROOK RD	GORDON ROB	918	2,908	3,826
146114002022 (R0034740)	330 N CEDAR BROOK RD	SITTERLEY SAMANTHA &	1,154	2,655	3,809
146114020005 (R0034862)	1789 LINDEN DR	RIESS PETER LEWIS ET AL	1,640	2,168	3,808
146123005003 (R0034919)	375 PINE TREE LN	KOPROWSKI BRION C	1,446	2,357	3,803
146114028003 (R0034566)	295 PINE NEEDLE RD	PAUL CAREN & MARK	1,186	2,607	3,793
146114007003 (R0034638)	795 PINE BROOK RD	LEONARD JED P & MELISSA A	1,438	2,353	3,791
146124203002 (R0034978)	1011 LINDEN DR	JESSEE WILLIAM KENT	844	2,946	3,790
146115010002 (R0034888)	138 WILDCAT LN	CRONSHAW MARK B	1,440	2,336	3,776
146124203004 (R0034994)	65 ARROWLEAF CT	PREISER ALEXANDER & JODY	2,010	1,764	3,774
146114006007 (R0034877)	20 PINE BROOK RD	LEJA HEATHER PURCELL	1,304	2,467	3,771
146114009013 (R0067752)	2146 LINDEN DR	HENTHORN M PETER &	1,466	2,286	3,752
146123011006 (R0034687)	49 ALDER LN	WERELEY ANDREW	1,140	2,611	3,751
146114024002 (R0034677)	105 N CEDAR BROOK RD	HOCK SAMUEL LUCAS	1,107	2,641	3,748
146123011010 (R0034866)	191 ALDER LN	KLEIN CHRISTOPHER &	969	2,769	3,738
146124202002 (R0034973)	4 ACORN LN	ROSE JEFFREY	1,689	2,044	3,733
146124203029 (R0035004)	15 ARROWLEAF CT	RAMACHANDRAN DUSH	0	3,724	3,724
146115003003 (R0034932)	333 WILD HORSE CIR	WELLMAN DEBRA ANN &	1,512	2,208	3,720
146114002012 (R0034644)	115 MEADOWLOOK WAY	RAFII CYRUS AMIR & SUSAN	1,518	2,193	3,711
146115001011 (R0034905)	335 WILD HORSE CIR	GRAY MARTIN B & EVELYN M	1,580	2,126	3,706
146115001001 (R0034882)	535 WILD HORSE CIR	ISERN JUDITH OCHS &	1,444	2,261	3,705
146114009008 (R0034779)	2394 LINDEN DR	CULLEN MATTHEW B & DARA	1,489	2,193	3,682
146124203018 (R0034974)	455 S CEDAR BROOK RD	BUSTAMANTE CARLA V &	1,348	2,327	3,675
146111012008 (R0034610)	1043 N CEDAR BROOK	NAGLE DIERDRE S &	1,832	1,832	3,664
146114017012 (R0034913)	2315 LINDEN DR	KAEDE LLC	1,256	2,400	3,656
146111013008 (R0034602)	1234 N CEDAR BROOK	LADWIG MATTHEW W &	1,056	2,592	3,648
146114017006 (R0034921)	1822 TIMBER LN	KRONMAN ROSS & GESUALDA	1,820	1,820	3,640
146114006005 (R0034795)	2030 LINDEN DR	COPELAND KARA S & F KENT	1,509	2,125	3,634
146123012001 (R0034564)	82 ALPINE WAY	FAD THOMAS E & CORINA K	1,562	2,046	3,608
146114028002 (R0034567)	145 PINE NEEDLE RD	SWANSON RUSSELL J	624	2,981	3,605
146114018014 (R0067759)	766 TIMBER LN	ZALK JULIE L	1,092	2,512	3,604
146114017008 (R0034601)	1942 TIMBER LN	SNYDER WILL R & LAUREN A	880	2,720	3,600
146111013001 (R0034618)	1326 N CEDAR BROOK	CURRAN MARIA	1,435	2,163	3,598
146114002002 (R0034584)	966 N CEDAR BROOK RD	GRAY RICHARD C & JEANNE	1,650	1,935	3,585

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146114025004 (R0034591)	1283 LINDEN DR	MCKENNA EILEEN T	1,340	2,240	3,580
146123010002 (R0034825)	59 BEAVER WAY	HAUGH BRADY & BRIANA	1,040	2,540	3,580
146114011005 (R0034940)	555 WILD HORSE CIR	PALEN HAUKENESS	860	2,712	3,572
146114011004 (R0034786)	212 WILD HORSE CIR	HARSH JOHN R & MARGARET	1,968	1,603	3,571
146114025008 (R0034663)	1377 LINDEN DR	FEINBLUM BARNET M & JULIE	990	2,568	3,558
146115004002 (R0067879)	120 BALSAM LN	MONROY SARAH J	1,373	2,183	3,556
146123011005 (R0034721)	458 PINE TREE LN	NELSON JOHN THOMAS	1,276	2,274	3,550
146114004015 (R0067748)	91 VALLEY VIEW WAY	SALTMARSH THOMAS	945	2,602	3,547
146115007004 (R0034897)	293 ALPINE WAY	SEBSTAD JENNEFER	1,500	2,046	3,546
146114019002 (R0067762)	641 TIMBER LN	HALPERIN LISA & PETER	0	3,544	3,544
146122006009 (R0034950)	60 HAWK LN	HOWL FAMILY TRUST	1,531	2,011	3,542
146122006001 (R0034896)	27 HAWK LN	MOORE SARA MANN &	1,398	2,138	3,536
146115007003 (R0034942)	25 BRISTLECONE WAY	KIMBALL LYNN J	1,533	1,972	3,505
146123010005 (R0034881)	66 BEAVER WAY	KELLER WOLFGANG & CAROL	0	3,496	3,496
146114006006 (R0034679)	18 PINE BROOK RD	CURTIS IVORY & SCOTT H	801	2,695	3,496
146114004010 (R0034582)	445 N CEDAR BROOK RD	ZIMMER-REED LAURAJANE &	1,386	2,106	3,492
146114002030 (R0508690)	196 N CEDAR BROOK RD	ROBINSON BENNETT LEE &	0	3,491	3,491
146114010014 (R0034735)	1010 PINE BROOK RD	STIMPSON THOMAS B &	608	2,868	3,476
146114018012 (R0034807)	570 TIMBER LN	GERBER GREGORY &	1,734	1,734	3,468
146114002014 (R0034759)	194 MEADOWLOOK WAY	SCULLY MUSIAL FAMILY	392	3,076	3,468
146115005002 (R0034926)	225 BALSAM LN	MONTGOMERY KENNETH	1,653	1,809	3,462
146114017002 (R0034920)	1614 TIMBER LN	DOUAIRE GEORGE F IV &	1,080	2,366	3,446
146114012009 (R0034791)	76 PINE TREE LN	MARKEY ARTHUR A	1,406	2,028	3,434
146123007001 (R0034698)	948 TIMBER LN	MARTIN REED & REBECCA	1,124	2,308	3,432
146115001006 (R0034941)	415 WILD HORSE CIR	MYERS DAVID M	1,088	2,341	3,429
146115001007 (R0034907)	417 WILD HORSE CIR	PETERSON CAMERON R &	1,900	1,528	3,428
146114009003 (R0034760)	2794 LINDEN DR	SCHLAG HYDE FAMILY TRUST	638	2,780	3,418
146124202001 (R0035006)	58 ACORN LN	NORDQUIST JAKE & DANA	1,232	2,185	3,417
146114026003 (R0034629)	1354 LINDEN DR	WEBER YVONNE B ET AL	1,100	2,315	3,415
146114014001 (R0034693)	150 PINE TREE LN	EVANS CYNTHIA G	1,601	1,812	3,413
146114002021 (R0034790)	450 N CEDAR BROOK RD	HEATH GREGORY F & PAMELA	1,632	1,768	3,400
146111013004 (R0067747)	1280 N CEDAR BROOK	L MINISTRY	1,129	2,268	3,397
146114013002 (R0034874)	104 PINE TREE LN	BURNS RALPH EUGENE	912	2,474	3,386
146122006003 (R0034944)	93 HAWK LN	PARSEY RAMIN VAZIRI REV	0	3,384	3,384
146114015005 (R0034848)	316 PINE TREE LN	REYNOLDS JOHN M	1,552	1,816	3,368
146114002029 (R0508689)	194 N CEDAR BROOK RD	KING RYAN & KATHLEEN	1,392	1,968	3,360
146114008003 (R0034775)	619 PINE BROOK RD	RIDLEY BRIAN A & SONIA K	1,436	1,916	3,352
146114008010 (R0034831)	211 PINE BROOK RD	SPITZ GLENN & PATRICE	1,271	2,065	3,336
146111012007 (R0034603)	901 N CEDAR BROOK RD	RYBCZYNSKI MARCIN P &	860	2,470	3,330
146114018013 (R0034726)	872 TIMBER LN	LAUSTEN LAUREN O & KEVIN	1,232	2,096	3,328
146124203015 (R0034964)	365 S CEDAR BROOK RD	WOLFORD DONNA E	1,440	1,880	3,320
146114013001 (R0062872)	102 PINE TREE LN	MARSHALL WILLIAM S &	912	2,406	3,318
146114002003 (R0034604)	810 N CEDAR BROOK RD	MCCRAY MICHAEL A	929	2,382	3,311
146124203005 (R0034999)	163 S CEDAR BROOK RD	SMITH LIVING TRUST	1,365	1,941	3,306
146114001001 (R0034794)	607 N CEDAR BROOK RD	SILVERMAN LESLIE L LIVING	1,328	1,967	3,295
146114004008 (R0034709)	371 N CEDAR BROOK RD	FLATIRONS 42 LIMITED	1,404	1,884	3,288
146123005002 (R0034928)	1531 TIMBER LN	FRANKLIN RICHARD M	1,502	1,782	3,284
146114012008 (R0034670)	40 PINE TREE LN	BRANYAN WILLIAM R & KAREN	752	2,528	3,280

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146114023006 (R0034750)	226 HIGH VIEW DR	FOZZARD RICHARD & JAN L	841	2,431	3,272
146114018006 (R0034731)	200 TIMBER LN	GERCHAR TIMOTHY K &	570	2,702	3,272
146123013006 (R0034829)	128 ALDER LN	TRIGGS TIMOTHY E &	900	2,368	3,268
146114009010 (R0034770)	2322 LINDEN DR	TUERK TRACY TRUST	1,366	1,872	3,238
146114019003 (R0034799)	565 TIMBER LN	LIU JESSICA	1,539	1,692	3,231
146114010012 (R0034722)	792 PINE BROOK RD	MIRACLES HAPPEN CA LLC ET	1,350	1,878	3,228
146123011003 (R0034660)	1431 TIMBER LN	OFFEN-ROVTAR KADY	1,564	1,663	3,227
146114018003 (R0034599)	174 TIMBER LN	HADDAD RON G & EILEEN	702	2,520	3,222
146114025006 (R0034570)	1373 LINDEN DR	BENNETT NOEL H & SHANNON	1,320	1,896	3,216
146115001008 (R0067880)	419 WILD HORSE CIR	EARL ARTHUR J	720	2,488	3,208
146124203032 (R0034970)	140 BOULDER VIEW LN	HAVLICK ERIK	1,070	2,126	3,196
146115003004 (R0034933)	145 WILD HORSE CIR	145 WILD HORSE LLC	1,240	1,955	3,195
146115001005 (R0034912)	411 WILD HORSE CIR	JONES LEWIS B	1,597	1,597	3,194
146114019004 (R0034766)	463 TIMBER LN	TRAVERS MARK AARON &	1,065	2,107	3,172
146115004007 (R0034887)	151 WILDCAT LN	LEVI ROBERT BEN	1,059	2,111	3,170
146114008006 (R0034699)	439 PINE BROOK RD	BACH JENNIFER L	1,240	1,922	3,162
146114025002 (R0034798)	18 BEAVER WAY	SMITH ERIC D & HANA S	1,172	1,978	3,150
146114018010 (R0034674)	406 TIMBER LN	WEINBERGER DANIEL & JANA	1,272	1,858	3,130
146114026005 (R0034682)	1350 LINDEN DR	KOHLER MARCIA L KIRSH &	1,246	1,870	3,116
146114008008 (R0034714)	345 PINE BROOK RD	FRANCE ROBERT A & PAMELA	798	2,314	3,112
146124203008 (R0034958)	35 FIR LN	GRIFFIN RICHARD L & ANITA S	928	2,183	3,111
146114025001 (R0034813)	44 BEAVER WAY	STREETS JENNIFER R &	1,521	1,578	3,099
146114002018 (R0034855)	118 MEADOWLOOK WAY	DOWNING DAVID C &	997	2,102	3,099
146115006001 (R0034900)	50 BRISTLECONE WAY	GARRARD JAMES H &	1,188	1,906	3,094
146115005005 (R0034938)	208 ALPINE WAY	ROTHERY RICHARD	1,293	1,797	3,090
146123010006 (R0034783)	46 BEAVER WAY	KUHN JEFFREY A & SARA	1,531	1,551	3,082
146114002013 (R0034789)	153 MEADOWLOOK WAY	SHAFFER BROOK ET AL	552	2,528	3,080
146111014003 (R0034838)	36 RIDGE DR	ODOM DAVID LEE &	836	2,240	3,076
146114025009 (R0034840)	1579 LINDEN DR	BARNES KATHLEEN C	820	2,256	3,076
146114020001 (R0034680)	727 TIMBER LN	CLARK ROBERT O & MELISSA	1,179	1,896	3,075
146115008002 (R0068056)	160 BRISTLECONE WAY	WOODS VERONICA BONNIE &	1,198	1,851	3,049
146114015004 (R0034672)	304 PINE TREE LN	ZALK STEPHEN L & STACEY J	672	2,365	3,037
146114008001 (R0034576)	784 BOW MOUNTAIN RD	MITCHELL JACK	1,512	1,512	3,024
146123007002 (R0034806)	548 TIMBER LN	OLLIVER ROBERT P	1,446	1,568	3,014
146114006009 (R0034808)	16 PINE BROOK RD	EDELSTEIN HARRIET &	0	3,008	3,008
146111012010 (R0034621)	997 N CEDAR BROOK RD	WEBER CHRISTINA A & JAY M	0	2,999	2,999
146114012005 (R0034793)	69 WILD HORSE CIR	MESTDAGH MARGIT & STEVEN	0	2,998	2,998
146111012009 (R0034609)	1011 N CEDAR BROOK	CUCURULL LIDIA LIVING	1,024	1,972	2,996
146123009006 (R0034962)	304 S CEDAR BROOK RD	SZABADOS CHRISTINA B &	0	2,982	2,982
146114009015 (R0034782)	3034 LINDEN DR	PATRICIAN JEFFREY	396	2,568	2,964
146114002019 (R0034785)	574 N CEDAR BROOK RD	KENNEDY HEATHER LEE &	1,092	1,868	2,960
146114026006 (R0034630)	1298 LINDEN DR	READ ALEXANDER	900	2,057	2,957
146114016004 (R0034577)	203 PINE TREE LN	PUNTA SUR FAMILY TRUST	1,028	1,928	2,956
146115004003 (R0034906)	18 WILDCAT LN	GRANOF JOSHUA K & CARLA	1,192	1,748	2,940
146114001003 (R0034606)	745 N CEDAR BROOK RD	GRIFFITH WADE MATHEW REV	1,024	1,914	2,938
146114004006 (R0034706)	223 N CEDAR BROOK RD	SWITZER SHARON L	1,152	1,776	2,928
146111014004 (R0034867)	1016 N CEDAR BROOK	HERBERT KIRAN & DAVID	1,184	1,744	2,928
146114008007 (R0034664)	395 PINE BROOK RD	AARON BARRY L & BRYANT	784	2,128	2,912

Parcel	Address	Owner	Below	Above	Total
146122006007 (R0034902)	116 HAWK LN	LUCAS DAVID ANDREW	1,056	1,853	2,909
146124203027 (R0071973)	43 ARROWLEAF CT	HOWER J ROLAND & SUSAN	0	2,894	2,894
146114006003 (R0034774)	2002 LINDEN DR	RYAN THOMAS W & MELANIE	0	2,883	2,883
146124203007 (R0034992)	239 S CEDAR BROOK RD	POGODA HOWARD M & TARA L	1,200	1,675	2,875
146114001002 (R0034605)	635 N CEDAR BROOK RD	CALVE SARAH	1,370	1,496	2,866
146114017007 (R0034600)	1936 TIMBER LN	ALT HOWARD	648	2,196	2,844
146114003001 (R0034876)	62 N CEDAR BROOK RD	JOHNSON MARK E LIVING	905	1,936	2,841
146115005006 (R0034894)	228 ALPINE WAY	FLYNN CHRISTOPHER &	796	2,044	2,840
146123009012 (R0035005)	320 S CEDAR BROOK RD	WILSON LISA K TRUST	1,008	1,830	2,838
146114021001 (R0034627)	783 TIMBER LN	BORDES CRISTINA & JOHN	0	2,826	2,826
146115006003 (R0034916)	60 BRISTLECONE WAY	HOPE KAREN TRUST	722	2,100	2,822
146115008001 (R0034872)	118 BRISTLECONE WAY	COLLIER DOUGLAS J &	775	2,038	2,813
146114018007 (R0034695)	230 TIMBER LN	NELSON FAMILY TRUST	1,112	1,700	2,812
146123011017 (R0034588)	1153 TIMBER LN	NAT REVOCABLE TRUST	1,143	1,663	2,806
146114018001 (R0034763)	2263 LINDEN DR	SCOT THOMSEN	1,092	1,706	2,798
146114004002 (R0034823)	22 PINE BROOK RD	TSCHOPP DAVID	0	2,797	2,797
146114009014 (R0034742)	3132 LINDEN DR	CREEK TODD D & SANDRA J	1,008	1,786	2,794
146111013003 (R0034616)	1332 N CEDAR BROOK	HAWLEY KRISTEN SIGNE &	987	1,802	2,789
146114004014 (R0034719)	141 VALLEY VIEW WAY	BAUMGARTNER REID J LIVING	540	2,248	2,788
146114007004 (R0034642)	755 BOW MOUNTAIN RD	ZANOWICK STEPHEN S	1,298	1,468	2,766
146114001004 (R0034607)	771 N CEDAR BROOK RD	YORK JEFFREY GLENN ET AL	705	2,043	2,748
146115007001 (R0034931)	161 BRISTLECONE WAY	EDDY BROOK	0	2,748	2,748
146114018004 (R0034778)	66 TIMBER LN	PEARS SOLOMON LIVING	0	2,736	2,736
146115005001 (R0034947)	420 ALPINE WAY	HAMPSON GREGORY JAMES &	1,248	1,472	2,720
146114007005 (R0034708)	765 PINE BROOK RD	MEYER ERIC & MARIA K WIK	0	2,705	2,705
146114002011 (R0034592)	93 MEADOWLOOK WAY	BARIS FAMILY LIVING TRUST	576	2,123	2,699
146114026007 (R0034683)	1208 LINDEN DR	MASON BRANDI & DAVID I A	1,328	1,364	2,692
146114008002 (R0034743)	746 BOW MOUNTAIN RD	STANLEY MARTHA F	1,344	1,344	2,688
146114023002 (R0034710)	2 HIGH VIEW DR	BESMER DAVID JAMES &	792	1,872	2,664
146114002028 (R0034590)	93 PINE NEEDLE RD	BRYANT STEPHEN NICHOLAS	0	2,651	2,651
146114002007 (R0034626)	630 N CEDAR BROOK RD	MISKA ERIC R	806	1,838	2,644
146114010011 (R0034669)	718 PINE BROOK RD	HEIM ALICIA NORRIS &	648	1,968	2,616
146111012001 (R0034615)	1275 N CEDAR BROOK	RUSSELL SHANNON H &	405	2,188	2,593
146114012010 (R0034792)	98 PINE TREE LN	BLUMEN DAVID ALEXANDER &	1,004	1,587	2,591
146124203012 (R0034987)	124 FIR LN	BIRMINGHAM JOSEPH &	1,276	1,276	2,552
146123010004 (R0034744)	65 BEAVER WAY	ZUETELL DAMON R &	1,274	1,274	2,548
146124203010 (R0034963)	129 FIR LN	CALLAWAY EILEEN S	648	1,896	2,544
146114002027 (R0034703)	27 PINE NEEDLE RD	OLIVETTI PETER THOMSON &	499	2,037	2,536
146123007008 (R0034631)	1138 TIMBER LN	BIXBY GEORGE E	746	1,754	2,500
146114025005 (R0034563)	1281 LINDEN DR	WAGNER KELVIN H & GAIL M	270	2,220	2,490
146114002009 (R0034598)	97 MEADOWLOOK WAY	TOOMRE LINDA C	1,036	1,438	2,474
146114018009 (R0034673)	404 TIMBER LN	BAKER CYNTHIA A &	838	1,621	2,459
146124203028 (R0035003)	27 ARROWLEAF CT	ARROWLEAF LLC	766	1,672	2,438
146114010007 (R0034762)	19 WAGNER CIR	HIGGINS STEPHANIE &	1,200	1,237	2,437
146114009007 (R0034594)	2424 LINDEN DR	MILLER JENNIFER MACKLIN ET	518	1,897	2,415
146124203011 (R0034986)	122 FIR LN	BROWN-SARACINO JOCELYN	748	1,664	2,412
146123009001 (R0034952)	168 S CEDAR BROOK RD	CHANG TAE Y & DESEREE S	600	1,810	2,410
146115004004 (R0034935)	100 WILDCAT LN	HARTMAN JULIE L	0	2,396	2,396

Parcel	Address	Owner	Below	Above	Total
146114010008 (R0034596)	484 PINE BROOK RD	WILEY PETER L & JO ANN	1,188	1,188	2,376
146114003002 (R0034811)	98 N CEDAR BROOK RD	FLIPPEN PAUL R & KIM L	1,150	1,215	2,365
146114002026 (R0034701)	156 N CEDAR BROOK RD	NORGAARD ROLF & ANDREA	1,263	1,097	2,360
146114023005 (R0034671)	160 HIGH VIEW DR	LINDGREN BARRY	0	2,353	2,353
146114009009 (R0034707)	2350 LINDEN DR	WOLJCIK VALLERIE R &	0	2,339	2,339
146114016008 (R0034893)	1581 TIMBER LN	ADAMS JAMES P & PATRICIA M	988	1,348	2,336
146124203016 (R0034997)	389 S CEDAR BROOK RD	THOMPSON MONICA	825	1,509	2,334
146114010001 (R0034694)	122 PINE BROOK RD	IMPERI MICHAEL H &	1,008	1,288	2,296
146114018002 (R0034595)	176 TIMBER LN	BROCKERT NATHANIEL	504	1,722	2,226
146114022002 (R0034864)	213 HIGH VIEW DR	DOBBS JESSE & SARAH	480	1,712	2,192
146123009010 (R0034980)	104 ACORN LN	POWELL-ASHBY SALLY	1,040	1,124	2,164
146114002020 (R0034780)	476 N CEDAR BROOK RD	ENDO RUSSELL K & JUNKO J	1,092	1,041	2,133
146114012002 (R0034802)	2535 LINDEN DR	HARRIS SUSAN ET AL	1,056	1,056	2,112
146114004004 (R0034678)	431 N CEDAR BROOK DR	LEX Q SHEPHERD TRUST	0	2,090	2,090
146123009002 (R0034967)	188 S CEDAR BROOK RD	ELY JAMES WALLACE III	0	2,044	2,044
146114034003 (R0510934)	85 TIMBER LN	MCCUNE MATTHEW &	780	1,144	1,924
146114001005 (R0034608)	865 N CEDAR BROOK RD	MCGUIRE SHANNON J	172	1,748	1,920
146114037001 (R0611285)	26 PINE BROOK RD	NELSON ROBERT M	0	1,140	1,140

Building Permits since 9/8/1998 for 228 ALPINE WAY that added or modified Sq. Ft.

Date	Permit	Description	Sq. Ft.	Status
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RESIDENTIAL FLOOR AREA SIZE ANALYSIS

This report is not an indication of the developability of any parcel as other factors including legal building lot status, service availability, and access impact the development potential of property. The information for Residential Floor Area (RFA) comes from Assessor records and may not be entirely inclusive of the residential floor area on site. Outbuildings may have changed their function, or modifications may have been made.

The abbreviation RFA, used throughout this report is Residential Floor Area.

Please contact the on-call planner by visiting boco.org/askaplanner or calling 303-441-3930 for additional information.

Maximum RFA Allowed

3,879 sq. ft.

The maximum RFA permitted on a parcel is the greater of the neighborhood median RFA or the subject property existing RFA on May 13, 2025, plus the allotment.

Subject Property

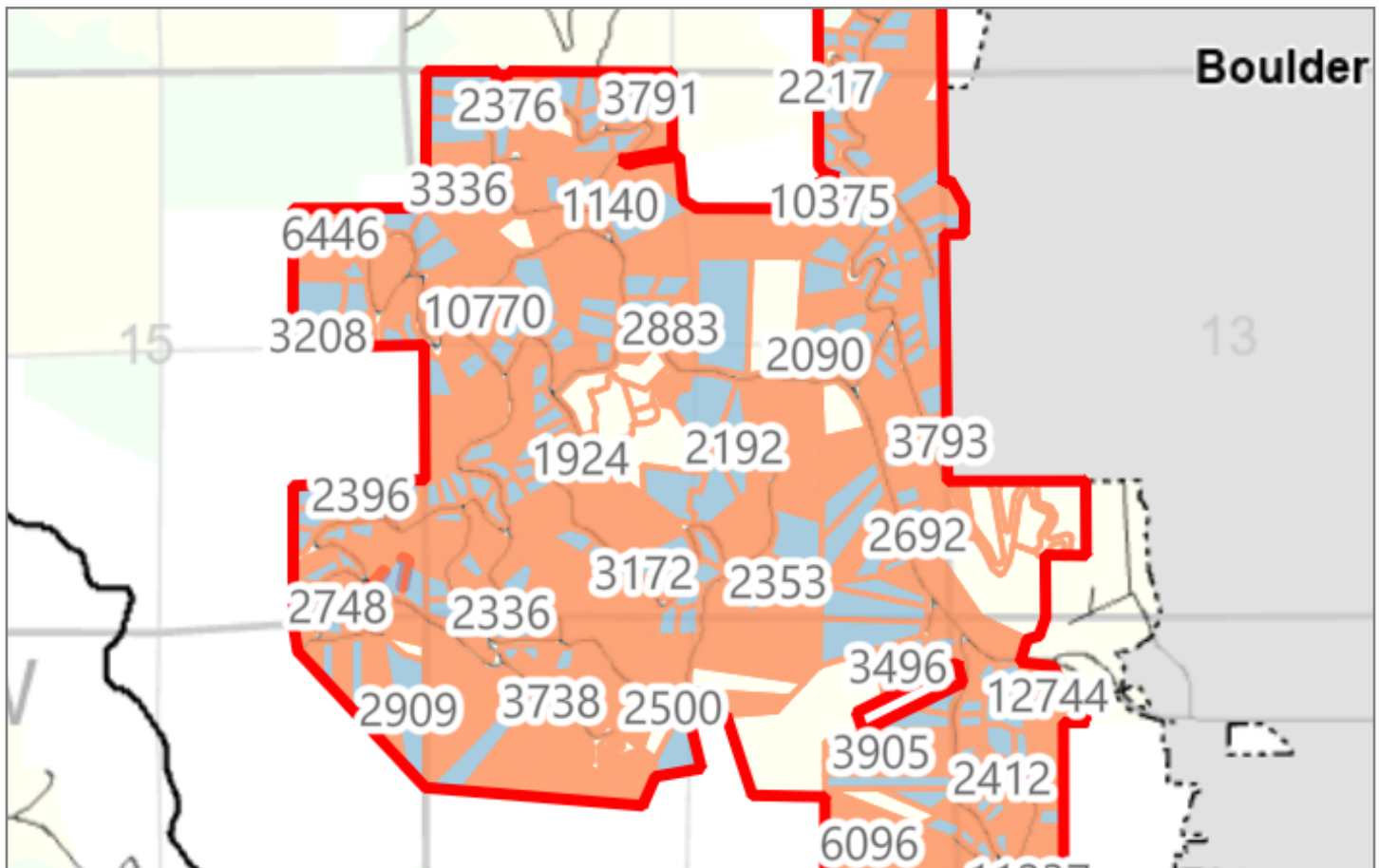
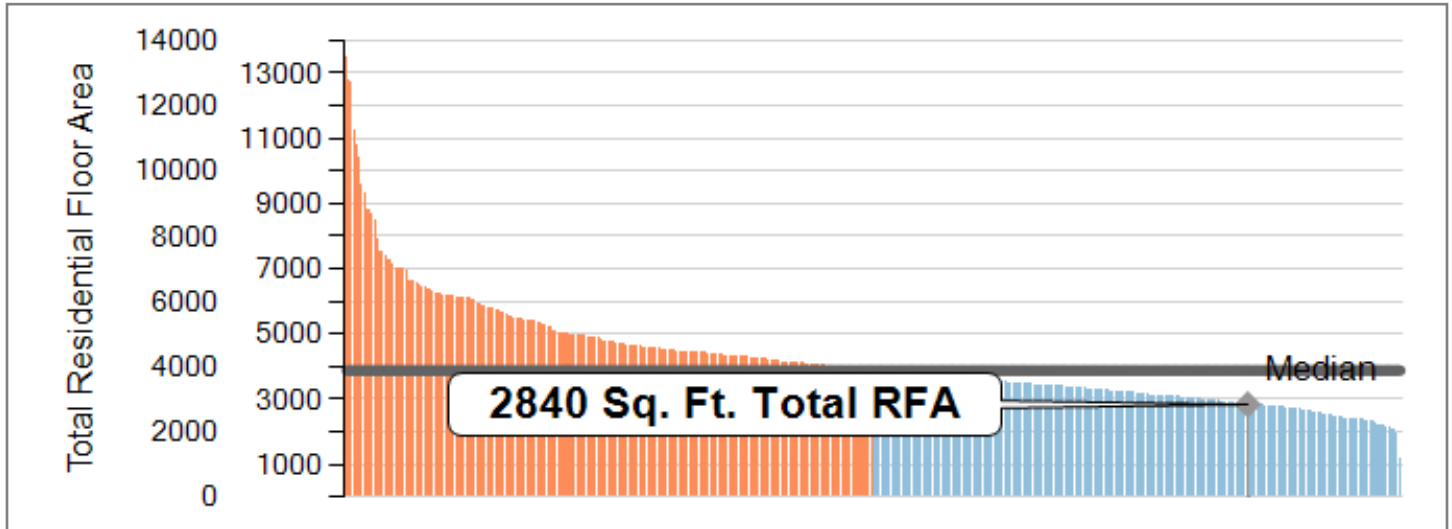
Site Address	228 ALPINE WAY	
Zoning District	F (1.75 Acres)	
Parcel		146115005006
Building Permits since 9/8/1998		0
Square Feet Added since 9/8/1998		0
Previous SPRW, ESPR, SPR, SE, EP, LU, or SU Application(s)		No
Deconstruction Permit in past year		No
SPR Applicability	None	

Subject Property Size Analysis

Subject Property Existing RFA	2,840
Subject Property Existing RFA on May 13, 2025	2,840
Allotment	750
Total (Existing RFA on May 13, 2025 + Allotment)	3,590

Neighborhood Size Analysis

Neighborhood Median RFA		3,879
Minimum RFA in Neighborhood		1,140
Maximum RFA in Neighborhood		13,461
Neighborhood Type	Subdivision	
Parcels in Neighborhood		432
Parcels in Neighborhood with RFA		402



Properties within Neighborhood

Address / Owner	Parcel	Account	Sq. ft.
200 BOULDER VIEW LN			13,461
CALANO JAMES C	146124203031	R0035002	
19 ARROWLEAF CT			12,744
CASTLE BLACK BOULDER LLC	146124203030	R0034995	
34 BOULDER VIEW LN			12,715
34 BVL LLC	146124203035	R0034953	
12 BOULDER VIEW LN			11,237
CHAVEZ WAYNE A ET AL	146124203036	R0034954	
2692 LINDEN DR			10,770
GLEBE LAURA L & JASON E	146114009005	R0034640	
100 VALLEY VIEW WAY			10,375
MITELMAN LILYA & RYAN S PROPPER	146114004016	R0034878	
1133 TIMBER LN			9,572
ANDERSON LIVING TRUST	146123017001	R0502079	
80 BOULDER VIEW LN			9,313
STANCLIFFE TIMOTHY R & LINDA A	146124203033	R0034955	
250 PINE TREE LN			8,812
WILLIAMS MARY JANE	146114015001	R0034826	
855 TIMBER LN			8,765
SEVEN SISTERS TRUST	146123008001	R0034788	
333 S CEDAR BROOK RD			8,671
GHADIMI R NADER	146124203014	R0034993	
1530 TIMBER LN			8,470
MSW GRAT TRUST 2	146114017001	R0034918	
166 VALLEY VIEW WAY			7,900
LAPP FAMILY REVOCABLE TRUST	146114004012	R0034712	
382 ALPINE WAY			7,538
POLIS ROBERT NATHAN REVOCABLE TR...	146115005008	R0034937	
2554 LINDEN DR			7,503
ANDRUS DAVID L & MARTHA R	146114009006	R0067764	
101 MEADOWLOOK WAY			7,414
WESTFALL SCOTT A & LESLIE M	146114002005	R0034812	
413 WILD HORSE CIR			7,261
JOSEPH RYAN P ET AL	146115001004	R0034892	
1142 LINDEN DR			7,241
FORSYTHE ROBERT C & HEIDI L	146124214001	R0085687	
1024 LINDEN DR			7,131
REMMERT STEPHEN & SARAH	146124214002	R0124427	
45 WILD HORSE CIR			7,015
FUGERE JAMES P & MARLENE K	146114012001	R0034723	

Address / Owner	Parcel	Account	Sq. ft.
497 S CEDAR BROOK RD			7,001
HOOPER EVAN A III	146124210002	R0034971	
805 PINE BROOK RD			6,990
ANDERSEN MARK L REVOCABLE TRUST ...	146114007002	R0034773	
200 ALDER LN			6,969
POWERS JOHN P	146123004004	R0034717	
499 S CEDAR BROOK RD			6,922
CHRISTOPHER KAREN K	146124201001	R0034983	
162 VALLEY VIEW WAY			6,644
SPROW FAMILY TRUST	146114029001	R0034830	
175 PINE TREE LN			6,584
BRIDWELL JOHN D & PHYLLIS C	146114016003	R0067671	
67 WILD HORSE CIR			6,584
TANN REBECCA JO BIERIE & CORY J	146114012004	R0034648	
819 TIMBER LN			6,558
FLAT CRACKER LLC	146114032002	R0067761	
483 N CEDAR BROOK RD			6,478
OTTOLINO PAUL & ANNA	146114004013	R0101730	
409 WILD HORSE CIR			6,446
MYERS ELAINE P REVOCABLE TRUST	146115001003	R0034891	
300 PINE NEEDLE RD			6,432
CAH13 LLC	146114026002	R0034574	
229 ALDER LN			6,390
BRADFORD DOUGLAS KENT ET AL	146123014001	R0034755	
337 WILD HORSE CIR			6,355
BACH LIVING TRUST	146115001010	R0034828	
296 ALDER LN			6,267
HOUGHT ROMAN & PATRICIA	146123016001	R0064540	
50 WILDWOOD LN			6,256
LUJAN MICHAEL TRUST	146114030001	R0034666	
321 ALDER LN			6,245
PATEL NEIL & MARY BETH KELLY	146123014002	R0106523	
222 HIGH VIEW DR			6,220
WIEDEMANN JOSEPHINE A	146114023010	R0146545	
360 ALPINE WAY			6,197
CATHEY CHERILYNN I TRUST	146115005007	R0034936	
75 ALDER LN			6,193
MYERS BRANDON ET AL	146123011007	R0034659	
214 PINE BROOK RD			6,188
DODGE JOHN R & LESLIE B	146114010004	R0034817	

Address / Owner	Parcel	Account	Sq. ft.
132 WILDCAT LN			6,180
FAULKNER GEORGE H & LAURA A	146115010001	R0034889	
52 BOULDER VIEW LN			6,163
COHEN MITCHELL & STEPHANIE TOMAS...	146124203034	R0034998	
24 PINE BROOK RD			6,134
HUNEKE DANIEL CHASE	146114006008	R0034649	
1901 LINDEN DR			6,109
BUELLER URIAH & DIANE	146114033001	R0034718	
95 ACORN LN			6,096
WAYNE EDWARD JR	146123009008	R0034991	
90 HAWK LN			6,089
FRIEDL FAMILY TRUST	146122006008	R0034884	
395 TIMBER TRL			6,083
YOUNG LINDSAY & KYLE RITZ	146114019005	R0034623	
535 PINE BROOK RD			6,073
COZZENS DEREK	146114008004	R0034732	
280 ALDER LN			6,056
ALDER 280 POL LLC	146123013002	R0034562	
7 ACORN LN			6,047
PALMOS LEONIDAS	146124201002	R0034979	
230 S CEDAR BROOK RD			5,913
GHADIMI FAMILY LLLP	146123009003	R0035001	
807 TIMBER LN			5,896
ALLEN ROBERT MICHAEL & KATHARINE...	146114032001	R0034727	
2900 LINDEN DR			5,871
ANDERSEN JON R & LARA F	146114009016	R0034781	
95 MEADOWLOOK WAY			5,847
PHOENIX TRUST	146114002010	R0034809	
210 PINE BROOK RD			5,804
COLLOPY ALEJANDRA & ANDREW WEBER...	146114010003	R0034734	
63 ALPINE WAY			5,795
SINGH PARAM I	146123013009	R0034868	
1266 TIMBER LN			5,767
THEISS EDWARD P & MARY C THEISS ...	146123007007	R0034767	
50 WAGNER CIR			5,716
GAAL PETER & DANIELA FAMILY TRUS...	146114010005	R0034769	
313 ALDER LN			5,688
HOLUM KNUTE E & REBECCA K ROWE	146123011015	R0034704	
1285 N CEDAR BROOK RD			5,672
SMITH ROBERT JAMES & JUDITH ANN	146111012002	R0034614	

Address / Owner	Parcel	Account	Sq. ft.
57 ACORN LN			5,671
ARNOLDY MARK ET AL	146124201003	R0034984	
225 BRISTLECONE WAY			5,562
KELMAN MARNI JILL & JORGE JAIME ...	146122006012	R0034914	
137 ALPINE WAY			5,552
HUPKA JEAN ANN REVOCABLE LIVING ...	146123013010	R0034861	
315 ALDER LN			5,506
JOHNSON HAROLD L & KRISTA A TOOM...	146123011016	R0034667	
1981 TIMBER LN			5,491
MENZIES PATRICK A & JANIA M	146114012006	R0034814	
2857 LINDEN DR			5,489
MADA PROFIT SHARING PLAN & TRUST	146114008015	R0034646	
2718 LINDEN DR			5,470
GETHOFFER TRUST	146114009004	R0067767	
46 ALPINE WAY			5,469
JOHNSON ERIK B	146123012002	R0034690	
495 S CEDAR BROOK RD			5,412
GOODWIN WALTER E &	146124210001	R0067768	
3 WILDWOOD LN			5,400
WOODS CHRISTOPHER	146114007001	R0034657	
500 TIMBER LN			5,377
DONICHT JOHN & KAY ALLISON LIVIN...	146123007003	R0034771	
2936 LINDEN DR			5,372
SCHIFF FAMILY TRUST	146114009018	R0034747	
215 WILD HORSE CIR			5,370
SMITH KEVIN J & DORIS C	146115003001	R0034886	
230 BRISTLECONE WAY			5,353
CZIRR KYLE LEE & LAUREN BELL	146122007001	R0034901	
1754 TIMBER LN			5,331
WALLINGFORD JOSEPH H	146114017004	R0034934	
1206 LINDEN DR			5,259
KLINE MARIA C LORD	146114026008	R0034684	
109 BOULDER VIEW LN			5,245
SCHULER PAUL	146124203021	R0034966	
2695 LINDEN DR			5,236
BRENNER NATHANIEL JACOB & JAIMIE...	146114008013	R0034816	
1032 TIMBER LN			5,228
MINDEN FAMILY TRUST	146123007009	R0034697	
318 TIMBER LN			5,084
MERELL CHARLES PATRICK & MEGAN M...	146114018008	R0034639	

Address / Owner	Parcel	Account	Sq. ft.
107 BOULDER VIEW LN			5,060
LEMAIRE WILLIAM J & JENNIFER	146124203020	R0034968	
1211 LINDEN DR			5,018
HACKNEY TERRY L & VIRGINIA S	146114025003	R0034772	
1629 TIMBER LN			5,014
LEHNERT VOTAN & MARA	146114016007	R0034922	
174 N CEDAR BROOK RD			5,012
GLOW WORM DELL FAMILY TRUST ET A...	146114002025	R0034787	
2491 LINDEN DR			5,000
TRAVIS MICHAEL	146114012003	R0034665	
1788 TIMBER LN			4,975
PRATT BENJAMIN T ET AL	146114017005	R0034899	
188 WILD HORSE CIR			4,967
KENDALL PATRICIA R & JEFFREY	146114011003	R0034803	
1741 TIMBER LN			4,966
VIEUX JEAN E REVOCABLE TRUST	146114016002	R0034858	
123 ALDER LN			4,964
HUFF JAMES O & ANNE S HUFF	146123011008	R0034685	
2039 LINDEN DR			4,940
POLIS MATTHEW & SHARI LEE	146114019011	R0034827	
1577 LINDEN DR			4,928
HOUSTON ASHLEY	146114025010	R0034842	
14 PINE BROOK RD			4,924
RICHARDSON MARTIN & GINA	146114006004	R0034784	
148 PINE BROOK RD			4,914
BEAUPREZ MELVIN J & GALE G	146114010002	R0034581	
2371 LINDEN DR			4,913
GAIL JULIE	146114017011	R0034911	
1959 TIMBER LN			4,907
HARMON LAURA A	146114012007	R0034756	
177 BOULDER VIEW LN			4,902
KAY STEPHANIE M & ROBERT LEARNER	146124203023	R0034956	
274 S CEDAR BROOK RD			4,883
DIGIULIAN SASHA & ERIK H OSTERHO...	146123009005	R0034982	
415 S CEDAR BROOK RD			4,848
LINDNER RICHARD E & EMILY S	146124203017	R0034969	
150 VALLEY VIEW WAY			4,771
SROKA DAVID H	146114004011	R0034711	
500 PINE TREE LN			4,756
VAN HATTEN MICHAEL E	146123011004	R0034720	

Address / Owner	Parcel	Account	Sq. ft.
1204 N CEDAR BROOK RD			4,746
STEINMAN JOSEPH R & SARA W	146111013007	R0034751	
63 BOULDER VIEW LN			4,741
LAKE ETHAN T	146124203019	R0034965	
1306 N CEDAR BROOK RD			4,738
LETTS BRIAN P & CATHERINE M	146111013006	R0034748	
772 N CEDAR BROOK RD			4,720
DOBBS STEVEN PATRICK & BARBARA L...	146111014006	R0034841	
1575 LINDEN DR			4,672
UPLAND CONSTRUCTION & DEVELOPMEN...	146114031002	R0616092	
219 HIGH VIEW DR			4,672
HRE HOLDINGS III LLC	146114025013	R0034845	
99 MEADOWLOOK WAY			4,672
SCHIBLI THOMAS & HISAKO	146114002006	R0034757	
43 BEAVER WAY			4,650
JONES RACHEL	146123010001	R0034821	
1145 TIMBER LN			4,634
PRENTICE STEWART ET AL	146123008004	R0034752	
335 PINE TREE LN			4,621
MUNDINGER PAUL G & AMY B	146114016006	R0034943	
301 PINE BROOK RD			4,612
RINDELS BRIAN L & CAROLYN S	146114008009	R0034745	
2990 LINDEN DR			4,600
LILLEY GEORGE W	146114009017	R0034624	
220 HIGH VIEW DR			4,596
WIEDEMANN JOSEPHINE A	146114023009	R0034857	
115 HAWK LN			4,587
BEER DIANA D	146122006004	R0034898	
142 MEADOWLOOK WAY			4,576
YAFFE DAVID A ET AL	146114002017	R0067749	
2433 LINDEN DR			4,575
BARLOW ARLETTE & GEOFFREY MINA	146114017010	R0034930	
252 PINE TREE LN			4,571
LEY OLIVIA & ALEXANDER D ALVARAD...	146114015003	R0034729	
37 WAGNER CIR			4,552
KOTHMANN BARBARA	146114010006	R0034768	
1472 TIMBER LN			4,538
WATERS RICHARD D JR	146123006001	R0034895	
54 WILDWOOD LN			4,538
QUINN ROBERT P JR & JOYCE COLSON	146114037002	R0611286	

Address / Owner	Parcel	Account	Sq. ft.
925 PINE BROOK RD			4,511
KAPLAN RICHARD & DENISE	146114010013	R0034568	
291 WILD HORSE CIR			4,491
GLOTZER JANE K & STEVEN P	146115003002	R0034925	
60 N CEDAR BROOK RD			4,490
AISNER MICHAEL D	146114003003	R0034880	
61 PINE TREE LN			4,482
STURR GREGORY G & JULIANA K	146114016001	R0067670	
98 PINE BROOK RD			4,481
LOOSE GREGORY & JULIE	146114010015	R0034736	
201 PINE BROOK RD			4,475
MOHR ROBERT S & NANCY E	146114008011	R0034777	
193 N CEDAR BROOK RD			4,467
ERICKSON ERIC L & ANTOINETTE L	146114004005	R0034733	
227 BALSAM LN			4,467
MCPHERSON BRUCE D	146115005003	R0034883	
101 PINE NEEDLE RD			4,466
OMALLEY PATRICK D & ANN MARIE OC...	146114028001	R0034569	
57 FIR LN			4,466
WATERS DONNA MARIE	146124203009	R0034959	
178 BALSAM LN			4,457
DIXON MARGARET	146115004008	R0034890	
2150 LINDEN DR			4,456
LILLYDAHL JANE H & WILLIAM C III	146114009012	R0034691	
2064 TIMBER LN			4,439
HIRSHLAND LAURENCE S	146114017009	R0034946	
312 PINE NEEDLE RD			4,434
CHEW ROBERT E	146114026001	R0034573	
201 S CEDAR BROOK RD			4,428
ROGERS BRIAN D	146124203006	R0034960	
224 HIGH VIEW DR			4,425
JONAS SCOTT H	146114023007	R0034824	
86 S CEDAR BROOK RD			4,422
GIANNETTI DENNIS N & TERRI	146123010003	R0034728	
98 RIDGE DR			4,420
JACKSON ROBERT P & LYNN B	146111014002	R0067746	
80 ALDER LN			4,400
CDXUS LLC	146123018001	R0605468	
1670 TIMBER LN			4,391
MISHEEV ROSS & AMY	146114017003	R0034917	

Address / Owner	Parcel	Account	Sq. ft.
407 ALPINE WAY			4,378
BENHAM BRIAN & STACEY	146115006002	R0034923	
1330 TIMBER LN			4,374
TUPY JUDY ANN REV TRUST ET AL	146123007006	R0034746	
271 S CEDAR BROOK RD			4,355
MALCHOW NANCY BISHOP REVOCABLE T...	146124203013	R0034981	
25 S CEDAR BROOK RD			4,350
SJS 25 S CEDAR BROOK TRUST	146124203001	R0034985	
36 HIGH VIEW DR			4,320
CHERONIS ALEKIE KENT REVOCABLE T...	146114023003	R0034580	
562 WILD HORSE CIR			4,320
NICHOLS RYAN L & KRISTIN A	146115002003	R0034885	
71 RIDGE DR			4,312
CONDON WILLIAM S II & REGAN D	146111013005	R0034617	
175 ALDER LN			4,305
DEUTSCHMAN ALFRED & PATRICIA	146123011009	R0034689	
67 HAWK LN			4,298
BORTZ DAVID M & VANJA DUKIC	146122006002	R0034909	
584 N CEDAR BROOK RD			4,292
KANDALAFT JOYCE	146114002008	R0034583	
25 ALPINE WAY			4,287
WAHLERT FAMILY LIVING TRUST	146123018002	R0605469	
151 BOULDER VIEW LN			4,284
HUNTER LEIGH K	146124203022	R0034977	
478 WILD HORSE CIR			4,280
THOMSON ANTONEE	146115002002	R0034939	
239 PINE TREE LN			4,278
SUMMIT HEIGHTS LLC	146114016005	R0034713	
168 ALDER LN			4,267
WOLF FRED E & ANNE E	146123013005	R0034741	
228 ALDER LN			4,267
CARPENTER KURT L	146123013001	R0069390	
168 MEADOWLOOK WAY			4,256
HENDERSON ROGER J & WREN H SCHAU...	146114002015	R0034738	
1976 LINDEN DR			4,248
ZERVOS SARA J ET AL	146114006002	R0034800	
873 TIMBER LN			4,240
DANIEL JOHN S	146114023001	R0034739	
114 BALSAM LN			4,240
KING-SMITH PETER & DELLA FAMILY ...	146115004001	R0034875	

Address / Owner	Parcel	Account	Sq. ft.
28 PINE BROOK RD			4,229
GROENDYK STEPHEN	146114008016	R0034758	
480 TIMBER LN			4,199
HOEY GEORGE W & ERIN K HOAG	146114018011	R0034724	
551 PINE TREE LN			4,175
PHIFER MICHAEL L	146123005001	R0034908	
2810 LINDEN DR			4,172
CLEEVE VINCENT F JR & MYRA SALZ...	146114009002	R0034820	
275 TIMBER LN			4,172
MCNALLY VALERY REV LIV TRUST	146114034005	R0510933	
82 PINE NEEDLE RD			4,171
VALENTINE JAME T &	146114027001	R0034597	
594 WILD HORSE CIR			4,146
CURTIS KIMBERLY A	146115002004	R0034949	
425 N CEDAR BROOK RD			4,140
AYERS REVOCABLE TRUST	146114004007	R0034796	
1375 LINDEN DR			4,115
HOWARD BENJAMIN & MICHELE LIVING...	146114025007	R0034662	
1307 TIMBER LN			4,111
KOSLOW ALEXANDER & SADAF FAMILY ...	146123011001	R0034686	
71 ACORN LN			4,107
ACORN WILDLIFE LLC	146123009009	R0034961	
1151 TIMBER LN			4,096
JRB PROPERTY LLC	146123008005	R0034586	
254 PINE TREE LN			4,095
CRUZ FLORENTINA E LIVING TRUST	146115005004	R0034910	
341 TIMBER LN			4,090
MCFETRIDGE JOHN C & SUSAN M	146114019006	R0067763	
412 WILD HORSE CIR			4,085
PEWTERBAUGH ANNE MARIE	146115002001	R0034924	
1596 LINDEN DR			4,080
ORLOWSKI JOHN & VICTORIA REV TRS...	146114024001	R0034676	
859 TIMBER LN			4,066
BUSSINGER FOSTER TRUST	146123008008	R0034879	
16 HAWK LN			4,064
SEIDNER ROBIN & CINDY A MCMULLEN	146122006010	R0034945	
324 PINE NEEDLE RD			4,053
PILLING AARON	146113305001	R0034572	
2879 LINDEN DR			4,025
THOMPSON ALAN J & DIANE L	146114009001	R0034628	

Address / Owner	Parcel	Account	Sq. ft.
1352 LINDEN DR			4,024
FELL JASON R	146114026004	R0034681	
770 N CEDAR BROOK RD			4,020
WILSON LINDSAY	146114002004	R0034839	
364 S CEDAR BROOK RD			4,020
CURTIS KEVIN R & DARLENE K KONDO	146123009013	R0505766	
42 ARROWLEAF CT			4,017
SCHOLZ TRINA & ERIC R	146124203003	R0034976	
1390 TIMBER LN			4,011
BODORFF NATASHA & STEFFEN SCHREI...	146123007004	R0034847	
2300 LINDEN DR			3,997
DELILAH'S HERBALS LLC	146114009011	R0034764	
65 BRISTLECONE WAY			3,997
JUDD ELIZABETH ANN & ROBERT P	146115007002	R0034903	
994 TIMBER LN			3,980
ACHESON WENDY LYNN	146123007010	R0034696	
309 PINE NEEDLE RD			3,971
SIMS DAVID & MICHELE	146113301001	R0034571	
725 TIMBER LN			3,966
MILLER BURKE & SANDRA VISSER	146114034001	R0510931	
414 S CEDAR BROOK RD			3,965
MORTIZ KATHY LIVING TRUST	146124202003	R0034975	
982 N CEDAR BROOK RD			3,959
FRANZ RYAN W & GRACE VAUTRAIN	146111014005	R0034837	
1309 TIMBER LN			3,951
LASHER MARTIN A & ILENE J	146123011002	R0034585	
128 WILD HORSE CIR			3,948
UYESHIRO COURTNEY & BRETT	146114011001	R0034661	
209 BOULDER VIEW LN			3,927
WEINSTEIN BRETT & GERALDINE	146124203024	R0034957	
211 HIGH VIEW DR			3,924
SMITH KEVIN K	146114022001	R0034865	
203 PINE BROOK RD			3,921
SHOKRGOZAR-HOLMES FAMILY TRUST	146114008012	R0034700	
159 ALPINE WAY			3,907
TAYLOR JENNIFER	146123013011	R0034579	
238 S CEDAR BROOK RD			3,905
SCHAEFER ALEXANDER	146123009004	R0034989	
785 TIMBER LN			3,893
LUBAR HOWARD S	146114021002	R0034625	

Address / Owner	Parcel	Account	Sq. ft.
1131 N CEDAR BROOK RD			3,882
RANNIGER STACIE L	146111012005	R0034612	
298 BALSAM LN			3,877
COHAN CASEY & ALISON	146115004009	R0034904	
166 MEADOWLOOK WAY			3,876
LILLIE NICHOLAS JAMES ET AL	146114002016	R0034805	
225 BOULDER VIEW LN			3,873
RAMIG PETER R	146124203025	R0034990	
1257 N CEDAR BROOK RD			3,850
HARTZELL DALE A & H KIM	146111012003	R0034613	
2 HAWK LN			3,838
LARSON PAIGE M	146122006011	R0034915	
1253 N CEDAR BROOK RD			3,832
AFFLERBACH MELISSA & MATTHEW	146111012004	R0034622	
417 N CEDAR BROOK RD			3,826
GORDON ROB	146114004009	R0034749	
330 N CEDAR BROOK RD			3,809
SITTERLEY SAMANTHA & KURBAN	146114002022	R0034740	
1789 LINDEN DR			3,808
RIESS PETER LEWIS ET AL	146114020005	R0034862	
375 PINE TREE LN			3,803
KOPROWSKI BRION C	146123005003	R0034919	
295 PINE NEEDLE RD			3,793
PAUL CAREN & MARK MITCHELL	146114028003	R0034566	
795 PINE BROOK RD			3,791
LEONARD JED P & MELISSA A	146114007003	R0034638	
1011 LINDEN DR			3,790
JESSEE WILLIAM KENT	146124203002	R0034978	
138 WILDCAT LN			3,776
CRONSHAW MARK B	146115010002	R0034888	
65 ARROWLEAF CT			3,774
PREISER ALEXANDER & JODY REALE F...	146124203004	R0034994	
20 PINE BROOK RD			3,771
LEJA HEATHER PURCELL	146114006007	R0034877	
2146 LINDEN DR			3,752
HENTHORN M PETER & MARILYN S	146114009013	R0067752	
49 ALDER LN			3,751
WERELEY ANDREW	146123011006	R0034687	
105 N CEDAR BROOK RD			3,748
HOCK SAMUEL LUCAS	146114024002	R0034677	

Address / Owner	Parcel	Account	Sq. ft.
191 ALDER LN			3,738
HAY JASON WILLIAM & SARAH E	146123011010	R0034866	
4 ACORN LN			3,733
ROSE JEFFREY	146124202002	R0034973	
15 ARROWLEAF CT			3,724
RAMACHANDRAN DUSH	146124203029	R0035004	
333 WILD HORSE CIR			3,720
WELLMAN DEBRA ANN & BEVERLY ANN	146115003003	R0034932	
115 MEADOWLOOK WAY			3,711
RAFII CYRUS AMIR & SUSAN VIDEON ...	146114002012	R0034644	
335 WILD HORSE CIR			3,706
GRAY EVELYN M	146115001011	R0034905	
535 WILD HORSE CIR			3,705
ISERN JUDITH OCHS & KRISTINE	146115001001	R0034882	
2394 LINDEN DR			3,682
CULLEN MATTHEW B & DARA M DIRITO	146114009008	R0034779	
455 S CEDAR BROOK RD			3,675
BUSTAMANTE CARLA V & CHRISTER WA...	146124203018	R0034974	
1043 N CEDAR BROOK RD			3,664
NAGLE DIERDRE S & ALEXANDER C BR...	146111012008	R0034610	
2315 LINDEN DR			3,656
KAEDE LLC	146114017012	R0034913	
1234 N CEDAR BROOK RD			3,648
LADWIG MATTHEW W & MICHAEL V ET ...	146111013008	R0034602	
1822 TIMBER LN			3,640
KRONMAN ROSS & GESUALDA ABBRACCI...	146114017006	R0034921	
2030 LINDEN DR			3,634
COPELAND KARA S & F KENT	146114006005	R0034795	
82 ALPINE WAY			3,608
FAD THOMAS E & CORINA K	146123012001	R0034564	
145 PINE NEEDLE RD			3,605
SWANSON RUSSELL J	146114028002	R0034567	
766 TIMBER LN			3,604
ZALK JULIE L	146114018014	R0067759	
1942 TIMBER LN			3,600
SNYDER WILL R & LAUREN A BATES	146114017008	R0034601	
1326 N CEDAR BROOK DR			3,598
CURRAN MARIA	146111013001	R0034618	
966 N CEDAR BROOK RD			3,585
GRAY RICHARD C & JEANNE	146114002002	R0034584	

Address / Owner	Parcel	Account	Sq. ft.
1283 LINDEN DR			3,580
MCKENNA EILEEN T	146114025004	R0034591	
59 BEAVER WAY			3,580
HAUGH BRADY & BRIANA MENENDEZ	146123010002	R0034825	
555 WILD HORSE CIR			3,572
PALEN HAUKENESS REVOCABLE TRUST	146114011005	R0034940	
212 WILD HORSE CIR			3,571
HARSH JOHN R & MARGARET A	146114011004	R0034786	
1377 LINDEN DR			3,558
FEINBLUM B & J REVOCABLE TRUST	146114025008	R0034663	
120 BALSAM LN			3,556
MONROY SARAH J	146115004002	R0067879	
458 PINE TREE LN			3,550
NELSON JOHN THOMAS	146123011005	R0034721	
91 VALLEY VIEW WAY			3,547
SALTMARSH THOMAS BRANDON & CATHE...	146114004015	R0067748	
293 ALPINE WAY			3,546
SEBSTAD JENNEFER	146115007004	R0034897	
641 TIMBER LN			3,544
HALPERIN LISA & PETER SHAPIRO	146114019002	R0067762	
60 HAWK LN			3,542
HOWL FAMILY TRUST	146122006009	R0034950	
27 HAWK LN			3,536
MOORE SARA MANN & LINDSEY HALE	146122006001	R0034896	
25 BRISTLECONE WAY			3,505
KIMBALL LYNN J	146115007003	R0034942	
18 PINE BROOK RD			3,496
CURTIS IVORY & SCOTT H WOODLAND	146114006006	R0034679	
66 BEAVER WAY			3,496
KELLER WOLFGANG & CAROL H SHIUE	146123010005	R0034881	
445 N CEDAR BROOK RD			3,492
ZIMMER-REED LAURAJANE & REED ROB...	146114004010	R0034582	
196 N CEDAR BROOK RD			3,491
ROBINSON BENNETT LEE & CARON RUT...	146114002030	R0508690	
1010 PINE BROOK RD			3,476
STIMPSON THOMAS B & MARGARETTA B...	146114010014	R0034735	
570 TIMBER LN			3,468
GERBER GREGORY & CASANDRA	146114018012	R0034807	
194 MEADOWLOOK WAY			3,468
SCULLY MUSIAL FAMILY TRUST	146114002014	R0034759	

Address / Owner	Parcel	Account	Sq. ft.
225 BALSAM LN			3,462
MONTGOMERY KENNETH JAMES & JOSEP...	146115005002	R0034926	
1614 TIMBER LN			3,446
DOUAIRE GEORGE F IV & MELISSA MC...	146114017002	R0034920	
76 PINE TREE LN			3,434
5280 PROPERTY HOLDINGS LLC	146114012009	R0034791	
948 TIMBER LN			3,432
MARTIN REED & REBECCA KANTOR-MAR...	146123007001	R0034698	
415 WILD HORSE CIR			3,429
MYERS DAVID M	146115001006	R0034941	
417 WILD HORSE CIR			3,428
PETERSON CAMERON R & MARY LOU	146115001007	R0034907	
2794 LINDEN DR			3,418
SCHLAG HYDE FAMILY TRUST	146114009003	R0034760	
58 ACORN LN			3,417
NORDQUIST JAKE & DANA	146124202001	R0035006	
1354 LINDEN DR			3,415
WEBER YVONNE B ET AL	146114026003	R0034629	
150 PINE TREE LN			3,413
EVANS CYNTHIA G	146114014001	R0034693	
450 N CEDAR BROOK RD			3,400
HEATH GREGORY F & PAMELA L	146114002021	R0034790	
1280 N CEDAR BROOK RD			3,397
L MINISTRY	146111013004	R0067747	
104 PINE TREE LN			3,386
BURNS RALPH EUGENE	146114013002	R0034874	
93 HAWK LN			3,384
PARSEY RAMIN VAZIRI REV TRUST	146122006003	R0034944	
316 PINE TREE LN			3,368
REYNOLDS JOHN M REVOCABLE TRUST	146114015005	R0034848	
194 N CEDAR BROOK RD			3,360
KING RYAN & KATHLEEN	146114002029	R0508689	
619 PINE BROOK RD			3,352
RIDLEY BRIAN A & SONIA K	146114008003	R0034775	
211 PINE BROOK RD			3,336
SPITZ GLENN & PATRICE	146114008010	R0034831	
901 N CEDAR BROOK RD			3,330
RYBCZYNSKI MARCIN P & SHAUN L MI...	146111012007	R0034603	
872 TIMBER LN			3,328
LAUSTEN LAUREN O & KEVIN M	146114018013	R0034726	

Address / Owner	Parcel	Account	Sq. ft.
365 S CEDAR BROOK RD			3,320
WOLFORD DONNA E	146124203015	R0034964	
102 PINE TREE LN			3,318
MARSHALL WILLIAM S & KERRY A BOR...	146114013001	R0062872	
810 N CEDAR BROOK RD			3,311
MCCRAY MICHAEL A	146114002003	R0034604	
163 S CEDAR BROOK RD			3,306
SMITH LIVING TRUST	146124203005	R0034999	
607 N CEDAR BROOK RD			3,295
SILVERMAN LESLIE L LIVING TRUST	146114001001	R0034794	
371 N CEDAR BROOK RD			3,288
FLATIRONS 42 LIMITED	146114004008	R0034709	
1531 TIMBER LN			3,284
FRANKLIN RICHARD M	146123005002	R0034928	
40 PINE TREE LN			3,280
BRANYAN WILLIAM R & KAREN M	146114012008	R0034670	
226 HIGH VIEW DR			3,272
FOZZARD RICHARD & JAN L GILLESPI...	146114023006	R0034750	
200 TIMBER LN			3,272
GERCHAR TIMOTHY K & HOLLY M	146114018006	R0034731	
128 ALDER LN			3,268
TRIGGS TIMOTHY E & PENELOPE S	146123013006	R0034829	
2322 LINDEN DR			3,238
TUERK TRACY TRUST	146114009010	R0034770	
565 TIMBER LN			3,231
LIU JESSICA	146114019003	R0034799	
792 PINE BROOK RD			3,228
MIRACLES HAPPEN CA LLC ET AL	146114010012	R0034722	
1431 TIMBER LN			3,227
OFFEN-ROVTAR KADY	146123011003	R0034660	
174 TIMBER LN			3,222
HADDAD RON G & EILEEN FAUGHEY	146114018003	R0034599	
1373 LINDEN DR			3,216
BENNETT NOEL H & SHANNON H	146114025006	R0034570	
419 WILD HORSE CIR			3,208
EARL ARTHUR J	146115001008	R0067880	
140 BOULDER VIEW LN			3,196
HAVLICK ERIK S ET AL	146124203032	R0034970	
145 WILD HORSE CIR			3,195
145 WILD HORSE LLC	146115003004	R0034933	

Address / Owner	Parcel	Account	Sq. ft.
411 WILD HORSE CIR			3,194
JONES LEWIS B	146115001005	R0034912	
463 TIMBER LN			3,172
TRAVERS MARK AARON & NANCY LYNN	146114019004	R0034766	
151 WILDCAT LN			3,170
LEVI ROBERT BEN	146115004007	R0034887	
439 PINE BROOK RD			3,162
BACH JENNIFER L	146114008006	R0034699	
18 BEAVER WAY			3,150
SMITH ERIC D & HANA S	146114025002	R0034798	
406 TIMBER LN			3,130
WEINBERGER DANIEL & JANA	146114018010	R0034674	
1350 LINDEN DR			3,116
KOHLER MARCIA L KIRSH & WILLIAM ...	146114026005	R0034682	
345 PINE BROOK RD			3,112
FRANCE ROBERT A & PAMELA J	146114008008	R0034714	
35 FIR LN			3,111
GRIFFIN RICHARD L & ANITA S	146124203008	R0034958	
44 BEAVER WAY			3,099
STREETS JENNIFER R & JEREMIAH	146114025001	R0034813	
118 MEADOWLOOK WAY			3,099
DOWNING DAVID C & CRYSTAL L	146114002018	R0034855	
50 BRISTLECONE WAY			3,094
GARRARD JAMES H & JACQUELINE M	146115006001	R0034900	
208 ALPINE WAY			3,090
ROTHERY RICHARD	146115005005	R0034938	
46 BEAVER WAY			3,082
KUHN JEFFREY A & SARA NELLIS BOY...	146123010006	R0034783	
153 MEADOWLOOK WAY			3,080
SHAFFER BROOK ET AL	146114002013	R0034789	
36 RIDGE DR			3,076
ODOM DAVID LEE & KATHLEEN MARIE	146111014003	R0034838	
1579 LINDEN DR			3,076
BARNES KATHLEEN C	146114025009	R0034840	
727 TIMBER LN			3,075
CLARK ROBERT O & MELISSA A	146114020001	R0034680	
160 BRISTLECONE WAY			3,049
WOODS VERONICA BONNIE & WALTER	146115008002	R0068056	
304 PINE TREE LN			3,037
ZALK STEPHEN L & STACEY J ELDER	146114015004	R0034672	

Address / Owner	Parcel	Account	Sq. ft.
784 BOW MOUNTAIN RD			3,024
MITCHELL JACK	146114008001	R0034576	
548 TIMBER LN			3,014
OLLIVER ROBERT P	146123007002	R0034806	
16 PINE BROOK RD			3,008
EDELSTEIN HARRIET & KENNETH SUSL...	146114006009	R0034808	
997 N CEDAR BROOK RD			2,999
WEBER CHRISTINA A & JAY M BURGES...	146111012010	R0034621	
69 WILD HORSE CIR			2,998
MESTDAGH MARGIT & STEVEN	146114012005	R0034793	
1011 N CEDAR BROOK RD			2,996
CUCURULL LIDIA LIVING TRUST ET A...	146111012009	R0034609	
304 S CEDAR BROOK RD			2,982
SZABADOS CHRISTINA B & KEVIN S M...	146123009006	R0034962	
3034 LINDEN DR			2,964
PATRICIAN JEFFREY	146114009015	R0034782	
574 N CEDAR BROOK RD			2,960
KENNEDY HEATHER LEE & DANIEL SPI...	146114002019	R0034785	
1298 LINDEN DR			2,957
READ ALEXANDER	146114026006	R0034630	
203 PINE TREE LN			2,956
PUNTA SUR FAMILY TRUST	146114016004	R0034577	
18 WILDCAT LN			2,940
GRANOF JOSHUA K & CARLA M	146115004003	R0034906	
745 N CEDAR BROOK RD			2,938
GRIFFITH WADE MATHEW REV TRUST E...	146114001003	R0034606	
223 N CEDAR BROOK RD			2,928
SWITZER SHARON L	146114004006	R0034706	
1016 N CEDAR BROOK RD			2,928
HERBERT KIRAN & DAVID	146111014004	R0034867	
395 PINE BROOK RD			2,912
AARON BARRY L & BRYANT DEBORA L	146114008007	R0034664	
116 HAWK LN			2,909
LUCAS DAVID ANDREW	146122006007	R0034902	
43 ARROWLEAF CT			2,894
HOWER J ROLAND & SUSAN MARY KNIC...	146124203027	R0071973	
2002 LINDEN DR			2,883
RYAN THOMAS W & MELANIE S	146114006003	R0034774	
239 S CEDAR BROOK RD			2,875
POGODA HOWARD M & TARA L POGODA	146124203007	R0034992	

Address / Owner	Parcel	Account	Sq. ft.
635 N CEDAR BROOK RD			2,866
CALVE SARAH	146114001002	R0034605	
1936 TIMBER LN			2,844
ALT HOWARD	146114017007	R0034600	
62 N CEDAR BROOK RD			2,841
JOHNSON MARK E LIVING TRUST ET A...	146114003001	R0034876	
228 ALPINE WAY			2,840
FLYNN CHRISTOPHER & NATHALY	146115005006	R0034894	
320 S CEDAR BROOK RD			2,838
WILSON LISA K TRUST	146123009012	R0035005	
783 TIMBER LN			2,826
BORDES CRISTINA & JOHN HARRINGTO...	146114021001	R0034627	
60 BRISTLECONE WAY			2,822
HOPE KAREN TRUST	146115006003	R0034916	
118 BRISTLECONE WAY			2,813
COLLIER DOUGLAS J & BRENDA L H	146115008001	R0034872	
230 TIMBER LN			2,812
NELSON FAMILY TRUST	146114018007	R0034695	
1153 TIMBER LN			2,806
NAT REVOCABLE TRUST	146123011017	R0034588	
2263 LINDEN DR			2,798
SCOT THOMSEN	146114018001	R0034763	
22 PINE BROOK RD			2,797
TSCHOPP DAVID	146114004002	R0034823	
3132 LINDEN DR			2,794
CREEK TODD D & SANDRA J	146114009014	R0034742	
1332 N CEDAR BROOK RD			2,789
HAWLEY KRISTEN SIGNE & SARAH MUR...	146111013003	R0034616	
141 VALLEY VIEW WAY			2,788
BAUMGARTNER REID J LIVING TRUST	146114004014	R0034719	
755 BOW MOUNTAIN RD			2,766
ZANOWICK STEPHEN S	146114007004	R0034642	
161 BRISTLECONE WAY			2,748
EDDY BROOK	146115007001	R0034931	
771 N CEDAR BROOK RD			2,748
YORK JEFFREY & STACY LIVING TRUS...	146114001004	R0034607	
66 TIMBER LN			2,736
PEARS SOLOMON LIVING TRUST	146114018004	R0034778	
420 ALPINE WAY			2,720
HAMPSON GREGORY JAMES & KATHRYN ...	146115005001	R0034947	

Address / Owner	Parcel	Account	Sq. ft.
765 PINE BROOK RD			2,705
MEYER ERIC & MARIA K WIK	146114007005	R0034708	
93 MEADOWLOOK WAY			2,699
BARIS FAMILY LIVING TRUST	146114002011	R0034592	
1208 LINDEN DR			2,692
MASON BRANDI & DAVID I A	146114026007	R0034683	
746 BOW MOUNTAIN RD			2,688
STANLEY MARTHA F	146114008002	R0034743	
2 HIGH VIEW DR			2,664
BESEMER DAVID JAMES & KATHRYN CA...	146114023002	R0034710	
93 PINE NEEDLE RD			2,651
BRYANT STEPHEN NICHOLAS & ADRIAN...	146114002028	R0034590	
630 N CEDAR BROOK RD			2,644
MISKA ERIC R	146114002007	R0034626	
718 PINE BROOK RD			2,616
HEIM ALICIA NORRIS & NATHAN HARO...	146114010011	R0034669	
1275 N CEDAR BROOK RD			2,593
RUSSELL SHANNON H & SUSAN S	146111012001	R0034615	
98 PINE TREE LN			2,591
BLUMEN DAVID ALEXANDER & GABRIEL...	146114012010	R0034792	
124 FIR LN			2,552
BIRMINGHAM JOSEPH & CARMEN	146124203012	R0034987	
65 BEAVER WAY			2,548
ZUETELL DAMON R & JENNIFER D	146123010004	R0034744	
129 FIR LN			2,544
CALLAWAY EILEEN S REVOCABLE TRST	146124203010	R0034963	
27 PINE NEEDLE RD			2,536
OLIVETTI PETER THOMSON & MANDI R...	146114002027	R0034703	
1138 TIMBER LN			2,500
DEFINITELY DAVE CAPITAL LLC	146123007008	R0034631	
1281 LINDEN DR			2,490
WAGNER KELVIN H & GAIL M	146114025005	R0034563	
97 MEADOWLOOK WAY			2,474
TOOMRE LINDA C	146114002009	R0034598	
404 TIMBER LN			2,459
BAKER CYNTHIA A & DOMINICK J MAI...	146114018009	R0034673	
27 ARROWLEAF CT			2,438
ARROWLEAF LLC	146124203028	R0035003	
19 WAGNER CIR			2,437
HIGGINS STEPHANIE & GABRIEL YCAS	146114010007	R0034762	

Address / Owner	Parcel	Account	Sq. ft.
2424 LINDEN DR			2,415
MILLER JENNIFER MACKLIN ET AL	146114009007	R0034594	
122 FIR LN			2,412
BROWN-SARACINO JOCELYN ET AL	146124203011	R0034986	
168 S CEDAR BROOK RD			2,410
CHANG TAE Y & DESEREE S MOON	146123009001	R0034952	
100 WILDCAT LN			2,396
HARTMAN JULIE L	146115004004	R0034935	
484 PINE BROOK RD			2,376
WILEY PETER L & JO ANN	146114010008	R0034596	
98 N CEDAR BROOK RD			2,365
FLIPPEN PAUL R & KIM L TRUST	146114003002	R0034811	
156 N CEDAR BROOK RD			2,360
NORGAARD ROLF & ANDREA FELDMAN	146114002026	R0034701	
160 HIGH VIEW DR			2,353
LINDGREN BARRY	146114023005	R0034671	
2350 LINDEN DR			2,339
WOLJCIK VALLERIE R & ANDREW C	146114009009	R0034707	
1581 TIMBER LN			2,336
ADAMS JAMES P & PATRICIA M VINCE...	146114016008	R0034893	
389 S CEDAR BROOK RD			2,334
THOMPSON MONICA DECLARATION OF T...	146124203016	R0034997	
122 PINE BROOK RD			2,296
IMPERI MICHAEL H & KATHLEEN M	146114010001	R0034694	
176 TIMBER LN			2,226
BROCKERT NATHANIEL	146114018002	R0034595	
865 N CEDAR BROOK RD			2,217
MCGUIRE SHANNON J	146114001005	R0034608	
213 HIGH VIEW DR			2,192
DOBBS JESSE & SARAH SHIRSHUN	146114022002	R0034864	
104 ACORN LN			2,164
POWELL-ASHBY SALLY	146123009010	R0034980	
476 N CEDAR BROOK RD			2,133
ENDO RUSSELL K & JUNKO J	146114002020	R0034780	
2535 LINDEN DR			2,112
HARRIS SUSAN ET AL	146114012002	R0034802	
431 N CEDAR BROOK DR			2,090
LEX Q SHEPHERD TRUST	146114004004	R0034678	
188 S CEDAR BROOK RD			2,044
ELY JAMES WALLACE III	146123009002	R0034967	

Address / Owner	Parcel	Account	Sq. ft.
85 TIMBER LN			1,924
MCCUNE MATTHEW & ELIZABETH	146114034003	R0510934	
26 PINE BROOK RD			1,140
NELSON ROBERT M	146114037001	R0611285	

Building Permits Since 9/8/1998

Date	Permit	Description	Sq. Ft.
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Previous Land Use Review Processes

ID	Status	Description
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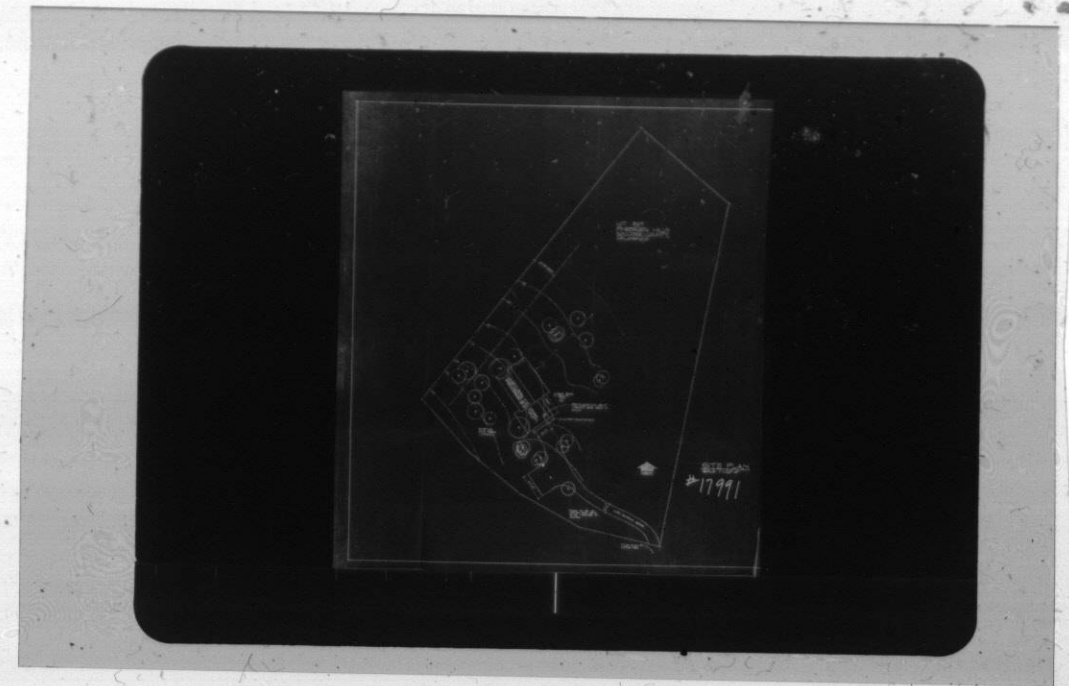
228 Alpine Wy

L 359

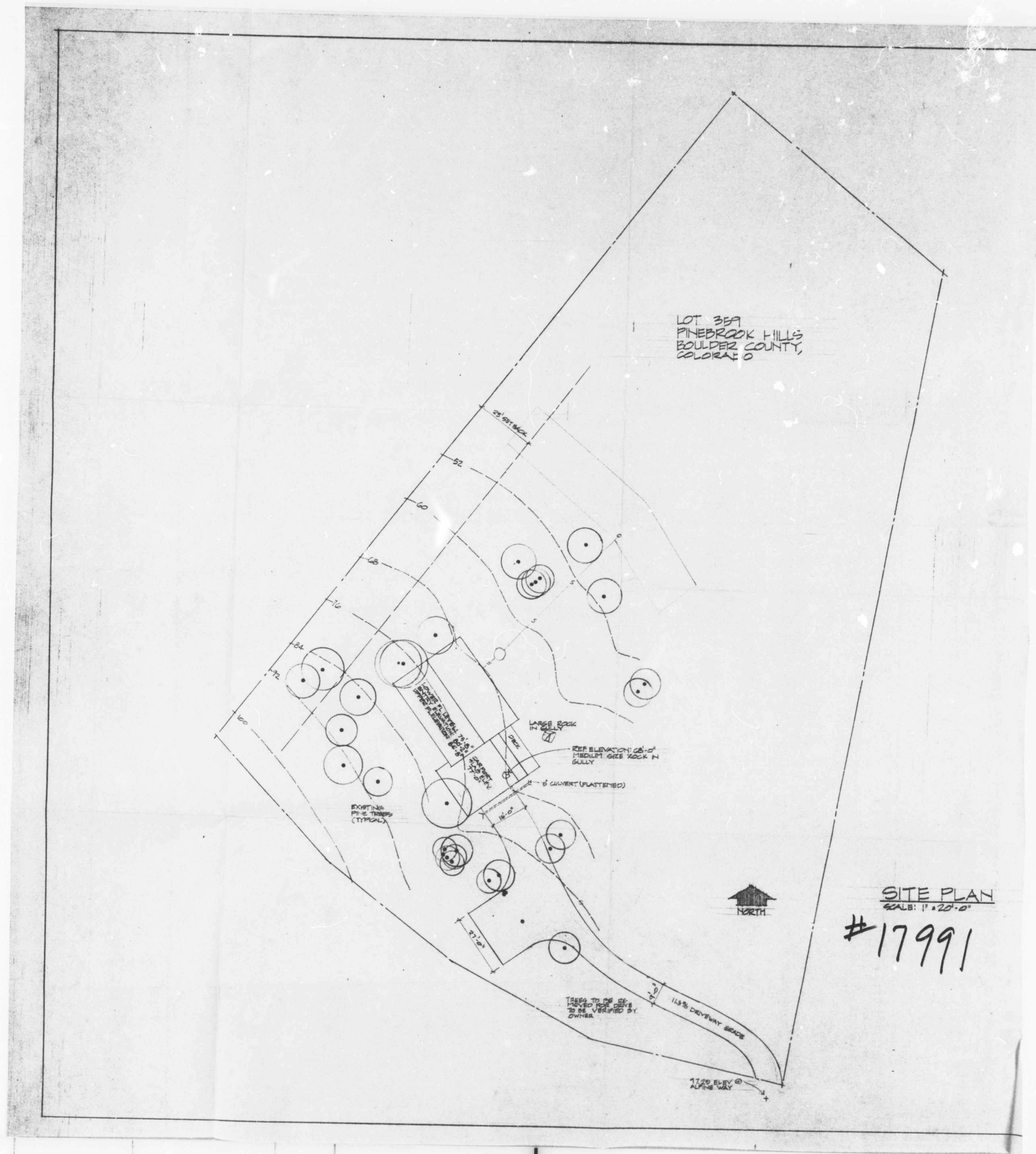
Pine Brook Hls 7

17991

ATTACHMENT F: BUILDING PERMIT BP-73-17911



228 Alpine Wy L 359 Pine Brook Hls 7 17991



COWNER Wade Cathey PERMIT NO. 17991

ADDRESS 228 Alpine Way DATE 10-24-73

LEGAL LOT 359 BLK. _____ SUBDIVISION Pine Brook Hills
UNIT 7

SECTION _____ T _____ R _____

APPLICATION FOR BOULDER COUNTY BUILDING PERMIT

DATE 10/17/73 17991

OWNER Wade C. They CONTRACTOR J. Kirk Hendricks
ADDRESS Pine Brook Hills ADDRESS 405 Pine Brook Hills
PHONE _____ PHONE 442 1308

TYPE OF STRUCTURE

- ☐ COMMERCIAL
☒ RESIDENCE
☐ GARAGE
☐ OTHER DESCRIBE _____

STRUCTURE DATA

VALUATION \$23000 AREA 1000 sq'
STORIES 2 TYPE CONSTRUCTION Frame
ROOMS _____
BASEMENT Yes

SITE DATA

LOT 359 BLOCK Unit 7 SUB DIVISION Pine Brook Hills
ADDRESS OF PROPOSED BUILDING Same As Above
(Address will be assigned by county for new sites)
LOT AREA 1 acre + ZONING F FRONTAGE 250'
SET BACKS: FRONT 55' SIDE 25' SIDE 100' REAR 200' +

ACCESS DATA

- ☐ DIRECT FRONTAGE ON PUBLIC ROAD Alpine Way
Road Name or No.
☐ VIA PRIVATE EASEMENT TO PUBLIC ROAD (ATTACH DEED)
☐ USE EXISTING DRIVEWAY
☒ CONSTRUCTION OF NEW DRIVEWAY (Driveway Permit will not be required if sufficient detail is shown on plot plan.)
☐ OTHER DESCRIBE _____

WATER SUPPLY SOURCE

- ☒ MUNICIPALITY, DISTRICT, OR ASSOC. (Attach written certification from agency to supply water)
☐ ON SITE WELL (Attach certification from State Eng.)
☐ OTHER, DESCRIBE: _____
☒ SANITATION APPROVAL FROM HEALTH DEPT. (Attach Copy)

PLOT PLAN (Attach Copy)

- ALL THE FOLLOWING DATA TO BE SHOWN TO SCALE AND PROPERLY DIMENSIONED
1. DEED (COPY) SHOWING OWNERSHIP OF PARCEL AND LEGAL DESCRIPTION, DATE RECORDED AND RECEPTION NO.
2. BUILDING LOCATION & APPURTENANCES (Driveways, retaining walls etc.)
3. LOT GRADING CONTOURS (Lot grading permit will not be required if sufficient detail is shown on plot plan.)
4. SURFACE DRAINAGE PATTERNS AND REQUIRED STRUCTURES.
5. LOCATION OF SEPTIC TANK AND LEACH FIELD.

I hereby certify that the above information is correct and agree to construct this building in accordance with the plot, building plans and specifications submitted herewith, and in strict compliance with all the provisions of the Zoning Ordinance, Building Code, Electrical Code, and Health and Plumbing Regulations of the County of Boulder.

Owner/Agent J. Kirk Hendricks

REVIEW RECORD					SITE LOCATED & MAPPED IN PLANNING INVENTORY
RECOMMEND APPLICATION BE	DEPT.	BY	DATE	REASON FOR DENIAL	
APPROVED					
DENIED					
<u>X</u>	PLANNING	<u>DEV</u>	<u>10/17/73</u>		ADDRESS ISSUED <input type="checkbox"/>
	ENGINEERING	<u>BA</u>	<u>10/23/73</u>		ADDRESS ENTERED <input type="checkbox"/>
	BUILDING	<u>BA</u>	<u>10-24-73</u>		IN RECORD BOOK <input type="checkbox"/>

ENVIRONMENTAL HEALTH
202-4 12/73

- B. Lot dimensions and yard setback requirements: The subject parcel has been reviewed with regard to the following zoning requirements and the results are indicated below:

Minimum lot area	meets requirement <input checked="" type="checkbox"/>	does not meet <input type="checkbox"/>
Minimum lot width	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setback (yard only)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- C. Variance from the preceding requirements has been granted by the Board of Adjustment: Variance from _____ requirement has been granted on _____ (date). (Attach Board of Adjustment action.)

- D. The use stated on the application form by the applicant is:

A use enumerated in said zoning district ☒

A Use by Special Review ☐ Docket # _____

Operational Planner Comments: _____

5. SUBDIVISION REGULATIONS (Planning Department)

- A. Parcel was created on or after May 5, 1972:

1. Legal exemption as specified by C.R.S. 106-2-33-9-C ☐

2. Legal exemption granted by County Commissioners ☐

Docket # _____ Comments: _____

- B. Subdivisions

1. The deed accompanying the application has been checked and there has not been a lot split within a subdivision without an approved exemption.

Yes ☐

No ☒

2. The subject lot has been located on the recorded plat to insure that the proposal is not located within reserved or dedicated land such as parks, open spaces, easements, and/or roadways.

Yes ☐

No ☒

- C. Parcel was created prior to May 5, 1972:

1. Metes and bounds parcel ☐ When created _____

2. Mining claim ☐ Mining claim parcel ☐ Name of claim _____

CHECK LIST FOR A BUILDING PERMIT APPLICATION

BOULDER COUNTY, COLORADO

Check the appropriate square which describes the building permit request and write comments where applicable.

1. LOCATION (Planning Department)

A. Name of Subdivision FREEBORN HILLS UNIT 7 Block _____ Lot 359

B. Metes & Bounds Parcel _____ 1/4 _____ 1/4, Sec. _____ T _____ R _____

2. STRUCTURE (Planning Department)

A. New Structure ☒

Remodeling or Addition ☐

B. Principal Structure ☐

Garage ☐

Other Accessory Building ☐

Explain _____

3. USE (Planning Department)

A. Residential Use

One-family Dwelling ☒

Two-family Dwelling ☐

MF Dwelling ☐ # Dwelling Units _____

Garage ☐

Accessory Use

Home Occupation ☐

Other ☐ Explain _____

B. Business Use ☐

C. Commercial Use ☐

D. Industrial Use ☐

E. Agricultural Use ☐

F. Sign ☐

G. Other ☐ Explain _____

4. ZONING (Planning Department)

A. Zoning District in which structure is located: ☐ RR ☐ A ☒ F ☐ SR ☐ ER

☐ MFS ☐ MF ☐ T ☐ ED ☐ H ☐ B ☐ C ☐ LI ☐ GI

6. ENVIRONMENTAL HAZARDS (Engineering Department)

A. Soils & Geology: provide special precaution as follows:

Foundation design _____

Subsurface drainage _____

Subsidence due to mined area _____

Slope stability _____

Other (describe) _____

B. Fire Hazard Area: identified as severe ☐, medium ☐, low ☐, or no ☐ hazard. Provide _____

C. Wind: identification of wind pressure zone of 65 ☐, 50 ☐, 30 ☐ lbs/sq. ft. Provide _____

D. Air and Water Contamination Source: refer applicant to local health department.

E. Flooding: Need additional site data

Need provision for site drainage and/or detention storage.

Provide _____

7. ACCESS (Engineering Department)

A. County Road No. Yes Type L.A. Required setbacks of _____ feet measured from _____

B. Private Drive

C. Other access. Describe (deeded easement, deeded right-of-way usage, unaccepted road, etc.) _____

D. Traffic Control (signs, sight distance, encroachment, etc.) ROW dedications, improvements needed as follows: _____

8. UTILITY SERVICES (Engineering Department)

A. Water Supply by Green Brook Dist.
Proof of Commitment is _____

- B. Sewer service by _____
Proof of Commitment _____
- C. Other (describe) _____
- D. Additional data needed _____

COUNTY OF BOULDER
OFFICE OF BUILDING INSPECTOR

✓
PERMIT
No 17991

Date 24, 1973

is hereby issued to (build) (erect) (remodel) Carl Family Building

Owner Wade Cathey Address Pine Brook Hill
Contractor J. P. Hordich Address 405 Pine Brook Hill
Address of Proposed Building Alpine Way
Legal Description Lot 359, Pine Brook Hills,
Unit 7

Setback Front 25' Side 25' Side 100' Rear 200'
Valuation 23,000 Area of Building 1,000 Type of Construction Frame
Permit Fee \$ 12.00 Use of Building Residential Zone B
Inspection Fee \$ _____ Remarks: _____
Total \$ 12.00

Approved W. H. Hordich
Chief Building Inspector

Note:—This permit not valid without official "PAID" stamp from Boulder County Building Inspection Department.

INSPECTION RECORD

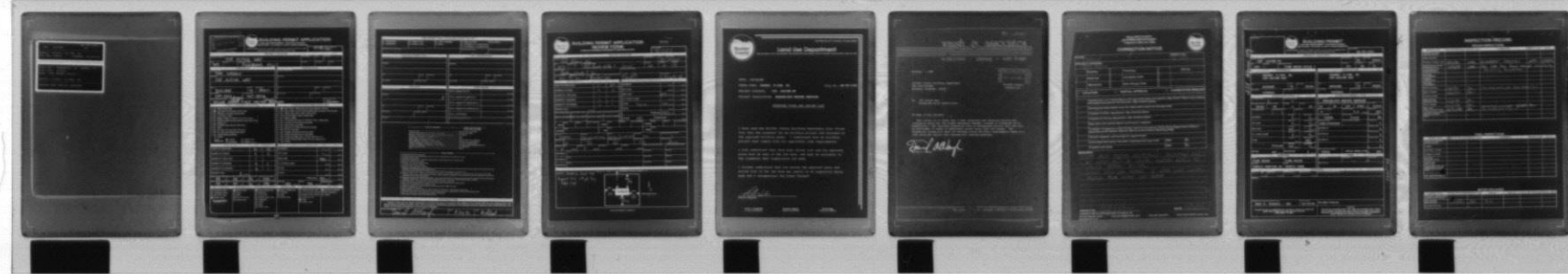
Type of Inspection	Rough	Date	Final	Date
Footing	OK	J.B. 10-28-73		
Foundation Water Proofing	OK	J.B. 11-6-73		
Electric Underground				
Plumbing Underground				
Plumbing	OK	J.B. 4-9-74		
Gas Piping Water Service	OK	J.B. + J.F. 1-21-74	OK	J.B. + J.F. 1-21-74
Electric	OK	J.B. 4-9-74	OK	J.B. 7-15-75
Furn. Vent. Heat Ventilation	OK	J.B. + J.F. 1-21-74	OK	J.B. + J.F. 1-21-74
Frame Roof Covering	OK	J.B. + J.F. 1-21-74	Red Tag	J.B. 12-21-74
Zone-Setback Grading				

Remarks: J.B. + J.F. 1-21-74 - Hot water heater not installed
J.F. 1-21-74 called P.S. (gas)
J.B. 10-1-74 - Not Home - Red Tag - Need final grading
J.B. 12-31-74 - 1.6 Eight foot drop from double door in back bedroom
OK 7/15 - could not find ground for electrical service
OK 7/15 - no floor tile in kitchen 7/15/75 JF
J.B. 7-15-75 - called P.S. Temp. final elect.

228 Alpine Wy Lot 359 Pine Brook Hills 7

90-1001

ATTACHMENT G: BUILDING PERMIT BP-90-1011



228 Alpine Wy Lot 359 Pine Brook Hills 7 90-1001

228 ALPINE

BP-90-1001
WY

OWNER: CATHEY, W.TOM, JR.

REG NO: 39232

ISSUED: 10/18/90

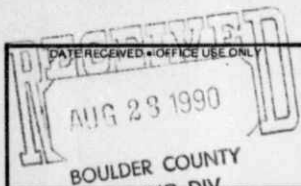
SEC: 23 TOWNSHIP: 1N RANGE: 71

LOT: 359 BLOCK:

SUB: PINE BROOK HILLS 7

CONTR: CATHEY, W.TOM, JR.

GARAGE/ADD MASTER BEDROOM



BUILDING PERMIT APPLICATION

LAND USE DEPARTMENT • BUILDING DIVISION
2040 14TH STREET • 14TH & SPRUCE • P.O. BOX 471 • BOULDER, COLORADO 80306

Boulder: 441-3925 • Allenspark: 747-2534 Ext. 3925 • Lyons & Longmont: 772-8110 Ext. 3925
Nederland: 258-3238 Ext. 3925 • Ward: 459-3435 Ext. 3925

FILE NUMBER • OFFICE USE ONLY
BP-70-1001

PROJECT LOCATION

PROJECT ADDRESS 228 ALPINE WAY			APARTMENT #	CITY	ZIP CODE
LOT 359	BLOCK	SUBDIVISION NAME PINEBROOK HILLS	SECTION	TOWNSHIP	RANGE

OWNERSHIP

OWNER'S NAME TOM CATHEY		
ADDRESS 228 ALPINE WAY		
CITY BOULDER	STATE CO.	ZIP CODE 80302
DAY PHONE 449-8844		NIGHT PHONE 449-8844

CONTRACTOR

CONTRACTOR'S NAME		
ADDRESS		
CITY	STATE	ZIP CODE
DAY PHONE		NIGHT PHONE

DESCRIBE THE PROJECT: ENCLOSE CARPORT & ADD MASTER BEDROOM	ESTIMATED COST \$35,000
--	-----------------------------------

TYPE OF PROJECT (Check One)

- (01) ☐ NEW STRUCTURE
- (02) ☒ ADDITION TO EXISTING STRUCTURE
- (03) ☐ REMODEL EXISTING STRUCTURE
- (04) ☐ ELECTRICAL ONLY
- (09) ☐ MOBILE HOME (in Mobile Home Park Only)
- (10) ☐ MOBILE HOME (outside Mobile Home Park Only)
- (11) ☐ MODULAR
- (105) ☐ GRADING AND EXCAVATION ONLY
- (106) ☐ SIGN
- (107) ☐ OIL AND GAS EXPLORATION ONLY
- (112) ☐ OIL AND GAS PRODUCTION ONLY
- (111) ☐ UNDERGROUND MINING
- ☐ OTHER:

TYPE OF CONSTRUCTION: ☒ FRAME ☐ PRECUT KIT
☐ MASONRY ☐ OTHER EXPLAIN:

TYPE OF STRUCTURE (Check One)

- (01) ☒ ONE FAMILY DWELLING (Including Modular Homes)
- (02) ☐ TWO FAMILY OR ATTACHED DWELLING (Includes Townhouses)
- (03) ☐ THREE AND FOUR FAMILY DWELLING
- (19) ☐ FIVE OR MORE FAMILY DWELLING
- (16) ☐ MOBILE HOME
- (10) ☐ ATTACHED GARAGE OR CARPORT FOR A DWELLING
- (07) ☐ CHURCH OR RELIGIOUS BUILDING
- (08) ☐ INDUSTRIAL BUILDING
- (09) ☐ SERVICE STATION OR REPAIR GARAGE
- (12) ☐ OFFICE BUILDING
- (13) ☐ SCHOOL OR EDUCATION BUILDING
- (14) ☐ STORE OR MERCANTILE BUILDING
- (15) ☐ OTHER BUILDING (Barn, Poultry Building, etc.)
- (23) ☐ OTHER STRUCTURES (Pool, Hot Tub, Fence, etc.)
- ☐ OTHER:

STRUCTURE DATA		EXISTING	TO BE CONSTRUCTED
HEIGHT OF STRUCTURE		21 FT	22 FT
NUMBER OF STORIES		2	2
NUMBER OF DWELLINGS		1	
NUMBER OF BEDROOMS		2	1
NUMBER OF BATHROOMS		2	1
PROPERTY SIZE: 2 ACRE(S)			
FRONT SETBACK EXISTING 44 FT	SIDE SETBACK EXISTING 40 FT	SIDE SETBACK EXISTING 130 FT	REAR SETBACK EXISTING 240 FT
FRONT SETBACK PROPOSED 44 FT	SIDE SETBACK PROPOSED 40 FT	SIDE SETBACK PROPOSED 130 FT	REAR SETBACK PROPOSED 240 FT
WATER SERVICE (1 Only)		SEWER SERVICE (1 Only)	
<input type="checkbox"/> INDIVIDUAL WELL <input type="checkbox"/> COMMUNITY WELL <input type="checkbox"/> NOT APPLICABLE <input checked="" type="checkbox"/> OTHER: (NAME) PINEBROOK		<input checked="" type="checkbox"/> SEPTIC TANK <input type="checkbox"/> VAULT <input type="checkbox"/> PRIVY <input type="checkbox"/> NOT APPLICABLE <input type="checkbox"/> OTHER: (NAME)	
ELECTRICAL SERVICE (1 Only)		GAS SERVICE (1 Only)	
<input checked="" type="checkbox"/> PUBLIC SERVICE CO. <input type="checkbox"/> UNION REA <input type="checkbox"/> ESTES PARK <input type="checkbox"/> POUDRE VALLEY REA <input type="checkbox"/> LONGMONT <input type="checkbox"/> LYONS <input type="checkbox"/> NONE <input type="checkbox"/> OTHER: (NAME)		<input checked="" type="checkbox"/> PUBLIC SERVICE CO. <input type="checkbox"/> PROPANE <input type="checkbox"/> NONE <input type="checkbox"/> OTHER: (NAME)	
SOLAR (1 or All That Apply)		ACCESS (1 Only)	
<input type="checkbox"/> PASSIVE SPACE HEAT <input type="checkbox"/> ACTIVE SPACE HEATING <input type="checkbox"/> DOMESTIC HOT WATER <input type="checkbox"/> PHOTO VOLTIC <input checked="" type="checkbox"/> NONE <input type="checkbox"/> OTHER: (NAME)		<input checked="" type="checkbox"/> EXISTING DRIVEWAY <input type="checkbox"/> NEW DRIVEWAY <input type="checkbox"/> OTHER:	

STRUCTURE SIZE (For New Construction & Additions Only)		FINISHED	UNFINISHED
BASEMENT		- SQ FT	SQ FT
1ST FLOOR		- SQ FT	SQ FT
2ND FLOOR		543 SQ FT	SQ FT
ALL OTHER FLOORS		SQ FT	SQ FT
OTHER:		SQ FT	SQ FT
OTHER:		SQ FT	SQ FT
TOTAL(S)		543 SQ FT	SQ FT
GARAGE 480 SQ FT	DECK 400 SQ FT	GREENHOUSE - SQ FT	

• OVER •

SIGN PERMIT ONLY (Check One in Each Column)				
<input type="checkbox"/> PERMANENT <input type="checkbox"/> TEMPORARY	<input type="checkbox"/> SINGLE FACE <input type="checkbox"/> DOUBLE FACE	<input type="checkbox"/> FREE STANDING <input type="checkbox"/> WALL	<input type="checkbox"/> NON-ELECTRIC <input type="checkbox"/> INTERNALLY ILLUMINATED <input type="checkbox"/> EXTERNALLY ILLUMINATED	SIGN HEIGHT FT.
DESCRIPTION OF SIGN COPY			DIMENSIONS OF SIGN FT X FT	TOTAL SQUARE FOOTAGE OF SIGN SQ. FT.

GRADING PERMIT ONLY	SOIL ENGINEERING
GRADING PLAN PREPARED BY	SOIL ENGINEERING BY
ADDRESS	ADDRESS
CITY STATE ZIP CODE	CITY STATE ZIP CODE
DAY PHONE LICENSE NUMBER	DAY PHONE LICENSE NUMBER
GEOLOGY	EARTHWORK
ENGINEERING GEOLOGY BY	TOTAL AMOUNT OF CUT CU YDS.
ADDRESS	TOTAL AMOUNT OF ONSITE FILL CU YDS.
CITY STATE ZIP CODE	TOTAL AMOUNT OF IMPORTED FILL CU YDS.
DAY PHONE LICENSE NUMBER	TOTAL AMOUNT OF EXPORTED FILL CU YDS.
REMARKS	TOTAL EARTHWORK CU YDS.
	SITE OF DISPOSED EXPORTED FILL

TYPE OF PROJECT	ITEMS TO INCLUDE WITH APPLICATION
NEW DWELLING _____	A B C D E F G H I J K L N O S V
ADDITION TO DWELLING (where new floor is being added) _____	A B C D E F G H I J M V
REMODEL DWELLING (kitchen, bath, replace hot water heater, reroof, etc.) _____	A E F G H J V
ELECTRICAL, MECHANICAL or PLUMBING (only) _____	A J V
MOBILE HOME (in Mobile Home Park) _____	A U V
MOBILE HOME (outside Mobile Home Park) _____	A B C D E F G H I J K L E O R S U V
NEW COMMERCIAL, INDUSTRIAL or MULTI-FAMILY _____	A B C D E F G H I J K L N O R S T V
REMODEL COMMERCIAL, INDUSTRIAL or MULTI-FAMILY _____	A E F G H J K L M N O P Q R T V
ADDITION TO COMMERCIAL, INDUSTRIAL or MULTI-FAMILY _____	A B C D E F G H I J K L M N O P Q R S T V
GRADING and EXCAVATION _____	A B I J N O P S V
SIGN _____	A B F V

ITEM LEGEND
A Complete Building Permit Application.
B Plot plan (site plan) showing distances of structure or other improvements to lot boundaries (2 copies).
C Foundation Plan (2 copies).
D Engineered Foundation Plan - foundations using caissons or where specialized soil conditions exist.
E Floor plan for each level. (2 copies).
F Elevation - front, rear and sides (2 copies).
G Structural cross sections. (2 copies).
H Details of critical connections. (2 copies).
I Soil Report by qualified Soils Engineer. (Mandatory for new construction or additions or 200 square feet on the plains, optional for mountain areas. Also mandatory for some Grading and Excavation Permits).
J Copy of recorded warranty deed if purchase occurred within 6 months of applying for a building permit.
K Evidence of water service - submit a copy of approved "well permit" from the State engineer or a "tap commitment" from a water service agency.
L Evidence of sewer service for New Construction - submit a copy of approved "septic permit" from the Boulder County Health Department or a "sewer tap commitment" from a sewer service agency.
M Evidence of sewer service for Additions or Remodels - if construction adds bedrooms to the structure or otherwise increases sewer demand, submit a copy of approved "septic permit" from the Boulder County Health Department.
N Road Access Permit - submit permit only if drive connects to a County or State road.
O Copy of recorded access easement - for drives that cross property not owned by this property owner.
P Grading Plan if disturbing less than 5,000 cubic yards.
Q Engineered Grading Plan by qualified engineer if disturbing more than 5,000 cubic yards.
R Local Fire Department approval.
S Geologic Report by qualified Geologist for special grading and construction in major geologic hazard areas.
T Review and Plans Approval form from Boulder County Health Department for commercial or industrial food preparation areas.
U Size, make, model, year, serial number and valuation of mobile home.
V Other material as required by the Chief Building Official.

CERTIFICATION		
Hereby certify that the above information is correct and agree to construct this building in accordance with the plot, building plans and specifications submitted herewith, and in strict compliance with all the provisions of the Zoning Ordinance, Building Code, Electrical Code, and Health and Plumbing Regulations of the County of Boulder.		
OWNER/AGENT'S SIGNATURE <i>David Allway</i>	DATE 8-26-90	TITLE Architect



BUILDING PERMIT APPLICATION REVIEW FORM

COMPLETE SPACES IF DIFFERENT FROM APPLICATION

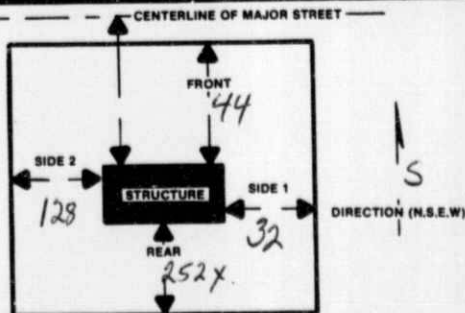
39232

FILE NUMBER

90-1001

PROJECT ADDRESS				PROJECT LOCATION		APARTMENT #	CITY	ZIP CODE
228 Alpine Wy							BO	80304
LOT	BLOCK	SUBDIVISION NAME		SECTION	TOWNSHIP	RANGE		
359		Pine Brook Hills 7		(6461)	23	1N 71		
OWNER'S NAME				CONTRACTOR'S NAME				
Cathy Wade T. Jr								
ACTIVITY CODE	DESCRIPTION CODE	OCCUPANCY GROUP	TYPE OF CONSTRUCTION		VALUATION			
02	01	R3/MI	VN		241 62 (309) 41,619.28			
STRUCTURE DATA				STRUCTURE SIZE (For New Construction & Additions Only)				
HEIGHT OF STRUCTURE		21 FT	24 FT	BASEMENT		SQ FT		SQ FT
NUMBER OF STORIES		2	2	1ST FLOOR		SQ FT		SQ FT
NUMBER OF DWELLINGS		1		2ND FLOOR		543 SQ FT		SQ FT
NUMBER OF BEDROOMS		2	1	ALL OTHER FLOORS		SQ FT		SQ FT
NUMBER OF BATHROOMS		2	1	OTHER: DECK		400 SQ FT		SQ FT
PROPERTY SIZE:		ACRE(S)		OTHER:		SQ FT		SQ FT
FRONT SETBACK EXISTING		SIDE SETBACK EXISTING		REAR SETBACK EXISTING		TOTAL(S)		543 SQ FT
FRONT SETBACK PROPOSED		SIDE SETBACK PROPOSED		REAR SETBACK PROPOSED		GARAGE		480 SQ FT
WATER:		CODE	PERMIT #	DATE OF PERMIT	SEWER:	CODE	PERMIT #	DATE OF PERMIT
ELECTRIC:		CODE	PERMIT #	DATE OF PERMIT	GAS:	CODE	PERMIT #	DATE OF PERMIT
TAX I.D. #		PARCEL #	DEED #	TAX AREA	COMMISSIONERS DISTRICT			
34894		1461-15-005-006	41124 (10-27-72)	421	1			
SERVICE AREA		TRAFFIC ZONE	SCHOOL DISTRICT	FIRE DISTRICT	CENSUS TRACT			
NO		121	BV	PA	137.01			
PROPERTY SIZE		ZONING (1)	ZONING (2)	ZONING (3)	PARKING SPACES REQUIRED		PARKING SPACES PROVIDED	
2		F						
ESCROW #1		NAME			ACCOUNT #		AMOUNT	
ESCROW #2		NAME			ACCOUNT #		AMOUNT	
ESCROW #3		NAME			ACCOUNT #		AMOUNT	

1974, 3bedrm, hant 748,
Carport 504, 1st fl. 960,
Total 1708



* OVER FOR REMARKS & COMMENTS *



Post Office Box 471 • Boulder, Colorado 80306

Land Use Department

2040 14th Street • 14th & Spruce Streets • Administrative Services Building, 2nd Floor • Boulder, Colorado 80302 • (303) 441-3930

DATE: 10/18/90

OWNER NAME: CATHEY, W.TOM, JR.

FILE NO.: BP-90-1001

PROJECT ADDRESS: 228 ALPINE WY

PROJECT DESCRIPTION: GARAGE/ADD MASTER BEDROOM

APPROVED PLANS AND REVIEW LIST

I have read the Boulder County Building Department plan review list that was prepared for my building project and attached to the approved building plans. I understand that my building project must comply with all applicable code requirements.

I also understand that this plan review list and the approved plans must be kept on the job site, and must be available to the inspector when inspections are made.

I further understand that not having the approved plans and review list on the job site may result in no inspection being made and a reinspection fee being charged.



Owner/Agent

Linda S. Jourgensen
County Commissioner

Ronald K. Stewart
County Commissioner

Homer Page
County Commissioner

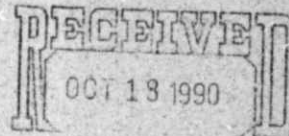
90-1001

waugh & associates

architecture • planning • solar design

October 7, 1990

Boulder County Building Department
204 14th Street
Boulder, Colorado 80306



BOULDER COUNTY
BUILDING DIV.

Re: 228 Alpine Way
Pinebrook Hills Subdivision

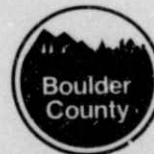
To Whom it may Concern,

This letter is to state that I have inspected the existing footing and foundation walls for the Cathey Residence Remodel located in Pinebrook Hills Subdivision. The existing foundation sits on decomposed granite soil and will be sufficient to carry an additional second story over the garage. The foundation system will meet all Boulder County Building requirements based on a 2500 pound per square foot maximum soil bearing pressure.

Sincerely,

David A. Waugh
David A. Waugh

BOULDER COUNTY
BUILDING DEPARTMENT
Telephone (303) 441-3925



CORRECTION NOTICE

NAME <u>CATHEY</u>				PERMIT NO. <u>90-1001</u>	
PROJECT ADDRESS <u>226 ALPINE</u>					
	Building		Plumbing		Zoning
	Electrical		Life Safety Code		
	Mechanical		Solar Energy Code		
<input type="checkbox"/> VIOLATION <input type="checkbox"/> PARTIAL APPROVAL <input type="checkbox"/> CORRECTIONS REQUEST					

Construction not in accordance with approved plans and permit: Stop Work! Work must comply with approved plans or be removed. See remarks below.

Corrections listed below must be made before work can be approved.

Violation of other regulations. See remarks below.

Violation of zoning regulations. See remarks below.

Stop work until authorized to continue by inspector.

To obtain reinspection a \$10.00 fee must first be paid at the Building Department Office in accordance with Section 303 and 304 (f) of the Uniform Building Code.

Contact inspector and arrange for appointment.

Work described below has been inspected and approved.	Date	By
---	------	----

Violation corrected	Date	By
---------------------	------	----

REMARKS:

WHAT ABOUT FOOTING INSPECTION? - EXCAVATION REQ'D
AT WEST END OF LOWER FOOTING REQ'D TO
VERIFY DEPTH - MINIMAL
- EXTEND MICRO LAM BEAMS 2' EAST INTO LOWER
FOOTING AREA WHEN YOU FRAME

INSPECTOR

INSPECTOR IN OFFICE 8:00 TO 9:00 A.M.

WHITE-PROJECT COPY
BC FORM 101 2-78

YELLOW-INSPECTORS COPY

PINK-OFFICE COPY

DATE

GOLD-NON-COMPLIANCE LOG

PAID STAMP

**BUILDING PERMIT**

LAND USE DEPARTMENT • BUILDING DIVISION

2040 14TH STREET • 14TH & SPRUCE • P.O. BOX 471 • BOULDER, COLORADO 80306

Boulder: 441-3925 • Allenspark: 747-2534, Ext. 3925 • Lyons & Longmont: 678-8060, Ext. 3925
Nederland: 258-3238, Ext. 3925 • Ward: 459-3435, Ext. 3925

FILE NUMBER

BP-90-1001

PROJECT ADDRESS

228 ALPINE WY

APARTMENT #

CITY

BO

ZIP CODE

80304

LOT

359

BLOCK

SUBDIVISION NAME

PINE BROOK HILLS 7

SECTION

23

TOWNSHIP

1N

RANGE

71

OWNERSHIP

OWNER'S NAME & ADDRESS

CATHEY, W.TOM, JR.
228 ALPINE WAY

CITY

BOULDER

STATE

CO

ZIP CODE

80302

DAY PHONE

4498844

NIGHT PHONE

STRUCTURE DATA

ACTIVITIES CODE

2

DESCRIPTION CODE

1

OCCUPANCY GROUP

R3/M1

TYPE OF CONST.

VN

STORIES

2

HEIGHT

24 FT

NEW DWELLINGS

NEW BEDROOMS

1

NEW BATHS

BASEMENT

FINISHED

0 SQ. FT.

UNFINISHED

0 SQ. FT.

1ST FLOOR

FINISHED

0 SQ. FT.

UNFINISHED

0 SQ. FT.

2ND FLOOR

FINISHED

543 SQ. FT.

UNFINISHED

0 SQ. FT.

ALL OTHER FLOORS

FINISHED

0 SQ. FT.

UNFINISHED

0 SQ. FT.

OTHER:

FINISHED

0 SQ. FT.

UNFINISHED

400

TOTAL(S)

FINISHED

543 SQ. FT.

UNFINISHED

0 SQ. FT.

GARAGE

480 SQ. FT.

GREENHOUSE

0 SQ. FT.

SERVICES

WATER

PINE BROOK

FIRE

PINE BROOK

ELECTRIC

PUBLIC SERVICE CO

SEWER

SPETIC TANK

CONTRACTOR

CONTRACTOR'S NAME & ADDRESS

CATHEY, W.TOM, JR.
228 ALPINE WAY

CITY

BOULDER

STATE

CO

ZIP CODE

80302

DAY PHONE

4498844

NIGHT PHONE

SETBACKS/ZONING/FEE'S

DESCRIPTION:

GARAGE/ADD MASTER BEDROOM

SETBACK-FRONT

44 FT

SETBACK-SIDE

32 FT

SETBACK-REAR

128 FT

SETBACK-REAR

252X FT

VALUATION

\$ 41619

ZONING DISTRICT(S)

F

PROPERTY SIZE

2.0 ACRE(S)

PERMIT FEE

\$ 247

TAX I.D. NUMBER

34894

DEED NUMBER

41124

PLAN CHECK FEE

\$ 62

PARCEL NUMBER

146115005006

ACCESS PERMIT NUMBER

ACCESS FEE

\$ 0

ESCROW #1

ESCROW #1 FEE

\$ 0

ESCROW #2

ESCROW #2 FEE

\$ 0

ESCROW #3

ESCROW #3 FEE

\$ 0

CASH REGISTER NUMBER

39232

TOTAL FEES PAID

\$ 309

SIGN

TOTAL SQ. FT.

DIMENSIONS

VALUATION

DESCRIPTION:

GRADING

CUT

0

ON-SITE FILL

IMPORTED FILL

EXPORTED FILL

SITE OF DISPOSED EXPORTED FILL:

REMARKS:

APPROVED BY: CHIEF BUILDING OFFICIAL

GARY R. GOODELL - CBO

DATE OF ISSUE

10/18/90

THIS PERMIT EXPIRES ON:

* NOTICE *

The approval of plans and specifications does not permit the violation of any section of the Boulder County Building Code or other Ordinance or State law.
* FIELD INSPECT TO CODE *

This permit not valid without Official "PAID" Stamp from the Building Division. Permit is valid for eighteen (18) months from date of stamp and shall become null and void if construction is not commenced within 180 days or if work is suspended or abandoned for a period of 180 days at any time after the work is commenced.

90-1001

INSPECTION RECORD

ROUGH INSPECTIONS

INSPECTION	DATE APPROVED	INSPECTOR	COMMENTS	INSPECTOR	DATE
TEMPORARY ELECTRIC CONSTRUCTION POLE					
ZONING SETBACKS					
TRENCHES, FOOTINGS, PADS	1/25/90	WAK	NO INSPECTION - CORRECTION	WAK	1/25/90
FOUNDATION WALLS AND REINFORCING WALLS	1/30/90	WAK	Also Letter from David Waugh verifying existing foundation.		
WATERPROOFING OF FOUNDATION WALLS					
ELECTRICAL (UNDERGROUND)					
PLUMBING (UNDERGROUND)					
GAS PIPING (UNDERGROUND)					
ROUGH ELECTRICAL	12/11/90	BK	OK RECESS CAN TUB AREA GFCI		
ROUGH PLUMBING	12/11/90	BK			
ROUGH GAS PIPING					
ROUGH HEATING AND VENTILATION	12/11/90	BK			
ROUGH FRAMING	12/11/90	BK	HOUSE LOCKED 12/18/90 BK		
INSULATION WALLS/CEILINGS/FLOORS	12/20/90	BK	OK GLAZING + ROOF		
LATH AND/OR WALLBOARD BEFORE PLASTERING					
OTHER					

FINAL INSPECTIONS

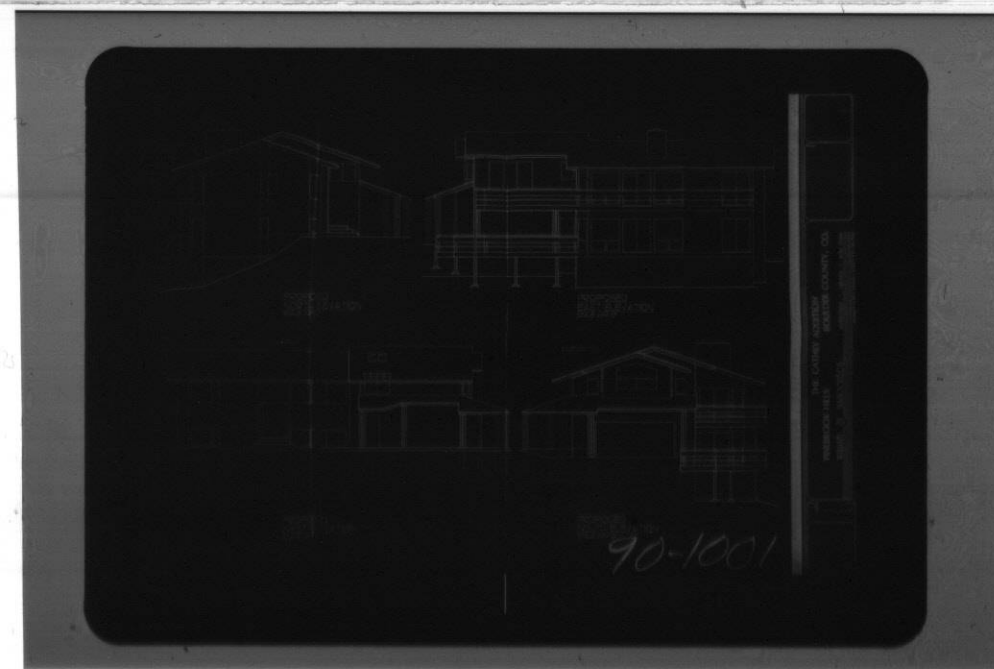
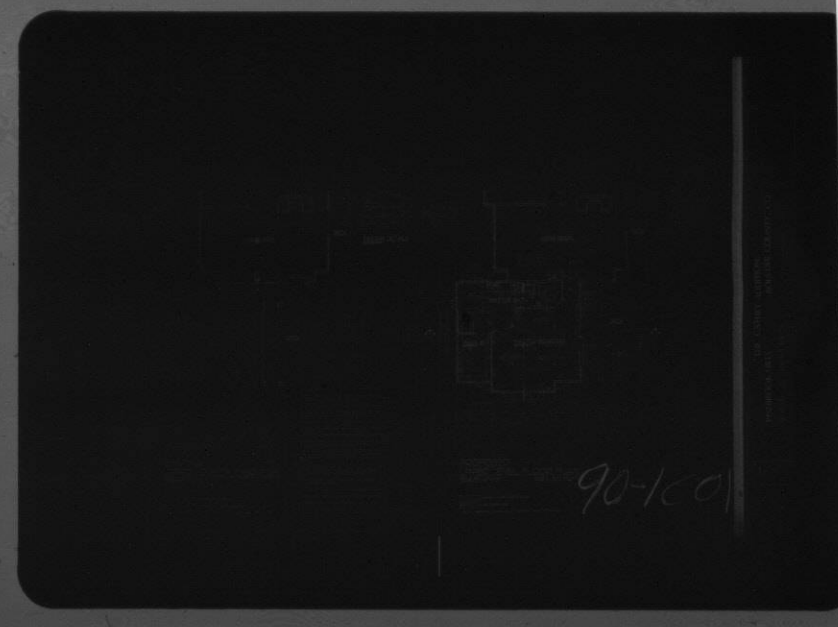
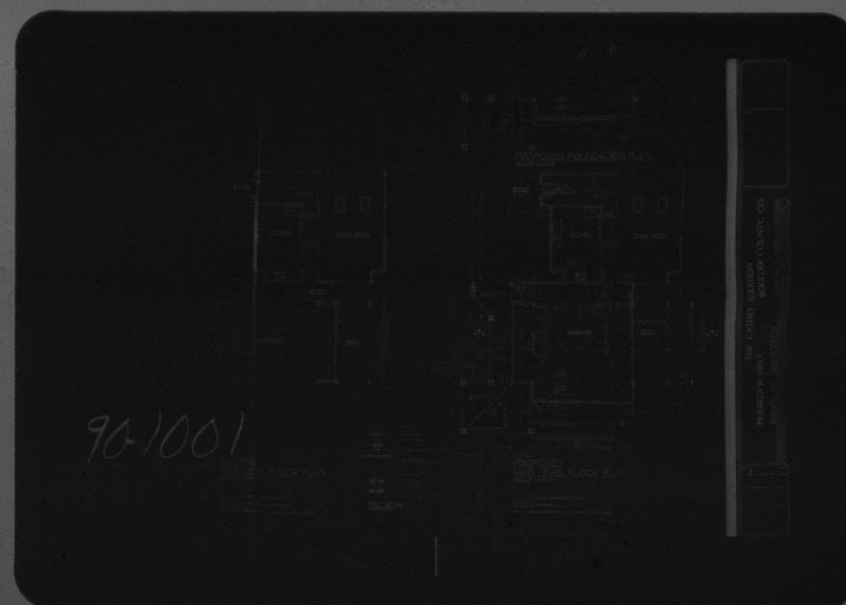
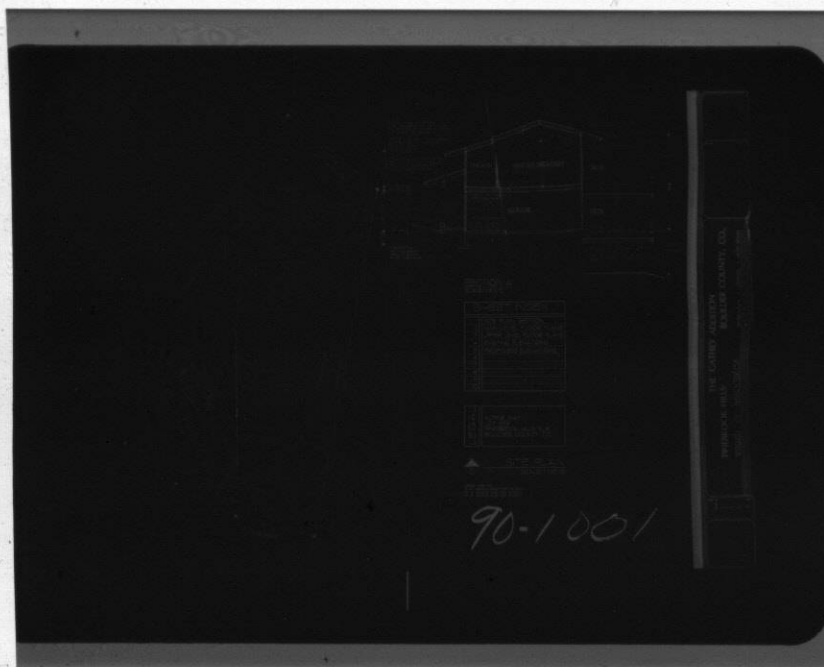
INSPECTION	DATE APPROVED	INSPECTOR	COMMENTS	INSPECTOR	DATE
GRADING AND DRAINAGE AROUND BUILDING					
FRAMING					
ELECTRICAL FIXTURES					
PLUMBING FIXTURES					
GAS PIPING (PRESSURE TESTED)					
HEATING AND VENTILATION					
CEILING INSULATION AND WINDOW/DOOR GLAZING					
OTHER:					
FINAL INSPECTION COMPLETE					

METER RELEASES

INSPECTION	DATE APPROVED	INSPECTOR	AGENCY	CONTACT	DATE OF RELEASE	STAFF ONLY
TEMPORARY CONSTRUCTION ELECTRIC METER RELEASE						
FINAL ELECTRIC METER RELEASE	12/24/91	BK	P.S.			
GAS METER RELEASE						

228 Alpine Wy Lot 359 Pine Brook Hills 7

90-1001



228 Alpine Wy Lot 359 Pine Brook Hills 7

90-1001



ROOFING TO MATCH EXISTING
OVER 3/8" GUTTING FELT & 1/2" CDX
PLYWD OVER EXIST. RAFTERS @ 16" O.C.
& R-30 BATT INSULATION

PROVIDE 4 MIL POLY VAPOR BARRIER
HEATED SIDE ALL INSULATION
CAULK ALL SEAMS
PL 108 @ 5/8"

2x4 STUDS @ 16" O.C. W/ 12" MIN
BATT INS. 1/2" CDX PLYWD 5/4"
(R-21 INS.) SHEATHING AND
SLIDING TO MATCH EXISTING

FIELD 109'-11 1/2"
PL 108 @ 5/8"

FIELD 108'-3 1/8"

TDW 100'-0"

PROVIDE 4" PER PLASTIC
DRAIN TILE AROUND FOUNDATION
PERIMETER SET 1" FROM SO
AND DRAIN TO DRAIN OR SUMP



SECTION A
SCALE: 1/4"=1'-0"

SHEET INDEX	
1	SITE PLAN, SECTION
2	MAIN LEVEL FLOOR PLANS
3	UPPER LEVEL FLOOR PLANS
4	EXISTING ELEVATIONS
5	PROPOSED ELEVATIONS
6	
7	
8	
9	
10	

LEGAL

ALPINE WAY
LOT 359
PINEBROOK HILLS SUB.
BOULDER COUNTY, CO

SITE PLAN
SCALE: 1"=20'-0"

ZONED: FORESTRY
15'-0" MINIMUM FRONTYARD SETBACK
25'-0" MINIMUM SIDEYARD SETBACK
15'-0" MINIMUM REARYARD SETBACK

90-1001

THE CATHEY ADDITION
BOULDER COUNTY, CO.

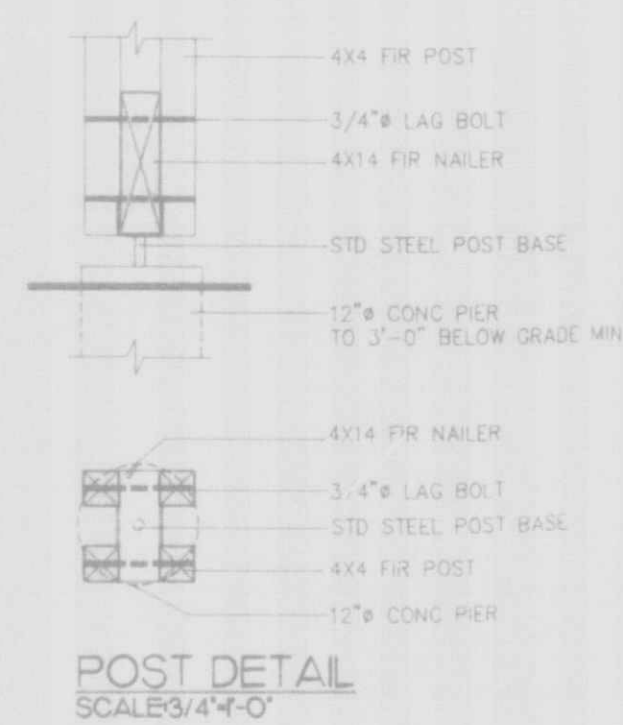
PINEBROOK HILLS
waugh & associates
architecture • planning • solar design

1 ALPINE CR. 200

90-1001

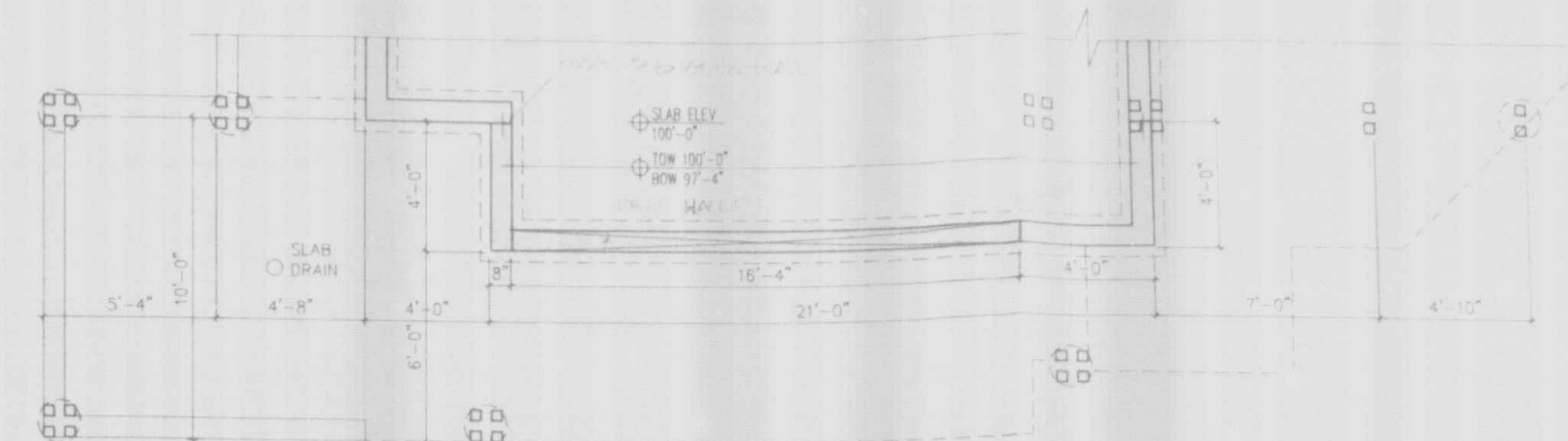
EXISTING
MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

EXISTING CONSTRUCTION TO REMAIN.
EXISTING CONSTRUCTION TO BE REMOVED.
NOTE: ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS TO BE FIELD VERIFIED.

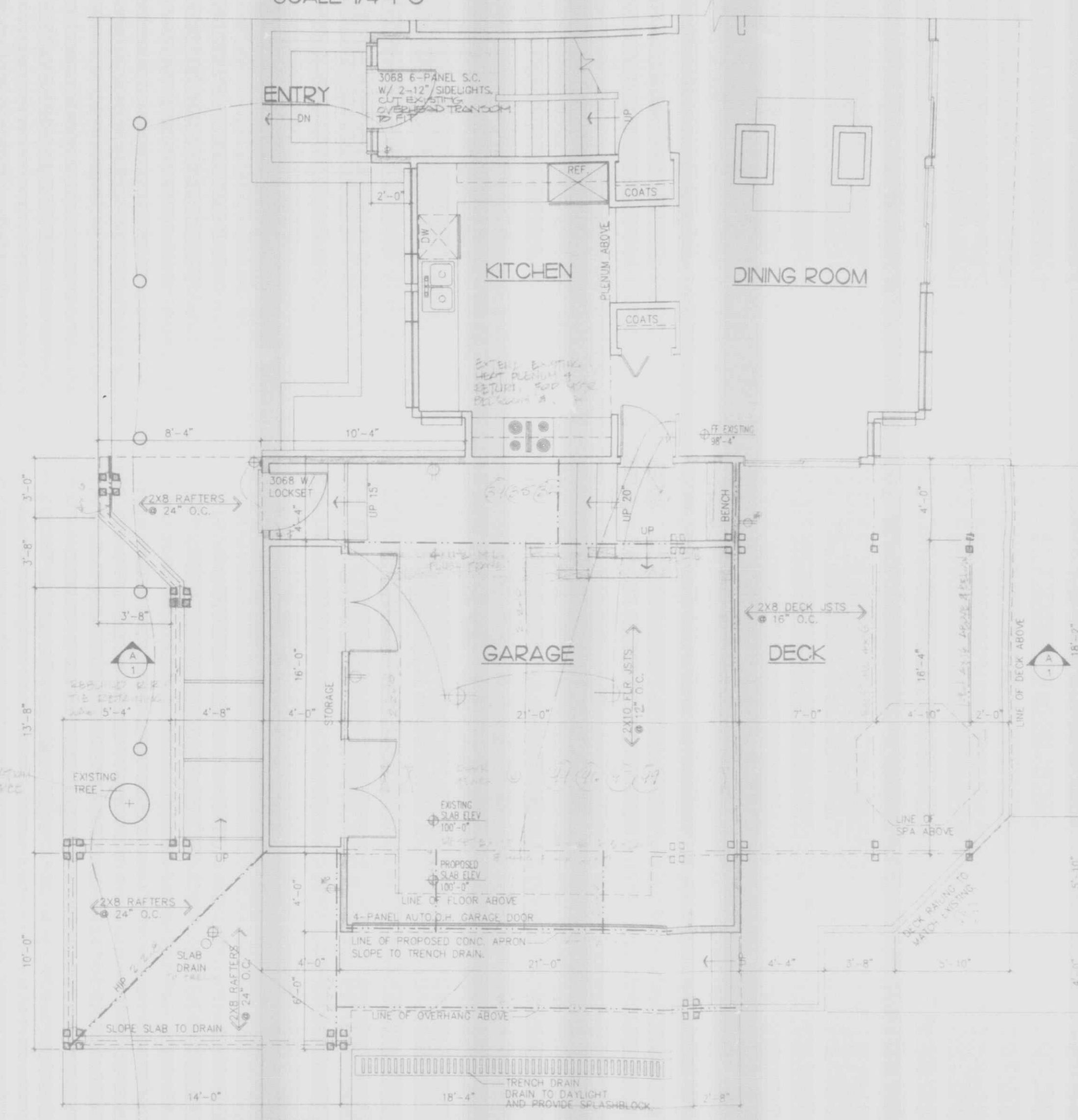


POST DETAIL
SCALE: 3/4"=1'-0"

PROPOSED FOUNDATION PLAN
SCALE: 1/4"=1'-0"



PROPOSED
MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

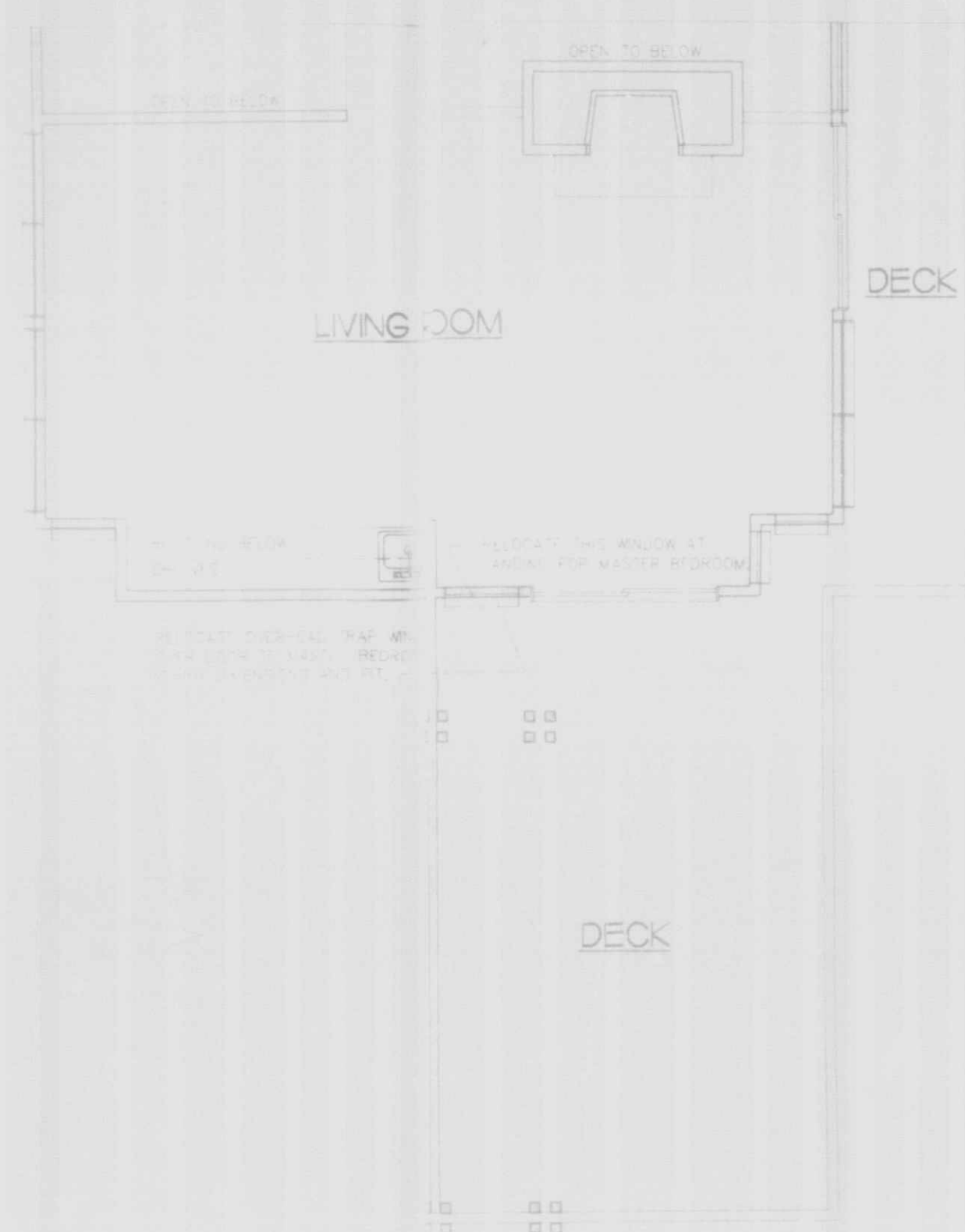


EXISTING CONSTRUCTION TO REMAIN.
NEW CONSTRUCTION
NOTE: ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS TO BE FIELD VERIFIED.

THE CATHEY ADDITION
PINEBROOK HILLS
BOULDER COUNTY, CO.
waugh & associates
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EXISTING UPPER LEVEL FLOOR PLAN SCALE: 1/4"=1'-0"

EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
NOTE: ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS TO BE FIELD VERIFIED.



GENERAL NOTES:
REMOVE, ALTER, AND REPAIR EXISTING WINDOWS FOR REUSE AS REQUIRED BY CONTRACT DOCUMENTS.
ALWAYS USE INSULATION FOR REUSE IN PROPOSED ADDITION.
ALL NEW WINDOWS SHALL BE FRAMED AND INSULATED PER ALL MATCH EXISTING SIZE AND SIZES AS NOTED.
ALL NEW DOORS SHALL BE 1-1/2" MIN. WITH WALK-IN CLOSET.
REMOVE EXISTING POWER CAPACITY AND INCREASE AS NECESSARY.
REMOVE EXISTING GAS CAPACITY AND INCREASE AS NECESSARY.
REMOVE EXISTING MATERIAL AND REPAIR SHALL MATCH EXISTING FLOORING MATERIAL AND SIZES PERFECTLY.
REMOVE WALL ELEVATIONS SHALL CORRESPOND TO EXISTING WALL ELEVATIONS AS INDICATED IN THESE DRAWINGS FOR AN UNINTERRUPTED FLOOR BETWEEN EXISTING FLOOR AND PROPOSED FLOOR.
REMOVE EXISTING GROUND FLOOR WALL, STRUCTURAL MEMBERS, AND FLOOR BY EXISTING MATERIAL, PROVIDE TEMPORARY SUPPORT AND BRACING FOR EXISTING CONSTRUCTION.
PROPOSED STAIR WALKWAY TO ADDITION SHALL MATCH EXISTING FLOORING MATERIAL.
A 1/2" CLEAR FLOOR SHALL BE MAINTAINED UNDER ALL NEW CONSTRUCTION.
REPLACE ALL EXISTING PARTIALS WITH NEW 2x4 REDWOOD DECKING.
REPLACE EXISTING MAX. ONE FROM PANEL BOX TO WATER.
REMOVE EXISTING FLOORING SHALL BE NOT LATER AND FREE OF DEBRIS.
REMOVE EXISTING FLOORING SHALL BE NOT LATER AND FREE OF DEBRIS.
REMOVE EXISTING FLOORING SHALL BE NOT LATER AND FREE OF DEBRIS.



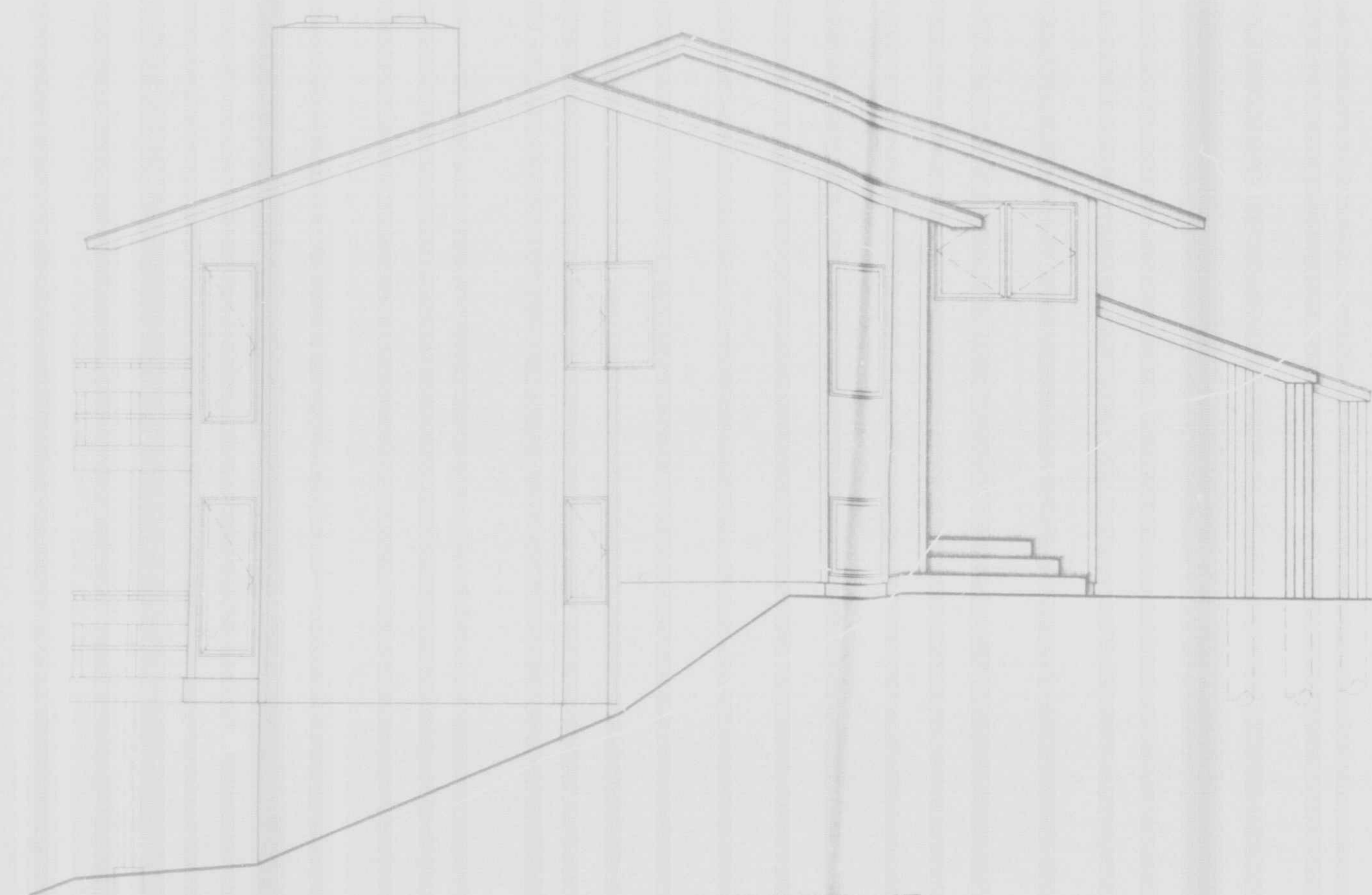
PROPOSED UPPER LEVEL FLOOR PLAN SCALE: 1/4"=1'-0" AREA: 527 SQ. FT.

EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
NOTE: ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS TO BE FIELD VERIFIED.

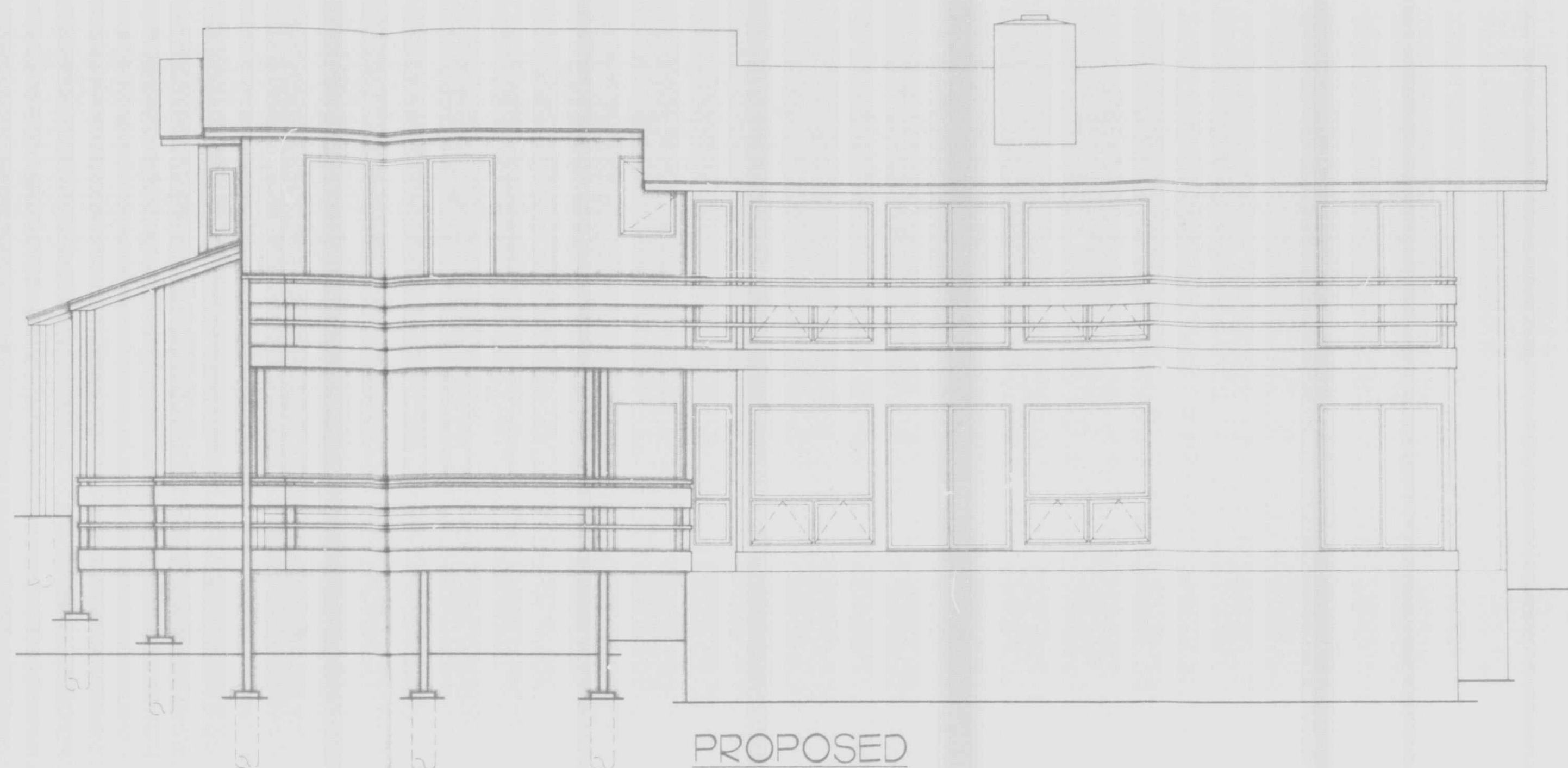
90-1001

THE CATHEY ADDITION
PINEBROOK HILLS
BOULDER COUNTY, CO.

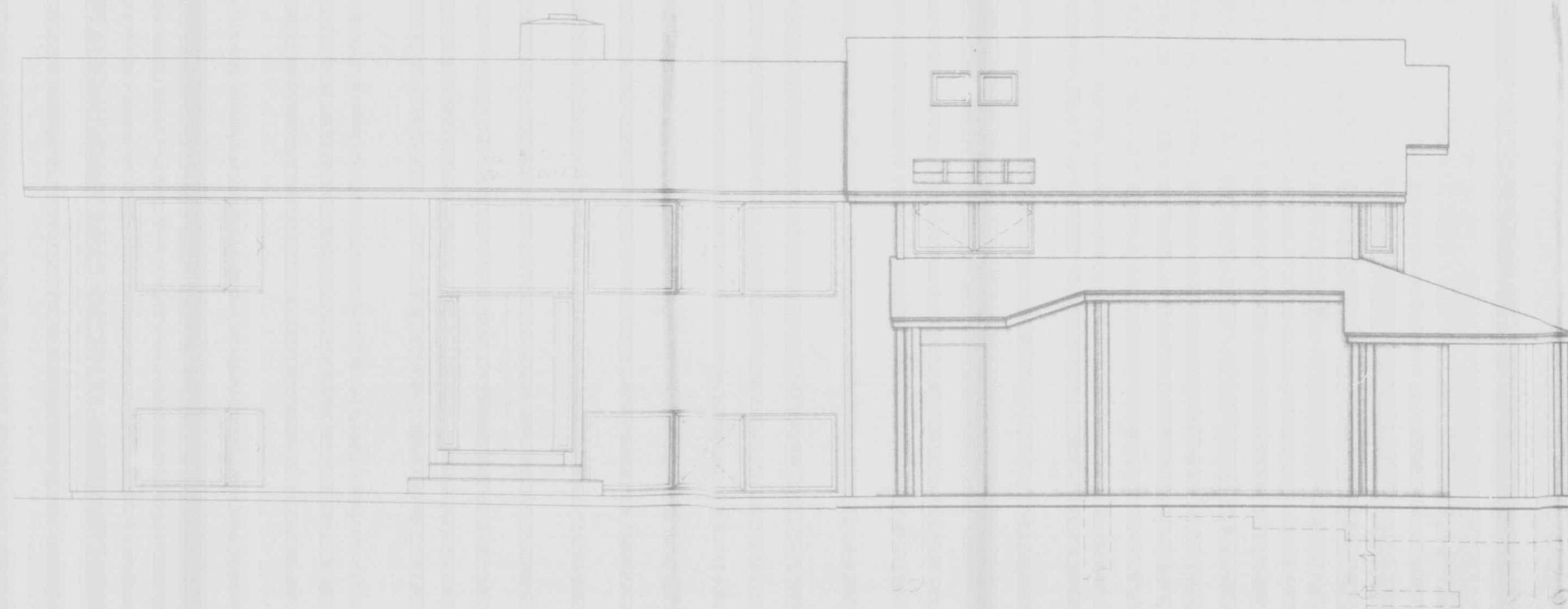
waugh & associates
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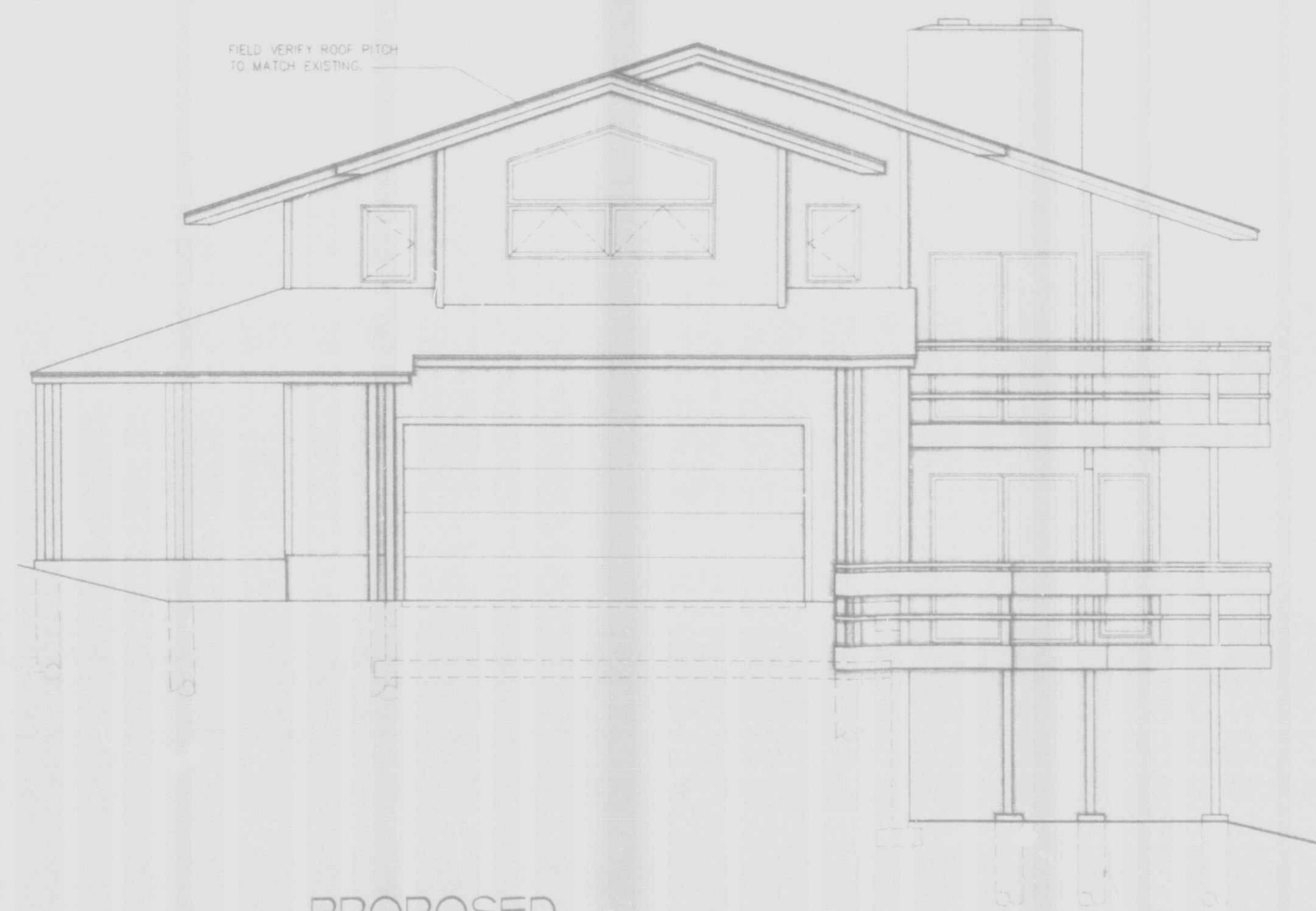
PROPOSED
NORTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED
EAST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED
WEST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED
SOUTH ELEVATION
SCALE: 1/4"=1'-0"

90-1001

THE CATHEY ADDITION
PINEBROOK HILLS
BOULDER COUNTY, CO.

waugh & associates
architecture • planning • solar design

1116 pearl • boulder, colorado • 80502 • 303.449.0993

5

AUGUST 20, 2000

ATTACHMENT H: 1992 ASSESSOR'S CARD

FIREPLACE DATA

2 FP 'C' (1)
MOSS ROCK

— QUALITY ADJUSTMENTS —

CA OVERHANDS, CORNERS

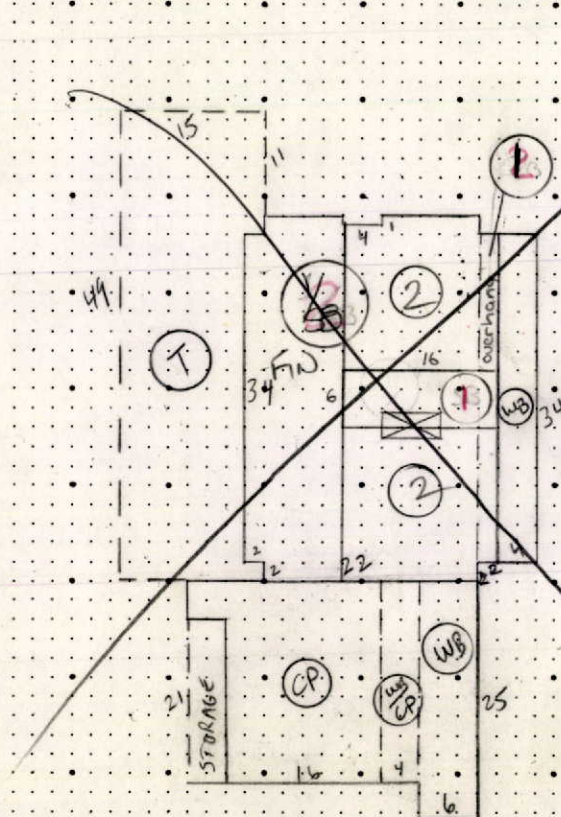
CB

CC OPEN BEAM/VAULTED CEILING,

CUSTOM WINDOWS, CORNER WINDOWS

LDC 5/4/84

Do Not Throw Away



1
34 x 26 = 884
22 x 2 = 44
10 x 2 = 20
8 x 2 = 16
4 x 1 = 4
968 #

2. floor

37 x 14 = 518 #

SB = 372

FINB = 372

6/14/88 SEW

Field Review

Change SB to ①

Change ① to ②



6/14/88



6/14/88

ID#

34894

1/1

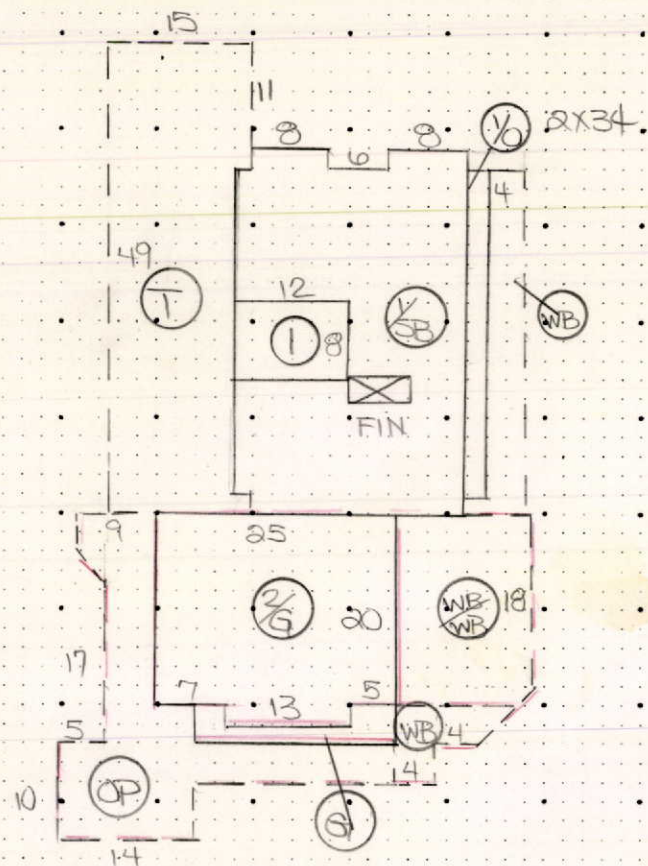
STR: 03-1N-71

DESCRIPTION: Lot 359 Pine

Brook Hills 7

PROPERTY ADDRESS:

228 Alpine Wy



Type G

1 = 960
 2 = 500
 B = 796
 FIN B = 796
 G = 584
 T = 637
 OP = 378
 WB = 708

(1) ZFPA

Heat = 1460

708 Carpet = 1022

8 Rooms

4 Bedrooms

6 1/2 Full

(1) 3/4 Bath

lavatory

Jacuzzi

Bar sink

960 + 1460 = 66

3490 Remodel

1974 X .66 = 1302.84

1991 X .34 = 676.94

Adjusted year = 1980



APPRAISER KDF

DATE 3/16/92

QUALITY ADJUSTMENTS:

CA-DESIGN varnated ceiling, multi-levelCB-EXTERIOR skylights, overhangs, front door treatmentCC-INTERIOR walk-in closet, tilework, wet bar, french doors, custom lighting, dec rail, custom cabs.

DEPRECIATION:

PHYSICAL

FUNCTIONAL

ECONOMIC

REMARKS: Addition/decks added for 1992,
Dimension taken from plans.

MARKET APPROACH:

ID #

(DAF) TAX AREA

A photograph of a large, dark, multi-story building, possibly a school or institutional structure, surrounded by trees and a paved area. The building has a prominent central section with a gabled roof and a balcony or walkway. The foreground is a light-colored, possibly paved or dirt area, and the background is filled with tall trees. The image has a slightly grainy, vintage quality.

(AA) TYPE NO. 12		(AN) DESIGN 1 Story		(AV) APPRAISED BY:		(AW) DATE:		(AX) Date:	
COST TABLE REFERENCES		YEAR BUILT 1974		ADJUSTED YEAR		Scale: 1" = 10'		Computed by: JT	
(AB) FIRST STORY		(AO) ROOMS 7		(AP) BEDROOMS 3				(AY) Reviewed by:	
(AC) BASEMENT Full		(AQ) BATHS 2		FIRST FLOOR FIN. AREA				FIRST FLOOR	
(AD) ABOVE FIRST				ABOVE FIRST FIN. AREA				2(8+10) x 4 = 36	
(AE) CARPORT 11/12/13				BASEMENT FIN. AREA				1 x 4 = 4	
(AF) CARPORT ROOF Pitch				TOTAL FINISHED AREA				26 x 34 = 884	
(AG) GARAGE 11/12/13				R.C.N./SQ. FT. FIN. AREA \$				2 x 22 = 44	
(AH) GARAGE WALL M				R.C.N.LD./SQ. FT. FIN. AREA \$				(BA) TOTAL 968 \$	
(AI) Att. Det. Barn								SECOND FLOOR AND ABOVE	
(E) FOUNDATION		APPLIANCES AND MECHANICAL 19 19						x =	
A Concrete		(K) APPLIANCES		TYP NO. UNIT COST COST				x =	
B Block		A Cooking Top						(BB) TOTAL \$	
C Stone		B Wall Oven						(AJ) 11/12/13 HALF STORY/FIN. ATTIC	
D Brick		C Drop-in Range w/Oven						x =	
E Piers		D Hood (Standard)						x =	
F Mud Sills		E Hood, Custom Str.						(BC) TOTAL \$	
		F Hood, Custom Con.						(AK) 11/12/13 PARTIAL BSMT. (UNFIN.)	
(F) EXTERIOR W.		G Electronic Oven						2(8+10) x 4 = 36	
A Fr. Wd. or Sh		H Electric B. B. Q.						1 x 4 = 4	
B Fr. Asbestos		I Double Oven						24 x 34 = 816	
C Fr. Stucco		J Central Vacuum						2 x 22 = 44	
D Brick Veneer		K Intercom., AM-FM						(BD) TOTAL 900 \$	
E Blk. Painted		L Intercom., AM						TOTAL BASE COST \$	
F Blk. Stucco		M Intercom., Remote Sta.						QUALITY ADJUSTMENT %	
G Brk. on Brk/Blk		Z						ADJUSTED BASE COST \$	
H Log		(L) PLUMBING						(AL) 11/12/13 FINISHED BASEMENT	
I Metal		A Base						2(8+10) x 4 = 36	
J N.Stn./Moss Rk		B 3 Fixture Bath						1 x 4 = 4	
Sq. Ft.		C 3/4 Bath						24 x 34 = 816	
		D 2 Fixture Bath						2 x 22 = 44	
(G) WINDOWS		E Lavatory						(BE) TOTAL 900 \$	
Wood		F Water Closet						APPLIANCES & MECHANICAL	
		G Bath Tub						DOLLAR ADJUSTMENTS	
(H) ROOF & RFNG.		H Roman Tub						Area Unit	
A Flat		I Stall Shower						N. Stn./Moss Rock \$	
B Shed		J Stall Shower, w/Door						Framing Adj. 1472	
C Gable		K Kitchen Sink						Roofing 1472	
D Hip		L Water Heater						Concrete Slab () ()	
E Gambrel		M Laundry Tray						Carpet 774 () ()	
F Framing Adj.		N Disposal						(AM) 11/12/13 PORCHES, ETC.	
G Asphalt Shgs.		O Dishwasher						Area Unit	
H Wood Shk./Shng		P R. I., 3 Fixture Bath						WB 4 x 34 136 \$	
I Conc. Bar Tile		Q Separate Stack						WB 4 x 21 84	
J Spanish Tile		R Sliding Tub Encl.						WB 6 x 25 150 370	
K Slt./Moss Tile		S Water Softener						CARPORT	
L Built-Up		T Sauna Bath						(BF) 21 x 24 504	
M Asbestos Shgs.		U Bidet						(BF) x	
		Z						GARAGE	
(I) INTERIOR FIN.		(M) HEATING & COOLING		SQ. FT. UNIT				(BG) x	
A Unfinished		A Forced Air		X 968				OTHER ITEMS	
B Plastered		B Gravity						REPLACEMENT COST NEW \$	
C Drywall		C Hot Wtr. or Steam						ADJUSTED % GOOD %	
D Wallboard		D Bsmt. Hot Wtr. Heat						TOTAL R.C.N.L.D. \$	
E Plywood		E Electric							
F Hardwood Panl.		F Wall or Floor Furnace							
		G Air Cond. (In Ht. Ducts)							
(J) FLOORS & FLRG.		H Air Cond. (w/Own Ducts)							
A Wood Joists		I Evaporative Coolers							
B Subfloor				NO. UNIT					
C Softwood Flrg.		J Electronic Air Cleaners							
D Hardwood Flrg.		K Humidifiers							
E Resilient Flrg.		L Elect. Wall Ht.-750 W							
F Ceramic Tile		M Elect. Wall Ht.-1500 W							
I Conc. Slab		N Attic Ex. Fan (w/Timer)							
Sq. Ft.		O Thru-Wall Air Cond.							
J Carpet		Z							
Sq. Ft.		TOTAL APPLIANCES & MECHANICAL \$							

ATTACHMENT I: FEBRUARY 14, 2025 EMAIL WITH NSA, PARCEL REPORT

From: [LU Land Use Planner](#)
To: emhawbecker@gmail.com; [LU Land Use Planner](#)
Subject: RE: [EXTERNAL] Ask a Planner - Emily Hawbecker - - 228 Alpine Way
Date: Friday, February 14, 2025 1:22:25 PM
Attachments: [NSA-228AlpineWay-34857-20250214.pdf](#)
[ParcelReport-146115005006.pdf](#)

Good Afternoon,

Thank you for your inquiry.

The presumed compatible size of [Residential Floor Area](#) (RFA) for this neighborhood is 4,884 sf where the property reports 2,840 sf. The Median of the neighborhood is 3,907 sf. See the attached parcel report to see what is counted toward amount of square footage on the property. The definition of RFA is very inclusive, please follow the link above for the definition. The Boulder County Commissioners have enacted a temporary moratorium on planning and building permits reviews that propose development over the **median** RFA beginning January 17 through July 18. Please see the press release at this link: [Commissioners Approve Temporary Moratorium for Larger Houses, Pending Regulation Changes - Boulder County.](#)

Since there hasn't been any development since 1998, this property is eligible to add up to a total of 1,000 sf (including RFA and non-RFA) with a building permit only and without a planning review. A proposal to add more than 1000 sf but less than 1,067 sf (before hitting the median) will trigger a [Site Plan Review Waiver](#) (SPRW) planning process.

The first step for SPRW is the pre-application conference where a Planner will go over the application and materials with you. Please visit our [Scheduling Portal](#) to self-schedule the required pre-application conference. Be sure to select "**Virtual Pre-application Meeting**" on the lower right side. *Please be sure to not close the scheduling portal until after you receive a confirmation screen or a confirmation email.*

Let us know if you need further assistance.

Best,

Wesley

On-Call Planner

303-441-3930 ext 3

planner@bouldercounty.gov

-----Original Message-----

From: Ask A Planner

Sent: Friday, February 14, 2025 1:02 PM

To: LU Land Use Planner

Subject: [EXTERNAL] Ask a Planner - Emily Hawbecker - - 228 Alpine Way

Boulder County Property Address : 228 Alpine Way

Name: Emily Hawbecker

Email Address: emhawbecker@gmail.com

Phone Number: (207) 838-6987

Please enter your question or comment: How large of an addition could be added this property.

Public record acknowledgement:

I acknowledge that this submission is considered a public record and will be made available by request under the Colorado Open Records Act.

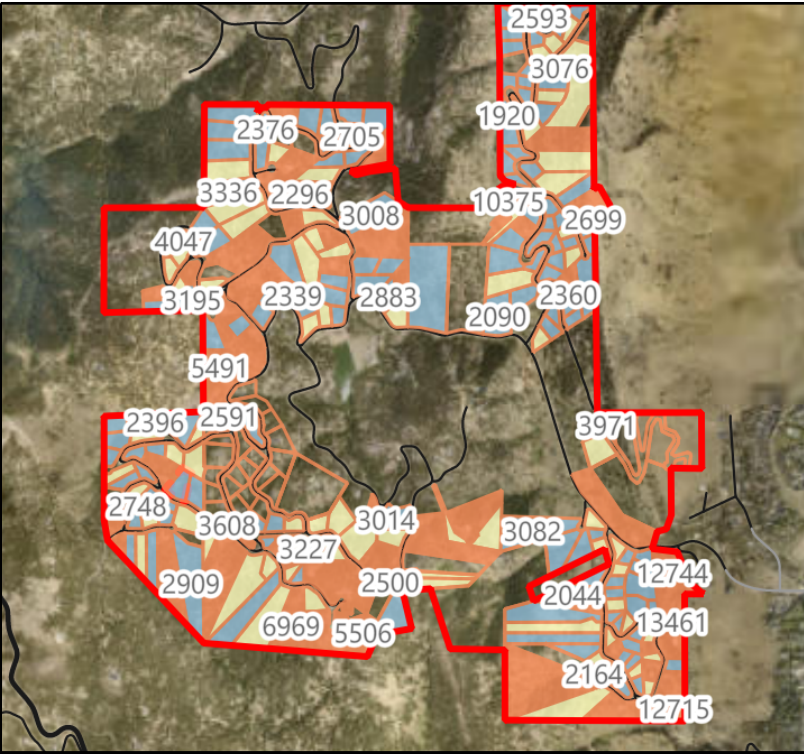


Preliminary Size Analysis

228 ALPINE WAY
MARSHALL EMILY

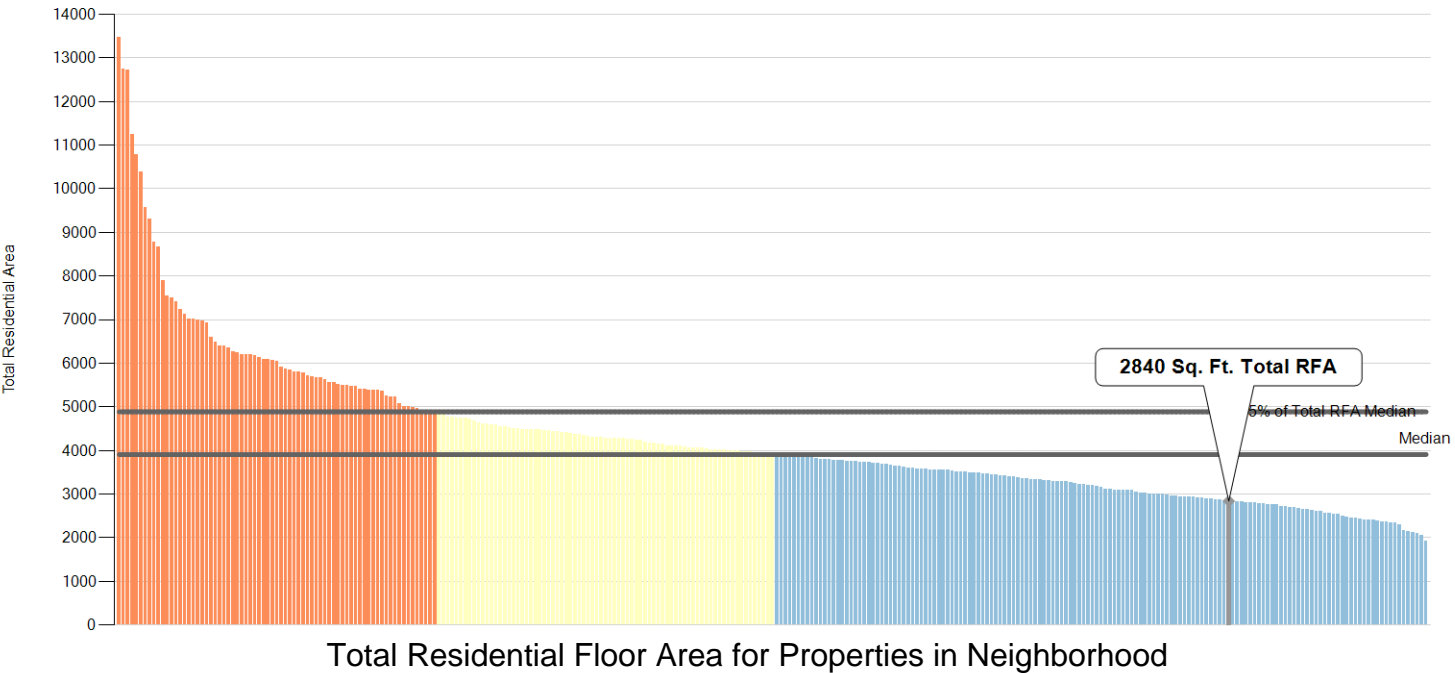
This report is not an indication of the developability of any parcel as other factors including legal building lot status, service availability, and access impact the development potential of property. Please note that this information is preliminary.

The information for the residential floor area comes from Assessor records and may not be entirely inclusive of the residential floor area on site. Outbuildings may have changed their function or modifications may have been made. Please contact the



125% of Neighborhood Median: 4,884 sq. ft. The Presumptive Size Maximum is 2,500 sq.ft. (1,500 in townsite) or 125% of the Neighborhood Median, whichever is greater.			
	Below Grade	Above Grade	Total Grade
Minimum sq. ft.	96	1,041	1,920
Median sq. ft.	1,341	2,712	3,907
Maximum sq. ft.	5,483	9,409	13,461
Sq. Ft. Changes since 9/8/98: 0 changes			
The following areas many affect the Site Plan Review: No areas found			

Type of Neighborhood: Subdivision (Subdivision)



Parcel	Address	Owner	Below	Above	Total
146124203031 (R0035002)	200 BOULDER VIEW LN	CALANO JAMES C	5,474	7,987	13,461
146124203030 (R0034995)	19 ARROWLEAF CT	CASTLE BLACK BOULDER LLC	5,483	7,261	12,744
146124203035 (R0034953)	34 BOULDER VIEW LN	34 BVL LLC	3,306	9,409	12,715
146124203036 (R0034954)	12 BOULDER VIEW LN	CHAVEZ WAYNE A ET AL	4,470	6,767	11,237
146114009005 (R0034640)	2692 LINDEN DR	GLEBE LAURA L & JASON E	3,054	7,716	10,770
146114004016 (R0034878)	100 VALLEY VIEW WAY	MITELMAN LILYA & RYAN S	4,631	5,744	10,375
146123017001 (R0502079)	1133 TIMBER LN	ANDERSON LIVING TRUST	2,623	6,949	9,572
146124203033 (R0034955)	80 BOULDER VIEW LN	STANCLIFFE TIMOTHY R &	2,099	7,214	9,313
146123008001 (R0034788)	855 TIMBER LN	SEVEN SISTERS TRUST	1,930	6,835	8,765
146124203014 (R0034993)	333 S CEDAR BROOK RD	GHADIMI R NADER	2,421	6,250	8,671
146114004012 (R0034712)	166 VALLEY VIEW WAY	LAPP FAMILY REVOCABLE	2,611	5,289	7,900
146115005008 (R0034937)	382 ALPINE WAY	POLIS ROBERT NATHAN	2,496	5,042	7,538
146114009006 (R0067764)	2554 LINDEN DR	ANDRUS DAVID L & MARTHA R	2,412	5,091	7,503
146114002005 (R0034812)	101 MEADOWLOOK WAY	WESTFALL SCOTT A & LESLIE	2,466	4,948	7,414
146124214001 (R0085687)	1142 LINDEN DR	FORSYTHE ROBERT C & HEIDI	3,133	4,108	7,241
146124214002 (R0124427)	1024 LINDEN DR	REMMERT STEPHEN & SARAH	3,535	3,596	7,131
146114012001 (R0034723)	45 WILD HORSE CIR	FUGERE JAMES P & MARLENE	2,404	4,611	7,015
146124210002 (R0034971)	497 S CEDAR BROOK RD	HOOPER EVAN A III	2,720	4,281	7,001
146114007002 (R0034773)	805 PINE BROOK RD	ANDERSEN MARK L	2,405	4,585	6,990
146123004004 (R0034717)	200 ALDER LN	POWERS JOHN P	2,378	4,591	6,969
146124201001 (R0034983)	499 S CEDAR BROOK RD	CHRISTOPHER KAREN K	1,602	5,320	6,922
146114012004 (R0034648)	67 WILD HORSE CIR	CARY P HENDRICKS TRUST	2,084	4,500	6,584
146114004013 (R0101730)	483 N CEDAR BROOK RD	OTTOLINO PAUL & ANNA	2,283	4,195	6,478
146123014001 (R0034755)	229 ALDER LN	BRADFORD DOUGLAS KENT	2,392	3,998	6,390
146124203034 (R0034998)	52 BOULDER VIEW LN	COHEN MITCHELL &	0	6,386	6,386
146115001010 (R0034828)	337 WILD HORSE CIR	BACH LIVING TRUST	2,822	3,533	6,355
146123016001 (R0064540)	296 ALDER LN	HOUGHT ROMAN & PATRICIA	1,820	4,447	6,267
146123014002 (R0106523)	321 ALDER LN	PATEL NEIL & MARY BETH	1,002	5,243	6,245
146115005007 (R0034936)	360 ALPINE WAY	CATHEY CHERILYNN I TRUST	2,259	3,938	6,197
146123011007 (R0034659)	75 ALDER LN	MYERS BRANDON ET AL	1,852	4,341	6,193
146114010004 (R0034817)	214 PINE BROOK RD	DODGE JOHN R & LESLIE B	1,370	4,818	6,188
146115010001 (R0034889)	132 WILDCAT LN	FAULKNER GEORGE H &	2,382	3,798	6,180
146114006008 (R0034649)	24 PINE BROOK RD	HUNEKE DANIEL CHASE	1,824	4,310	6,134
146123009008 (R0034991)	95 ACORN LN	WAYNE EDWARD JR	3,071	3,025	6,096
146122006008 (R0034884)	90 HAWK LN	FRIEDL FAMILY TRUST	1,851	4,238	6,089
146114008004 (R0034732)	535 PINE BROOK RD	COZZENS DEREK	2,483	3,590	6,073
146124201002 (R0034979)	7 ACORN LN	PALMOS LEONIDAS	0	6,047	6,047
146123009003 (R0035001)	230 S CEDAR BROOK RD	TURNER JOHN M	2,084	3,829	5,913
146114009016 (R0034781)	2900 LINDEN DR	ANDERSEN JON R & LARA F	2,468	3,403	5,871
146114002010 (R0034809)	95 MEADOWLOOK WAY	PHOENIX TRUST	2,621	3,226	5,847
146114010003 (R0034734)	210 PINE BROOK RD	COLLOPY ALEJANDRA &	2,117	3,687	5,804
146123013009 (R0034868)	63 ALPINE WAY	SINGH PARAM I	1,300	4,495	5,795
146123007007 (R0034767)	1266 TIMBER LN	THEISS EDWARD P & MARY C	1,245	4,522	5,767
146114010005 (R0034769)	50 WAGNER CIR	GAAL PETER & DANIELA	1,336	4,380	5,716
146123011015 (R0034704)	313 ALDER LN	HOLUM KNUTE E & REBECCA	798	4,890	5,688
146111012002 (R0034614)	1285 N CEDAR BROOK	SMITH ROBERT JAMES ET AL	1,999	3,673	5,672
146124201003 (R0034984)	57 ACORN LN	ARNOLDY MARK ET AL	759	4,912	5,671
146123013002 (R0034562)	280 ALDER LN	WEEDEN BRITTANY &	1,581	4,035	5,616

Parcel	Address	Owner	Below	Above	Total
146122006012 (R0034914)	225 BRISTLECONE WAY	JOHNSON GREGORY B	1,696	3,866	5,562
146123013010 (R0034861)	137 ALPINE WAY	HUPKA JEAN ANN REVOCABLE	2,792	2,760	5,552
146123011016 (R0034667)	315 ALDER LN	JOHNSON HAROLD L & KRISTA	1,808	3,698	5,506
146114012006 (R0034814)	1981 TIMBER LN	MENZIES PATRICK A & JANIA	1,899	3,592	5,491
146114008015 (R0034646)	2857 LINDEN DR	MADA PROFIT SHARING PLAN	2,280	3,209	5,489
146114009004 (R0067767)	2718 LINDEN DR	GETHOFFER TRUST	1,622	3,848	5,470
146123012002 (R0034690)	46 ALPINE WAY	JOHNSON ERIK B	1,466	4,003	5,469
146124210001 (R0067768)	495 S CEDAR BROOK RD	GOODWIN WALTER E &	0	5,412	5,412
146114007001 (R0034657)	3 WILDWOOD LN	WOODS CHRISTOPHER	2,262	3,138	5,400
146123007003 (R0034771)	500 TIMBER LN	DONICHT JOHN & KAY	2,694	2,683	5,377
146114009018 (R0034747)	2936 LINDEN DR	SCHIFF FAMILY TRUST	1,015	4,357	5,372
146115003001 (R0034886)	215 WILD HORSE CIR	SMITH KEVIN J & DORIS C	1,696	3,674	5,370
146122007001 (R0034901)	230 BRISTLECONE WAY	CZIRR KYLE LEE & LAUREN	636	4,717	5,353
146124203021 (R0034966)	109 BOULDER VIEW LN	SCHULER PAUL	2,411	2,834	5,245
146114008013 (R0034816)	2695 LINDEN DR	BRENNER NATHANIEL JACOB	1,762	3,474	5,236
146123007009 (R0034697)	1032 TIMBER LN	MINDEN FAMILY TRUST	2,162	3,066	5,228
146124203020 (R0034968)	107 BOULDER VIEW LN	LEMAIRE WILLIAM J &	1,746	3,314	5,060
146114002025 (R0034787)	174 N CEDAR BROOK RD	COLORADO LOHI PROPERTIES	2,490	2,522	5,012
146114012003 (R0034665)	2491 LINDEN DR	TRAVIS MICHAEL	1,866	3,134	5,000
146114011003 (R0034803)	188 WILD HORSE CIR	KENDALL PATRICIA R &	1,646	3,342	4,988
146123011008 (R0034685)	123 ALDER LN	HUFF JAMES O & ANNE S	1,382	3,582	4,964
146114006004 (R0034784)	14 PINE BROOK RD	RICHARDSON MARTIN & GINA	1,496	3,428	4,924
146114010002 (R0034581)	148 PINE BROOK RD	BEAUPREZ MELVIN J & GALE	1,796	3,118	4,914
146114012007 (R0034756)	1959 TIMBER LN	HARMON LAURA A	1,066	3,841	4,907
146124203023 (R0034956)	177 BOULDER VIEW LN	KAY STEPHANIE M & ROBERT	2,010	2,892	4,902
146123009005 (R0034982)	274 S CEDAR BROOK RD	DIGIULIAN SASHA & ERIK H	1,085	3,798	4,883
146124203017 (R0034969)	415 S CEDAR BROOK RD	LINDNER RICHARD E & EMILY	1,708	3,140	4,848
146114004011 (R0034711)	150 VALLEY VIEW WAY	SROKA DAVID H	1,744	3,027	4,771
146123011004 (R0034720)	500 PINE TREE LN	VAN HATTEN MICHAEL E	1,509	3,247	4,756
146111013007 (R0034751)	1204 N CEDAR BROOK	STEINMAN JOSEPH R & SARA	655	4,091	4,746
146124203019 (R0034965)	63 BOULDER VIEW LN	LAKE ETHAN T	1,014	3,727	4,741
146111013006 (R0034748)	1306 N CEDAR BROOK	LETTS BRIAN P & CATHERINE	1,512	3,226	4,738
146111014006 (R0034841)	772 N CEDAR BROOK RD	DOBBS STEVEN PATRICK &	1,288	3,432	4,720
146114002006 (R0034757)	99 MEADOWLOOK WAY	SCHIBLI THOMAS & HISAKO	1,192	3,480	4,672
146123008004 (R0034752)	1145 TIMBER LN	PRENTICE STEWART ET AL	745	3,889	4,634
146114008009 (R0034745)	301 PINE BROOK RD	RINDELS BRIAN L & CAROLYN	889	3,723	4,612
146114009017 (R0034624)	2990 LINDEN DR	LILLEY GEORGE W	2,290	2,310	4,600
146122006004 (R0034898)	115 HAWK LN	BEER DIANA D	1,338	3,249	4,587
146114002017 (R0067749)	142 MEADOWLOOK WAY	YAFFE RUTH F TRUST	2,052	2,524	4,576
146114010006 (R0034768)	37 WAGNER CIR	KOTHMANN BARBARA	830	3,722	4,552
146123006001 (R0034895)	1472 TIMBER LN	WATERS RICHARD D JR	636	3,902	4,538
146114010013 (R0034568)	925 PINE BROOK RD	KAPLAN RICHARD & DENISE	1,786	2,725	4,511
146115003002 (R0034925)	291 WILD HORSE CIR	GLOTZER JANE K & STEVEN P	1,820	2,671	4,491
146114003003 (R0034880)	60 N CEDAR BROOK RD	AISNER MICHAEL D	2,358	2,132	4,490
146114010015 (R0034736)	98 PINE BROOK RD	LOOSE GREGORY & JULIE	1,848	2,633	4,481
146114008011 (R0034777)	201 PINE BROOK RD	MOHR ROBERT S & NANCY E	1,113	3,362	4,475
146115005003 (R0034883)	227 BALSAM LN	MCPHERSON BRUCE D	1,288	3,179	4,467
146114004005 (R0034733)	193 N CEDAR BROOK RD	ERICKSON ERIC L &	1,333	3,134	4,467

Parcel	Address	Owner	Below	Above	Total
146124203009 (R0034959)	57 FIR LN	WATERS DONNA MARIE	1,040	3,426	4,466
146115004008 (R0034890)	178 BALSAM LN	DIXON MARGARET	0	4,457	4,457
146114009012 (R0034691)	2150 LINDEN DR	LILLYDAHL JANE H & WILLIAM	0	4,456	4,456
146124203006 (R0034960)	201 S CEDAR BROOK RD	ROGERS BRIAN D	1,914	2,514	4,428
146123010003 (R0034728)	86 S CEDAR BROOK RD	GIANNETTI DENNIS N & TERRI	2,202	2,220	4,422
146111014002 (R0067746)	98 RIDGE DR	JACKSON ROBERT P & LYNN B	1,205	3,215	4,420
146123018001 (R0605468)	80 ALDER LN	CDXUS LLC	2,278	2,122	4,400
146115006002 (R0034923)	407 ALPINE WAY	BENHAM BRIAN & STACEY	1,717	2,661	4,378
146123007006 (R0034746)	1330 TIMBER LN	TUPY JUDY ANN REV TRUST	2,136	2,238	4,374
146124203013 (R0034981)	271 S CEDAR BROOK RD	MALCHOW NANCY BISHOP	286	4,069	4,355
146124203001 (R0034985)	25 S CEDAR BROOK RD	SJS 25 S CEDAR BROOK	0	4,350	4,350
146111013005 (R0034617)	71 RIDGE DR	CONDON WILLIAM S II &	1,182	3,130	4,312
146123011009 (R0034689)	175 ALDER LN	DEUTSCHMAN ALFRED &	1,023	3,282	4,305
146122006002 (R0034909)	67 HAWK LN	BORTZ DAVID M & VANJA	764	3,534	4,298
146114002008 (R0034583)	584 N CEDAR BROOK RD	KANDALAFT JOYCE	0	4,292	4,292
146123018002 (R0605469)	25 ALPINE WAY	WAHLERT FAMILY LIVING	1,498	2,789	4,287
146124203022 (R0034977)	151 BOULDER VIEW LN	HUNTER LEIGH K	1,502	2,782	4,284
146115002002 (R0034939)	478 WILD HORSE CIR	THOMSON ANTONEE	1,372	2,908	4,280
146123013001 (R0069390)	228 ALDER LN	CARPENTER KURT L	1,716	2,551	4,267
146123013005 (R0034741)	168 ALDER LN	WOLF FRED E & ANNE E	672	3,595	4,267
146114002015 (R0034738)	168 MEADOWLOOK WAY	HENDERSON ROGER J &	1,398	2,858	4,256
146114006002 (R0034800)	1976 LINDEN DR	ZERVOS SARA J ET AL	96	4,152	4,248
146115004001 (R0034875)	114 BALSAM LN	KING SMITH PETER A &	1,404	2,836	4,240
146114008016 (R0034758)	28 PINE BROOK RD	GROENDYK STEPHEN	1,201	3,028	4,229
146123010001 (R0034821)	43 BEAVER WAY	GILMOUR RYAN ET AL	1,093	3,086	4,179
146123005001 (R0034908)	551 PINE TREE LN	PHIFER MICHAEL L	1,307	2,868	4,175
146114009002 (R0034820)	2810 LINDEN DR	CLEEVES VINCENT F JR &	1,200	2,972	4,172
146115002004 (R0034949)	594 WILD HORSE CIR	CURTIS KIMBERLY A	0	4,146	4,146
146114004007 (R0034796)	425 N CEDAR BROOK RD	AYERS HOWARD L & TERESA	972	3,168	4,140
146123011001 (R0034686)	1307 TIMBER LN	KOSLOW ALEXANDER &	1,580	2,531	4,111
146123009009 (R0034961)	71 ACORN LN	ACORN WILDLIFE LLC	1,236	2,871	4,107
146123008005 (R0034586)	1151 TIMBER LN	JRB PROPERTY LLC	0	4,096	4,096
146115005004 (R0034910)	254 PINE TREE LN	CRUZ FLORENTINA E LIVING	0	4,095	4,095
146115002001 (R0034924)	412 WILD HORSE CIR	BUNDY KEVIN MICHAEL &	1,581	2,504	4,085
146123008008 (R0034879)	859 TIMBER LN	BUSSINGER FOSTER TRUST	396	3,670	4,066
146122006010 (R0034945)	16 HAWK LN	SEIDNER ROBIN & CINDY A	1,728	2,336	4,064
146113305001 (R0034572)	324 PINE NEEDLE RD	PILLING AARON	1,220	2,833	4,053
146115002003 (R0034885)	562 WILD HORSE CIR	NICHOLS RYAN L & KRISTIN A	1,887	2,160	4,047
146114009001 (R0034628)	2879 LINDEN DR	THOMPSON ALAN J & DIANE L	0	4,025	4,025
146114002004 (R0034839)	770 N CEDAR BROOK RD	WILSON LINDSAY	1,144	2,876	4,020
146123009013 (R0505766)	364 S CEDAR BROOK RD	CURTIS KEVIN R & DARLENE K	2,010	2,010	4,020
146124203003 (R0034976)	42 ARROWLEAF CT	SCHOLZ TRINA & ERIC R	696	3,321	4,017
146123007004 (R0034847)	1390 TIMBER LN	BODORFF NATASHA &	1,520	2,491	4,011
146114009011 (R0034764)	2300 LINDEN DR	DELILAHS HERBALS LLC	1,117	2,880	3,997
146115007002 (R0034903)	65 BRISTLECONE WAY	JUDD ELIZABETH ANN &	1,326	2,671	3,997
146123007010 (R0034696)	994 TIMBER LN	ACHESON WENDY LYNN	1,658	2,322	3,980
146113301001 (R0034571)	309 PINE NEEDLE RD	SIMS DAVID & MICHELE	488	3,483	3,971
146124202003 (R0034975)	414 S CEDAR BROOK RD	MORTIZ KATHY LIVING TRUST	1,771	2,194	3,965

Parcel	Address	Owner	Below	Above	Total
146111014005 (R0034837)	982 N CEDAR BROOK RD	FRANZ RYAN W & GRACE	1,040	2,919	3,959
146123011002 (R0034585)	1309 TIMBER LN	LASHER MARTIN A & ILENE J	1,543	2,408	3,951
146114011001 (R0034661)	128 WILD HORSE CIR	UYESHIRO COURTNEY &	1,080	2,868	3,948
146124203024 (R0034957)	209 BOULDER VIEW LN	WEINSTEIN BRETT &	797	3,130	3,927
146114008012 (R0034700)	203 PINE BROOK RD	SHOKRGOZAR-HOLMES	781	3,140	3,921
146123013011 (R0034579)	159 ALPINE WAY	TAYLOR JENNIFER	0	3,907	3,907
146123009004 (R0034989)	238 S CEDAR BROOK RD	SCHAEFER ALEXANDER	1,759	2,146	3,905
146111012005 (R0034612)	1131 N CEDAR BROOK	RANNIGER STACIE L	636	3,246	3,882
146115004009 (R0034904)	298 BALSAM LN	COHAN CASEY & ALISON	1,020	2,857	3,877
146114002016 (R0034805)	166 MEADOWLOOK WAY	LILLIE NICHOLAS JAMES ET AL	1,652	2,224	3,876
146124203025 (R0034990)	225 BOULDER VIEW LN	RAMIG PETER R	1,641	2,232	3,873
146111012003 (R0034613)	1257 N CEDAR BROOK	HARTZELL DALE A & H KIM	0	3,850	3,850
146122006011 (R0034915)	2 HAWK LN	LARSON PAIGE M	1,200	2,638	3,838
146111012004 (R0034622)	1253 N CEDAR BROOK	AFFLERBACH MELISSA &	1,000	2,832	3,832
146114004009 (R0034749)	417 N CEDAR BROOK RD	GORDON ROB	918	2,908	3,826
146114002022 (R0034740)	330 N CEDAR BROOK RD	SITTERLEY SAMANTHA &	1,154	2,655	3,809
146123005003 (R0034919)	375 PINE TREE LN	KOPROWSKI BRION C	1,446	2,357	3,803
146114007003 (R0034638)	795 PINE BROOK RD	LEONARD JED P & MELISSA A	1,438	2,353	3,791
146124203002 (R0034978)	1011 LINDEN DR	JESSEE WILLIAM KENT	844	2,946	3,790
146115010002 (R0034888)	138 WILDCAT LN	CRONSHAW MARK B	1,440	2,336	3,776
146124203004 (R0034994)	65 ARROWLEAF CT	PREISER ALEXANDER & JODY	2,010	1,764	3,774
146114006007 (R0034877)	20 PINE BROOK RD	LEJA HEATHER PURCELL	1,304	2,467	3,771
146114009013 (R0067752)	2146 LINDEN DR	HENTHORN M PETER &	1,466	2,286	3,752
146123011006 (R0034687)	49 ALDER LN	WERELEY ANDREW	1,140	2,611	3,751
146123011010 (R0034866)	191 ALDER LN	KLEIN CHRISTOPHER &	969	2,769	3,738
146124202002 (R0034973)	4 ACORN LN	ROSE JEFFREY	1,689	2,044	3,733
146124203029 (R0035004)	15 ARROWLEAF CT	RAMACHANDRAN DUSH	0	3,724	3,724
146115003003 (R0034932)	333 WILD HORSE CIR	WELLMAN DEBRA ANN &	1,512	2,208	3,720
146114002012 (R0034644)	115 MEADOWLOOK WAY	RAFII CYRUS AMIR & SUSAN	1,518	2,193	3,711
146115001011 (R0034905)	335 WILD HORSE CIR	GRAY MARTIN B & EVELYN M	1,580	2,126	3,706
146114009008 (R0034779)	2394 LINDEN DR	CULLEN MATTHEW B & DARA	1,489	2,193	3,682
146124203018 (R0034974)	455 S CEDAR BROOK RD	BUSTAMANTE CARLA V &	1,348	2,327	3,675
146111012008 (R0034610)	1043 N CEDAR BROOK	NAGLE DIERDRE S &	1,832	1,832	3,664
146111013008 (R0034602)	1234 N CEDAR BROOK	LADWIG MATTHEW W &	1,056	2,592	3,648
146114006005 (R0034795)	2030 LINDEN DR	COPELAND KARA S & F KENT	1,509	2,125	3,634
146123012001 (R0034564)	82 ALPINE WAY	FAD THOMAS E & CORINA K	1,562	2,046	3,608
146111013001 (R0034618)	1326 N CEDAR BROOK	CURRAN MARIA	1,435	2,163	3,598
146114002002 (R0034584)	966 N CEDAR BROOK RD	GRAY RICHARD C & JEANNE	1,650	1,935	3,585
146123010002 (R0034825)	59 BEAVER WAY	HAUGH BRADY & BRIANA	1,040	2,540	3,580
146114011005 (R0034940)	555 WILD HORSE CIR	PALEN HAUKENESS	860	2,712	3,572
146114011004 (R0034786)	212 WILD HORSE CIR	HARSH JOHN R & MARGARET	1,968	1,603	3,571
146115004002 (R0067879)	120 BALSAM LN	MONROY SARAH J	1,373	2,183	3,556
146123011005 (R0034721)	458 PINE TREE LN	NELSON JOHN THOMAS	1,276	2,274	3,550
146114004015 (R0067748)	91 VALLEY VIEW WAY	SALTMARSH THOMAS	945	2,602	3,547
146115007004 (R0034897)	293 ALPINE WAY	SEBSTAD JENNEFER	1,500	2,046	3,546
146122006009 (R0034950)	60 HAWK LN	HOWL FAMILY TRUST	1,531	2,011	3,542
146122006001 (R0034896)	27 HAWK LN	MOORE SARA MANN &	1,398	2,138	3,536
146115007003 (R0034942)	25 BRISTLECONE WAY	KIMBALL LYNN J	1,533	1,972	3,505

Parcel	Address	Owner	Below	Above	Total
146123010005 (R0034881)	66 BEAVER WAY	KELLER WOLFGANG & CAROL	0	3,496	3,496
146114006006 (R0034679)	18 PINE BROOK RD	CURTIS IVORY & SCOTT H	801	2,695	3,496
146114004010 (R0034582)	445 N CEDAR BROOK RD	ZIMMER-REED LAURAJANE &	1,386	2,106	3,492
146114002030 (R0508690)	196 N CEDAR BROOK RD	ROBINSON BENNETT LEE &	0	3,491	3,491
146114010014 (R0034735)	1010 PINE BROOK RD	STIMPSON THOMAS B &	608	2,868	3,476
146114002014 (R0034759)	194 MEADOWLOOK WAY	SCULLY MUSIAL FAMILY	392	3,076	3,468
146115005002 (R0034926)	225 BALSAM LN	MONTGOMERY KENNETH	1,653	1,809	3,462
146114012009 (R0034791)	76 PINE TREE LN	MARKEY ARTHUR A	1,406	2,028	3,434
146123007001 (R0034698)	948 TIMBER LN	MARTIN REED & REBECCA	1,124	2,308	3,432
146114009003 (R0034760)	2794 LINDEN DR	SCHLAG HYDE FAMILY TRUST	638	2,780	3,418
146124202001 (R0035006)	58 ACORN LN	NORDQUIST JAKE & DANA	1,232	2,185	3,417
146114002021 (R0034790)	450 N CEDAR BROOK RD	HEATH GREGORY F & PAMELA	1,632	1,768	3,400
146111013004 (R0067747)	1280 N CEDAR BROOK	L MINISTRY	1,129	2,268	3,397
146122006003 (R0034944)	93 HAWK LN	PARSEY RAMIN VAZIRI REV	0	3,384	3,384
146114002029 (R0508689)	194 N CEDAR BROOK RD	KING RYAN & KATHLEEN	1,392	1,968	3,360
146114008003 (R0034775)	619 PINE BROOK RD	RIDLEY BRIAN A & SONIA K	1,436	1,916	3,352
146114008010 (R0034831)	211 PINE BROOK RD	SPITZ GLENN & PATRICE	1,271	2,065	3,336
146111012007 (R0034603)	901 N CEDAR BROOK RD	RYBCZYNSKI MARCIN P &	860	2,470	3,330
146124203015 (R0034964)	365 S CEDAR BROOK RD	WOLFORD DONNA E	1,440	1,880	3,320
146114002003 (R0034604)	810 N CEDAR BROOK RD	MCCRAY MICHAEL A	929	2,382	3,311
146124203005 (R0034999)	163 S CEDAR BROOK RD	SMITH LIVING TRUST	1,365	1,941	3,306
146114001001 (R0034794)	607 N CEDAR BROOK RD	SILVERMAN LESLIE L LIVING	1,328	1,967	3,295
146114004008 (R0034709)	371 N CEDAR BROOK RD	FLATIRONS 42 LIMITED	1,404	1,884	3,288
146123005002 (R0034928)	1531 TIMBER LN	FRANKLIN RICHARD M	1,502	1,782	3,284
146114012008 (R0034670)	40 PINE TREE LN	BRANYAN WILLIAM R & KAREN	752	2,528	3,280
146123013006 (R0034829)	128 ALDER LN	TRIGGS TIMOTHY E &	900	2,368	3,268
146114009010 (R0034770)	2322 LINDEN DR	TUERK TRACY TRUST	1,366	1,872	3,238
146114010012 (R0034722)	792 PINE BROOK RD	MIRACLES HAPPEN CA LLC ET	1,350	1,878	3,228
146123011003 (R0034660)	1431 TIMBER LN	OFFEN-ROVTAR KADY	1,564	1,663	3,227
146124203032 (R0034970)	140 BOULDER VIEW LN	HAVLICK ERIK	1,070	2,126	3,196
146115003004 (R0034933)	145 WILD HORSE CIR	145 WILD HORSE LLC	1,240	1,955	3,195
146115004007 (R0034887)	151 WILDCAT LN	LEVI ROBERT BEN	1,059	2,111	3,170
146114008006 (R0034699)	439 PINE BROOK RD	BACH JENNIFER L	1,240	1,922	3,162
146114008008 (R0034714)	345 PINE BROOK RD	FRANCE ROBERT A & PAMELA	798	2,314	3,112
146124203008 (R0034958)	35 FIR LN	GRIFFIN RICHARD L & ANITA S	928	2,183	3,111
146115006001 (R0034900)	50 BRISTLECONE WAY	GARRARD JAMES H &	1,188	1,906	3,094
146115005005 (R0034938)	208 ALPINE WAY	ROTHERY RICHARD	1,293	1,797	3,090
146123010006 (R0034783)	46 BEAVER WAY	KUHN JEFFREY A & SARA	1,531	1,551	3,082
146114002013 (R0034789)	153 MEADOWLOOK WAY	SHAFFER BROOK ET AL	552	2,528	3,080
146111014003 (R0034838)	36 RIDGE DR	ODOM DAVID LEE &	836	2,240	3,076
146115008002 (R0068056)	160 BRISTLECONE WAY	WOODS VERONICA BONNIE &	1,198	1,851	3,049
146114008001 (R0034576)	784 BOW MOUNTAIN RD	MITCHELL JACK	1,512	1,512	3,024
146123007002 (R0034806)	548 TIMBER LN	OLLIVER ROBERT P	1,446	1,568	3,014
146114006009 (R0034808)	16 PINE BROOK RD	EDELSTEIN HARRIET &	0	3,008	3,008
146111012010 (R0034621)	997 N CEDAR BROOK RD	WEBER CHRISTINA A & JAY M	0	2,999	2,999
146114012005 (R0034793)	69 WILD HORSE CIR	MESTDAGH MARGIT & STEVEN	0	2,998	2,998
146111012009 (R0034609)	1011 N CEDAR BROOK	CUCURULL LIDIA LIVING	1,024	1,972	2,996
146123009006 (R0034962)	304 S CEDAR BROOK RD	SZABADOS CHRISTINA B &	0	2,982	2,982

Parcel	Address	Owner	Below	Above	Total
146114009015 (R0034782)	3034 LINDEN DR	PATRICIAN JEFFREY	396	2,568	2,964
146114002019 (R0034785)	574 N CEDAR BROOK RD	KENNEDY HEATHER LEE &	1,092	1,868	2,960
146115004003 (R0034906)	18 WILDCAT LN	GRANOF JOSHUA K & CARLA	1,192	1,748	2,940
146114001003 (R0034606)	745 N CEDAR BROOK RD	GRIFFITH WADE MATHEW REV	1,024	1,914	2,938
146111014004 (R0034867)	1016 N CEDAR BROOK	HERBERT KIRAN & DAVID	1,184	1,744	2,928
146114004006 (R0034706)	223 N CEDAR BROOK RD	SWITZER SHARON L	1,152	1,776	2,928
146114008007 (R0034664)	395 PINE BROOK RD	AARON BARRY L & BRYANT	784	2,128	2,912
146122006007 (R0034902)	116 HAWK LN	LUCAS DAVID ANDREW	1,056	1,853	2,909
146124203027 (R0071973)	43 ARROWLEAF CT	HOWER J ROLAND & SUSAN	0	2,894	2,894
146114006003 (R0034774)	2002 LINDEN DR	RYAN THOMAS W & MELANIE	0	2,883	2,883
146124203007 (R0034992)	239 S CEDAR BROOK RD	POGODA HOWARD M & TARA L	1,200	1,675	2,875
146114001002 (R0034605)	635 N CEDAR BROOK RD	CALVE SARAH	1,370	1,496	2,866
146114003001 (R0034876)	62 N CEDAR BROOK RD	JOHNSON MARK E LIVING	905	1,936	2,841
146115005006 (R0034894)	228 ALPINE WAY	MARSHALL EMILY	796	2,044	2,840
146123009012 (R0035005)	320 S CEDAR BROOK RD	WILSON LISA K TRUST	1,008	1,830	2,838
146115006003 (R0034916)	60 BRISTLECONE WAY	HOPE KAREN TRUST	722	2,100	2,822
146115008001 (R0034872)	118 BRISTLECONE WAY	COLLIER DOUGLAS J &	775	2,038	2,813
146123011017 (R0034588)	1153 TIMBER LN	NAT REVOCABLE TRUST	1,143	1,663	2,806
146114004002 (R0034823)	22 PINE BROOK RD	TSCHOPP DAVID	0	2,797	2,797
146114009014 (R0034742)	3132 LINDEN DR	CREEK TODD D & SANDRA J	1,008	1,786	2,794
146111013003 (R0034616)	1332 N CEDAR BROOK	HAWLEY KRISTEN SIGNE &	987	1,802	2,789
146114004014 (R0034719)	141 VALLEY VIEW WAY	BAUMGARTNER REID J LIVING	540	2,248	2,788
146114007004 (R0034642)	755 BOW MOUNTAIN RD	ZANOWICK STEPHEN S	1,298	1,468	2,766
146114001004 (R0034607)	771 N CEDAR BROOK RD	YORK JEFFREY GLENN ET AL	705	2,043	2,748
146115007001 (R0034931)	161 BRISTLECONE WAY	EDDY BROOK	0	2,748	2,748
146115005001 (R0034947)	420 ALPINE WAY	HAMPSON GREGORY JAMES &	1,248	1,472	2,720
146114007005 (R0034708)	765 PINE BROOK RD	MEYER ERIC & MARIA K WIK	0	2,705	2,705
146114002011 (R0034592)	93 MEADOWLOOK WAY	BARIS FAMILY LIVING TRUST	576	2,123	2,699
146114008002 (R0034743)	746 BOW MOUNTAIN RD	STANLEY MARTHA F	1,344	1,344	2,688
146114002018 (R0034855)	118 MEADOWLOOK WAY	DOWNING DAVID C &	997	1,669	2,666
146114002028 (R0034590)	93 PINE NEEDLE RD	BRYANT STEPHEN NICHOLAS	0	2,651	2,651
146114002007 (R0034626)	630 N CEDAR BROOK RD	MISKA ERIC R	806	1,838	2,644
146114010011 (R0034669)	718 PINE BROOK RD	HEIM ALICIA NORRIS &	648	1,968	2,616
146111012001 (R0034615)	1275 N CEDAR BROOK	RUSSELL SHANNON H &	405	2,188	2,593
146114012010 (R0034792)	98 PINE TREE LN	BLUMEN DAVID ALEXANDER &	1,004	1,587	2,591
146124203012 (R0034987)	124 FIR LN	BIRMINGHAM JOSEPH &	1,276	1,276	2,552
146123010004 (R0034744)	65 BEAVER WAY	ZUETELL DAMON R &	1,274	1,274	2,548
146124203010 (R0034963)	129 FIR LN	CALLAWAY EILEEN S	648	1,896	2,544
146114002027 (R0034703)	27 PINE NEEDLE RD	OLIVETTI PETER THOMSON &	499	2,037	2,536
146123007008 (R0034631)	1138 TIMBER LN	BIXBY GEORGE E	746	1,754	2,500
146114002009 (R0034598)	97 MEADOWLOOK WAY	TOOMRE LINDA C	1,036	1,438	2,474
146124203028 (R0035003)	27 ARROWLEAF CT	ARROWLEAF LLC	766	1,672	2,438
146114010007 (R0034762)	19 WAGNER CIR	HIGGINS STEPHANIE &	1,200	1,237	2,437
146114009007 (R0034594)	2424 LINDEN DR	MILLER JENNIFER MACKLIN ET	518	1,897	2,415
146124203011 (R0034986)	122 FIR LN	BROWN-SARACINO JOCELYN	748	1,664	2,412
146123009001 (R0034952)	168 S CEDAR BROOK RD	CHANG TAE Y & DESEREE S	600	1,810	2,410
146115004004 (R0034935)	100 WILDCAT LN	HARTMAN JULIE L	0	2,396	2,396
146114010008 (R0034596)	484 PINE BROOK RD	WILEY PETER L & JO ANN	1,188	1,188	2,376

Parcel	Address	Owner	Below	Above	Total
146114003002 (R0034811)	98 N CEDAR BROOK RD	FLIPPEN PAUL R & KIM L	1,150	1,215	2,365
146114002026 (R0034701)	156 N CEDAR BROOK RD	NORGAARD ROLF & ANDREA	1,263	1,097	2,360
146114009009 (R0034707)	2350 LINDEN DR	WOLJCIK VALLERIE R &	0	2,339	2,339
146124203016 (R0034997)	389 S CEDAR BROOK RD	THOMPSON MONICA	825	1,509	2,334
146114010001 (R0034694)	122 PINE BROOK RD	IMPERI MICHAEL H &	1,008	1,288	2,296
146123009010 (R0034980)	104 ACORN LN	POWELL-ASHBY SALLY	1,040	1,124	2,164
146114002020 (R0034780)	476 N CEDAR BROOK RD	ENDO RUSSELL K & JUNKO J	1,092	1,041	2,133
146114012002 (R0034802)	2535 LINDEN DR	HARRIS SUSAN ET AL	1,056	1,056	2,112
146114004004 (R0034678)	431 N CEDAR BROOK DR	LEX Q SHEPHERD TRUST	0	2,090	2,090
146123009002 (R0034967)	188 S CEDAR BROOK RD	ELY JAMES WALLACE III	0	2,044	2,044
146114001005 (R0034608)	865 N CEDAR BROOK RD	MCGUIRE SHANNON J	172	1,748	1,920


Building Permits since 9/8/1998 for 228 ALPINE WAY that added or modified Sq. Ft.

Date	Permit	Description	Sq. Ft.	Status
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PARCEL REPORT: 146115005006

Property Information

R0034894		Site Address(es)
		228 ALPINE WAY
		Owner(s)
		MARSHALL EMILY
		Mailing Address(es)
		228 ALPINE WAY , BOULDER CO 80304
		Abbreviated Legal Description
		LOT 359 PINE BROOK HILLS 7

Estimated Parcel Size as Drawn 76,360 sq.ft. (1.75a.)	Parcel Size used in Valuation 1.7529 acres	Zoning (F) Forestry, 1.75 Acres	
Fire Response Provider BOULDER MOUNTAIN FIRE		Wind Load 165 mph	Snow Load 50 lbs/sqft
Floodplain Boulder County: NOT PRESENT FEMA: X (1.75 Acres)			STR S23 - T1N - R71W
Boulder County Open Space NOT PRESENT		Plats PINE BROOK HILLS UNIT 7 (1.75 Acres)	

Structure Details

Account	Building	Built	Remodeled	Bedrooms	Bath Full	Bath 3/4	Bath 1/2
R0034894	1	1974	2020	4	3	0	0

Class / Design / Construction
SINGLE FAM RES IMPROVEMENTS / Split-level / Mountains

Floor Area Description	Below Grnd. RFA	Above Grnd. RFA	Not RFA
FIRST FLOOR (ABOVE GROUND) FINISHED AREA		960	
2ND FLOOR AND HIGHER FINISHED AREA		500	
LOWER LVL WALKOUT FINISHED (BI-SPLIT LVL)	796		
ATTACHED GARAGE AREA		584	
DECK AREA			708
PATIO AREA			637
PORCH AREA			378

Total	Below Grnd. RFA	Above Grnd. RFA	Total RFA	Not RFA	Total Area
Parcel	796	2,044	2,840	1,723	4,563

Account	Building				
R0034894	1				
CONST - Commercial: Frame		EXT_WALL_PRIMARY: Frame Wood/Shake		FOUNDATION: Concrete	
HEATING: Forced Air		INTERIOR: Drywall		LAND_PERCENT: 55% LAND RATIO	
ROOF_COVER: Asphalt		ROOF_DSN: Gable		SIZE_ADJ: 1 - SIZE_ADJ	
WINDOWS: Wood Thermopane					

Application, License, and Permit History

Record Type Furnace			ID Number BP-24-0375	Value \$10,321
Description Install Furnace				
Application Date 2/15/2024	Record Status Permit Issued	Status Date 2/16/2024	Public Documents 2	Disaster No
Record Type Reroofing			ID Number BP-21-2355	Value \$5,100
Description Reroof residence using Owens Corning TruDefinition Duration in Onyx Black.				
Application Date 9/23/2021	Record Status Permit Issued	Status Date 9/24/2021	Public Documents 2	Disaster No
Record Type OWTS Property Transfer			ID Number PTC-2021-0168	
Application Date 5/10/2021	Record Status Certificate Issued	Status Date 5/21/2021	Public Documents 1	
Record Type OWTS Property Transfer			ID Number PTC-2015-0049102	
Application Date 9/17/2015	Record Status Certificate Issued	Status Date 9/24/2015	Public Documents 0	
Record Type OWTS Major Repair			ID Number MAJP-2001-0033555	
Application Date 5/9/2001	Record Status System Approved	Status Date 12/18/2001	Public Documents 0	
Record Type Residential Addition			ID Number BP-90-1001	Value \$41,619
Description GARAGE/ADD MASTER BEDROOM				
Application Date 8/29/1990	Record Status	Status Date	Public Documents 2	
Record Type New Residence			ID Number BP-73-17991	Value \$23,000
Description SINGLE FAM DWELLING				
Application Date 1/1/1973	Record Status	Status Date	Public Documents 1	

Application, License, and Permit History

Record Type OWTS New System			ID Number NEWP-1900-0026021	
Application Date 1/1/1900	Record Status System Approved	Status Date 1/1/2010	Public Documents 0	

Recent Deeds

Type	Reception No	Date	Amount	Grantee Grantor
WARRANTY DEED-JOINT TENANT				MARSHALL EMILY
03888077	5/20/2021	\$1,400,000		GREGG VALETA
WARRANTY DEED				GREGG VALETA
3478500	9/28/2015	\$740,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				CATHEY W THOMAS JR TRUST &
2304836	7/2/2002	\$0		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				GRAAFF JANET
2304839	7/2/2002	\$605,000		CATHEY W THOMAS JR TRUST &
WARRANTY DEED				
1861286-8	10/21/1998	\$0		
QUIT CLAIM DEED				
1089093	2/25/1991	\$0		
QUIT CLAIM DEED				
41124	10/27/1972	\$4,000		

Assessed Value

Account	Tax Year	Land	Structures	Total
R0034894	2024	\$383,600	\$1,199,900	\$1,583,500

Taxing Districts

[Mill Levy Breakdown](#)

COUNTY		
BOULDER CO TEMP HS SAFETY NET FUND	BOULDER COUNTY CAPITAL EXPEND FUND	BOULDER COUNTY CONTINGENCY FUND
BOULDER COUNTY DEVEL DISABILITY FUND	BOULDER COUNTY GENERAL OPERATING	BOULDER COUNTY HEALTH & HUMAN SERVICES
BOULDER COUNTY JUDGMENT LEVY FUND	BOULDER COUNTY PUBLIC WELFARE FUND	BOULDER COUNTY PUBLIC WORKS
BOULDER COUNTY REFUND ABATEMENT	BOULDER COUNTY RETIREMENT FUND	BOULDER COUNTY ROAD & BRIDGE
BOULDER COUNTY SELF INSURANCE FUND	BOULDER COUNTY SOLID WASTE FUND	
FIRE PROTECTION DISTRICT		
BOULDER MTN FIRE DIST GENERAL OPER		
LIBRARY DISTRICT		
BOULDER PUBLIC LIBRARY DISTRICT GENERAL		
SCHOOL DISTRICT		
BOULDER VALLEY RE2 ABATEMENT REFUND	BOULDER VALLEY RE2 BOND REDEMPTION	BOULDER VALLEY RE2 CAPITAL CONSTRUCTION
BOULDER VALLEY RE2 GENERAL OPERATING	BOULDER VALLEY RE2 OVERRIDES	BOULDER VALLEY RE2 TRANSPORTATION
BOULDER VALLEY RE-2 INSURANCE	BOULDER VALLEY RE-2 RESERVE	BOULDER VALLEY RE-2 TAX CREDIT
TRANSPORTATION DISTRICT		
RTD GENERAL OPERATING		
WATER DISTRICT		
PINE BROOK WATER BOND REDEMPTION	PINE BROOK WATER GENERAL OPERATING	

For More Information

Community Planning & Permitting Department
Building Safety & Inspection Services
2045 13th Street, Boulder, Co. 80302 – PO Box 471, Boulder, Co. 80306
303-441-3930 (Office)
www.bouldercounty.gov



September 19, 2024

Commissioners Approve Temporary Moratorium for Larger Houses, Pending Regulation Changes

Board considering Land Use Code changes to help address neighborhood character, sustainability, and affordability

Note: The following only applies to land within the [unincorporated areas of Boulder County](#). It does not apply to incorporated cities or towns (i.e. Boulder, Louisville, etc.).

Boulder County, Colo. - Starting January 17, 2025, Boulder County will temporarily cease accepting applications for an initial six months for residential developments over a certain size while it considers changes to the land use code.

During this time, the Community Planning and Permitting Department will engage with residents, builders, architects, and other interested parties while they consider changes to the Boulder County Land Use Code Article 4-800 Site Plan Review (SPR). To get involved in this process, [sign up for Land Use Code News](#).

Accepted applications, approved applications, and approved construction will continue during this time. The temporary moratorium does **not** apply to Marshall Fire or Stone Canyon Fire rebuilds.

All other applications will continue as usual.

Possible Land Use Code changes

Due to concerns about the impact of increasing house sizes in unincorporated Boulder County on sustainability and assessed values, the Boulder County Commissioners are considering changes to the county [Site Plan Review](#) regulations to help address neighborhood character, sustainability,

and affordability.

Currently, the Land Use Code allows residential development up to 125% of the median residential floor area for a defined neighborhood and, in some cases, development over this presumed size limitation.

Temporary moratorium

At [a public meeting and public hearing this week](#), the Boulder County Commissioners enacted a [temporary moratorium](#) on Boulder County's processing applications for development larger than the median Residential Floor Area within the defined neighborhood in the unincorporated Boulder County.

Based on public testimony, the commissioners set a start date for the temporary moratorium of January 17, 2025, and an end date of July 17, 2025, unless extended by further resolution.

What is a temporary moratorium?

A temporary moratorium is a temporary prohibition of an activity. In this instance, it refers to the county temporarily not accepting applications for the developments outlined above.

What is NOT included in the temporary moratorium?

This temporary moratorium does not apply to the following:



- **Applications accepted prior to January 17, 2025:** Any complete application for development accepted and being processed by the Community Planning & Permitting Department by January 17, 2025, which may continue to be processed and reviewed as provided in the Boulder County Land Use Code.
- **Approved applications:** Any application for development already approved by the Community Planning & Permitting Department prior to January 17, 2025, where such approval is validly maintained thereafter.
- **Marshall Fire or Stone Canyon Fire rebuilds:** Applications submitted to restore homes that were damaged or destroyed by causes outside the control of the property owner as set forth in Articles 4-802.B.3 and 19 of the Code.
- **Additions and remodels that don't exceed the median Residential Floor Area of a defined neighborhood.**
- **Modifications to existing approvals,** provided the resulting total residential floor area does not exceed the median Residential Floor Area for the defined neighborhood, as defined in Article 4-806 of the Code.
- Development which possesses either a statutory or common law vested right.

Submit Comments, Contact Staff, and Subscribe to Stay Informed

Written comments may be submitted to Ethan Abner at longrange@bouldercounty.gov or mailed to the Boulder County Commissioners' Office, P.O. Box 471, Boulder, CO 80306.

[Subscribe to Land Use Code News](#) to receive update emails.



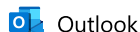
Boulder County wants to ensure that everyone has equal access to our programs, activities, and services. To request an Americans with Disability Act (ADA) accommodation, please email ada@bouldercounty.gov , or call 303-441-1386. If you need help in another language, please email CPPfrontdesk@bouldercounty.gov  or call 303-441-3930.

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Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

From Bill Parker <parker@northstudiosllc.com>

Date Mon 7/7/2025 5:35 PM

To Sanchez, Kimberly <ksanchez@bouldercounty.gov>

Cc LU Land Use Planner <planner@bouldercounty.gov>; Case, Dale <dcase@bouldercounty.gov>; Frederick, Summer <sfrederick@bouldercounty.gov>; Hippely, Hannah <hhippely@bouldercounty.gov>; #CPPFrontDesk <CPPFrontDesk@bouldercounty.gov>; Grimm, Denise <dgrimm@bouldercounty.gov>; Fasick, Jessica <jfasick@bouldercounty.gov>; Abner, Ethan <eabner@bouldercounty.gov>

Good afternoon Kimberly,

Thanks for the clarification. We're just working on putting together our letter to the BOCC. We should have everything submitted tomorrow or Wednesday.

Thanks again,

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Mon, Jul 7, 2025 at 1:07 PM Sanchez, Kimberly <ksanchez@bouldercounty.gov> wrote:

Bill,

Correction: If you prevail with the Board of *County Commissioners* (BOCC), your deposit and payments will be refunded. While this appeal of an administrative decision is similar to those that go in front of the Board of Adjustment, this particular type of appeal is heard by the BOCC.

From: Sanchez, Kimberly

Sent: Monday, June 30, 2025 9:06 AM

To: Bill Parker <parker@northstudiosllc.com>; LU Land Use Planner <planner@bouldercounty.gov>

Cc: Case, Dale <dcase@bouldercounty.gov>; Frederick, Summer <sfrederick@bouldercounty.gov>; Hippely, Hannah <hhippely@bouldercounty.gov>;

#CPPFrontDesk <CPPFrontDesk@bouldercounty.gov>; Grimm, Denise <dgrimm@bouldercounty.gov>; Fasick, Jessica <jfasick@bouldercounty.gov>; Abner, Ethan

<eabner@bouldercounty.gov>

Subject: RE: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Hi Bill,

I'll jump in here. Since the size limitations are zoning requirements (see Article 4-101.E.3 of the Land Use Code), this is an appeal of the zoning regulations not an appeal of a Site Plan Review (SPR) determination; therefore you do not need to submit a SPR application and no SPR pre-application conference is needed. Also, no historic referral, no staking of the property, survey, etc. This isn't an application for a development proposal, but it is an appeal of the zoning requirements for the property.

Since this isn't a development proposal, you would not submit all the standard items (i.e., site plan, maps, fact sheet, etc.) that you listed from Site Plan Review.

Instead, you will submit the information below:

3-202 Application Submittal Requirements

- A. The following list details the submittal requirements for the various County approvals defined in Section 3-100(A), above. A detailed description of the material to be submitted is included in Section 3-203. Except as may be otherwise required by law, the Director may waive or alter any of these minimum requirements if they are determined to be inappropriate or unnecessary.

1. Appeal of an Interpretation of the Regulations
 - a. Statement of the interpretation being appealed.
 - b. Application Form, Project Description and Fee

The application form can be found here: <https://assets.bouldercounty.gov/wp-content/uploads/2017/04/p01-planning-application-form.pdf>

As Bonnie stated, there is a \$750 deposit and you will be billed for staff time up to a total amount of \$2,000.00. If you prevail with the Board of County Commissioners **Adjustment**, then the deposit and any additional payments will be refunded. See <https://assets.bouldercounty.gov/wp-content/uploads/2017/02/p-04-planning-review-fee-schedule.pdf> (Appeal of an Administrative Decision is the 3rd process listed in the table.) And provide this form: <https://assets.bouldercounty.gov/wp-content/uploads/2017/03/p31-fee-agreement.pdf>

When you submit your application materials online via the instructions Bonnie provided below, you will select **"OTHER"** as your Planning Application request.

Please also note that the appeal will be evaluated by the Standards for Review found in [Article 4-1202.A](#):

4-1202 Standards of Review

- A. Interpretations of this Code
 - 1. In hearing an appeal of an administrative decision or interpretation, the Board of Adjustment shall consider the following:
 - a. the technical meaning of the provision being appealed;
 - b. evidence as to the past interpretation of the provision;
 - c. the principles of interpretation and rules of construction in Article 1 of this code; and
 - d. the effect of the interpretation on the intent of this Code and the implementation of the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

Bonnie is tied back into this email so please just let us know if you have any other questions. Thanks!

Kim Sanchez

Kim Sanchez | Deputy Planning Director

Boulder County | Community Planning & Permitting

She, her, hers

Hours of service: M, W, Th, F 8am-4:30pm & Tu 10am-4:30pm

Open office hours: M, W, Th 8am-3pm & Tu 10am-3pm or by appointment

Office address: 2045 13th Street, Boulder CO 80302

Mailing address: PO Box 471, Boulder CO 80306

Direct: 720-564-2627 | Main: 303-441-3930

Email: ksanchez@bouldercounty.gov

From: Bill Parker <parker@northstudiosllc.com>

Sent: Monday, June 30, 2025 6:45 AM

To: LU Land Use Planner <planner@bouldercounty.gov>

Cc: Case, Dale <dcase@bouldercounty.gov>; Sanchez, Kimberly <ksanchez@bouldercounty.gov>; Frederick, Summer <sfrederick@bouldercounty.gov>; Hippely, Hannah <hhippely@bouldercounty.gov>; #CPPFrontDesk <CPPFrontDesk@bouldercounty.gov>

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Good morning Bonnie,

I really appreciate all the additional information. I'm following the steps for starting the application process and I'm not seeing 'Appeal' as an option. Should I select 'Variance' or maybe 'Other' to get this process started?

I know that we had a pre-application conference toward the beginning of our questions and I just want to make sure that I don't need to go through a separate pre-application meeting or the entire Site Plan Review phase prior to submitting for an appeal to the Board of County Commissioners. I only ask as I've never skipped straight to the BOCC appeal process before and want to make sure I'm going through all the steps correctly.

If I need to go through the SPR, can someone create the checklist of items they'll need from us for this review prior to the BOCC appeal? Can we also receive the list of associated costs, non-refundable and refundable, if our appeal is approved?

I'll have the standard items: application, vicinity map, location map, fact sheet, floor plans & elevations, as well as a rough site plan with the home, decks, driveway/turn around, and septic tank/leach field information. We don't have a completed survey to date so please let us know if we'll need to have any rough grade shown on the site plan as well.

Step 3: Gather Additional Required Information

Include one copy with your Site Plan Review application of each item below initialed by the Pre-Application Conference planner. The planner will only initial the items if they are relevant to your lot or project.

	Letter of verification of a search of the Inventory of Cultural Resources (Archaeological/Historical) - Please contact History Colorado at 303-866-5216 or hc_filesearch@state.co.us. Provide the location of the property by section, township, and range to obtain this letter.
	Historic Preservation Referral Form
	Cross-sections and calculations used to derive earthwork figures. If the project is close to 500 cubic yards (the trigger for Limited Impact Special Review), the county may also require calculations from a certified engineer to verify that Limited Impact Special Review is not required.
	Verification of Legal Access - A deed or easement granting the right to cross neighbors' property and a title commitment/ insurance which covers access. All deeds or easements must be recorded to be valid.
	Traffic calculations - Certified by a registered transportation engineer (non-residential uses).
	Occupant load calculations - According to International Building Code (non-residential uses).
	Daily wastewater flow calculations.
	Narrative description of the proposed use of the property.
	Other:

I've reached out to Historic Preservation to verify any referral requirement that we might need since the home is more than 50 years old.

I can also work with the homeowners to get the corners of the addition staked.

Please let us know if we need any of the other items listed in this checklist as well.

Thanks again for helping walk us through this process. Please feel free to call with any questions.

Thanks,

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Thu, Jun 5, 2025 at 11:00 AM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill –

I inadvertently referenced the incorrect code sections for an appeal of the Structure Size regulations, which are in the zoning district regulations (versus Site Plan Review). My apologies. The limitation being appealed for this Forestry (F) zoned parcel at 228 Alpine case is [Article 4-101.E.3](#) and the appeal provisions are cited in Article 4-101.E.3.b and 4-1202.A (instead of 4-808). It is an Appeal of an Administrative Decision. The Standards for Review of the appeal are found in [Article 4-1202.A](#).

Feel free to reach out if you have any questions.

Best, Bonnie

Bonnie Gracia

On-call Planner

[Boulder County Community Planning & Permitting](#) | P.O. Box 471, Boulder, CO 80306

303-441-3930 | bgracia@bouldercounty.gov

Boulder County Community Planning & Permitting office at 2045 13th St., Boulder is open to the public on Monday, Wednesday, and Thursday from 8 a.m. to 3 p.m., and on Tuesday from 10 a.m. to 3 p.m. Appointments are available on Tuesday but not required. Sign-up for Boulder County news at boco.org/e-news

New: Boulder County has a new website: BoulderCounty.gov! Bookmark it today. Email addresses will transition at a later date.

From: LU Land Use Planner <planner@bouldercounty.gov>

Sent: Thursday, June 5, 2025 8:43 AM

To: LU Land Use Planner <planner@bouldercounty.gov>; Bill Parker <parker@northstudiosllc.com>

Cc: Case, Dale <dcase@bouldercounty.gov>; Sanchez, Kimberly <ksanchez@bouldercounty.gov>; Frederick, Summer <sfrederick@bouldercounty.gov>; Hippely, Hannah <hhippely@bouldercounty.gov>; #CPPFrontDesk <CPPFrontDesk@bouldercounty.gov>

Subject: RE: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Hi Bill,

Thanks for your patience.

An appeal of the new Site Plan Review Residential Floor Area code goes to the Board of County Commissioners ([Article 4-808](#)). An [Appeal](#) requires an [application](#) and a narrative detailing how the code is incorrect and/or why it doesn't apply in this case.

There is a \$750 deposit for the Appeal which is refundable if you prevail. See the text in blue for a link to more information.

Please submit the application, narrative, and any other materials to support your appeal via the portal:

Then submit this application to the online portal, which is at this link: <https://accelapublic.bouldercounty.org/CitizenAccess/Login.aspx>.

Either login or create a new account.

Click "Start a New Application".

Click "Planning".

Click "Planning Application Request".

Click "Appeal", then proceed to application.

Continue to fill out the required information. I have attached the parcel report, which will have the address as well as the parcel ID.

If you run into problems, please contact us and we'll be happy to help figure things out.

You will receive an email re: payment once the application has been processed.

Feel free to reach out if we may answer other questions.

Bonnie Gracia

On-call Planner

[Boulder County Community Planning & Permitting](#) | P.O. Box 471, Boulder, CO 80306

303-441-3930 | bgracia@bouldercounty.gov

Boulder County Community Planning & Permitting office at 2045 13th St., Boulder is open to the public on Monday, Wednesday, and Thursday from 8 a.m. to 3 p.m., and on Tuesday from 10 a.m. to 3 p.m. Appointments are available on Tuesday but not required. Sign-up for Boulder County news at boco.org/e-news

New: Boulder County has a new website: BoulderCounty.gov! Bookmark it today. Email addresses will transition at a later date.

From: LU Land Use Planner <planner@bouldercounty.gov>

Sent: Wednesday, June 4, 2025 5:47 PM

To: Bill Parker <parker@northstudiosllc.com>; LU Land Use Planner <planner@bouldercounty.gov>

Subject: RE: [EXTERNAL] Ask a Planner - Bill Parker -- 228 Alpine Way

Hi Bill,

Thanks for your email.

We've received your request for a Variance from the new Residential Floor Area regulations and staff is working on providing direction.

Thanks for your patience with us as we work with the new code.

Bonnie Gracia

On-call Planner

[Boulder County Community Planning & Permitting](#) | P.O. Box 471, Boulder, CO 80306

303-441-3930 | bgracia@bouldercounty.gov

Boulder County Community Planning & Permitting office at 2045 13th St., Boulder is open to the public on Monday, Wednesday, and Thursday from 8 a.m. to 3 p.m., and on Tuesday from 10 a.m. to 3 p.m. Appointments are available on Tuesday but not required. Sign-up for Boulder County news at boco.org/e-news

New: Boulder County has a new website: BoulderCounty.gov! Bookmark it today. Email addresses will transition at a later date.

From: Bill Parker <parker@northstudiosllc.com>

Sent: Wednesday, June 4, 2025 2:17 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Good afternoon,

After going through all the options with our client and reviewing the latest amendments, we think we'd like to see if we can apply for an adjustment or variance to build above the median size of the neighborhood.

If we were to begin this process, would we start with a new pre-application meeting or site plan review since we would be going above the baseline 1000 ft.² increase?

I know the five member panel for the Board of Adjustments typically handles increases in height and encroachment in setbacks, would we still be speaking with them about an request to build over the allowable median square footage or would this be a direct communication with the county commissioners after their latest ruling?

Any guidance is be greatly appreciated!

Thanks,

Bill Parker
Architect, LEED AP
North Studios LLC
720.695.6069

--

Message sent from my iPhone

On Mon, May 12, 2025 at 10:04 AM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

No, there have not been any changes to the measuring of RFA.

Typically, if a home has "overlook areas" or "areas open to below" the building team does not include that space in their measurements.

Our office is still in the process of updating our documents/text/resources – I do not know when that will be published. In the meantime, the "draft language" of the text amendments found in Attachment A of the [staff packet](#) (starting on page 20) will be your best reference point until then.

-Wesley

From: Bill Parker <parker@northstudiosllc.com>
Sent: Monday, May 12, 2025 9:43 AM
To: LU Land Use Planner <planner@bouldercounty.gov>
Cc: cflynn4242@gmail.com
Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Hello Wesley,

Thank you for the quick response. That is what we were afraid took place.

I was speaking with a builder and he mentioned that the RFA may have also been updated to only measure on the interior face of the home removing the exterior wall thickness and materials from the calculation. Is this correct? Was there any update removing a portion of garages, the double counting of staircases, or overlook areas inside of a home?

Is there a link to the updated regulations or will they only be available starting tomorrow on Boulder County's website?

Thanks again for your help!

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Mon, May 12, 2025 at 9:25 AM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

The larger of the ranges was revised down during the hearing to 3,001 to 3,500.

This parcel currently has 2,840 square feet of RFA (per the Assessor's Records). Under the regulations effective tomorrow, this property could add the greater of either the Median (3,879 square feet) or 750 square feet above existing (as the parcel has between 1,501 and 3,000 sf). As the median is the larger of those two, the maximum under the new regulations would be 3,879 square feet.

An increase of more than 1,000 square feet (up to the zone district maximum described above) would require a Site Plan review, though it would likely qualify for an expedited SPR.

-Wesley

From: Bill Parker <parker@northstudiosllc.com>

Sent: Monday, May 12, 2025 8:22 AM

To: LU Land Use Planner <planner@bouldercounty.gov>

Cc: cflynn4242@gmail.com

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Good morning Clara,

Thank you for the additional information. I'm looking over the [staff packet summary of proposed amendments](#) and it looks like the range for median home size is shown as 3001-4500sf for the additional 675sf on page 11.

Some community members expressed concerns that the current methodology for determining the compatible structure size is unfair in that it disproportionately impacts residents with smaller homes, who live in neighborhoods with a smaller median RFA. To address these concerns, staff propose a sliding-scale concept that would grant applicants an additional allotment of RFA if the RFA on their parcel approaches the structure size limit established in the zoning district standards. The amount of additional RFA allotted for a parcel decreases as the RFA on the parcel increases. Parcels in the mapped townships of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside would be limited to 1,500 square feet. The sliding-scale concept is proposed as follows:

- Parcels with existing RFA less than or equal to 1,500 square feet as of the effective date of the regulations would be limited to the greater of either the median of the defined neighborhood or an additional 1,000 square feet.
- Parcels with existing RFA between 1,501 square feet and 3,000 square feet as of the effective date of the regulations would be limited to the greater of either the median of the defined neighborhood or an additional 750 square feet.
- **Parcels with existing RFA between 3,001 square feet and 4,500 square feet as of the effective date of the regulations would be limited to the greater of either the median for the defined neighborhood or an additional 675 square feet.**
- Parcels with existing RFA greater than 4,501 square feet would be allowed up to the median but not be allotted any additional RFA over the median.

If this is the case then I'm assuming we're allowed to build the median home size of 3879 plus 675 sf, 4,554 sf? If these aren't the final amendments, would you mind sending me an updated link?

If the finalized regulations are only 3001-3500sf medians as mentioned above, then we'd like to get a phone call set up to discuss some of the design revisions we'd propose to help us pickup more square footage by removing portions of the existing home.

Feel free to call with any comments or questions.

Thanks,

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Fri, May 9, 2025 at 1:25 PM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

What ethan talked about was the proposed regulations after the BOCC approved new SPR regulations. What I stated was the finalized regulations. I may have mistyped; if the current size of RFA is 3001-3500, and the 675 limit is above the median, since that size would be larger, the allotment would be the maximum size allowed.

Clara Wagh

On-Call Planner I

Boulder County Community Planning and Permitting

Website: www.bouldercounty.gov

2045 13th St Boulder, Colorado 80302

Email: cwagh@bouldercounty.gov

From: Bill Parker <parker@northstudiosllc.com>

Sent: Friday, May 9, 2025 12:53 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Cc: cflynn4242@gmail.com

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker -- 228 Alpine Way

Hello Clara,

Thanks for getting back to us so quickly. So to receive the increase that Ethan originally discussed, would we need to have been submitted or approved for permit before the new regulations kick in?

Is my understanding correct as well that if our median size was under 3500 ft.² and the home was currently under 3500 ft.² we would be able to add 675 ft.²?

If that is the case, then those neighborhoods could potentially build up to 4175 ft.² and our larger Pine Brook neighborhood is limited to 3879 ft.²?

Thanks again for all your help, just trying to make sure I get the correct information relayed to our clients.

Much appreciated,

Bill Parker
Architect, LEEP AP
North Studios LLC
720.695.6069

--

Message sent from my iPhone

On Fri, May 9, 2025 at 12:36 PM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

Thanks for reaching out to us.

The moratorium is planned to end on the 13th, when the new regulations are finalized.

With the new *finalized* regulations, medians from 3001 to 3500 will be allowed to only add up to 675. Since this median exceed 3,500 sf, there is no additional allotments permitted after the median is exceeded. To be clear, the new regulations are limiting to ***either the median or if there is an allotment available, whichever is larger.*** Because the median is larger in this case, that would be the final maximum size.

Clara Wagh

On-Call Planner I

Boulder County Community Planning and Permitting

Website: www.bouldercounty.gov

2045 13th St Boulder, Colorado 80302

Email: cwagh@bouldercounty.gov

From: Bill Parker <parker@northstudiosllc.com>

Sent: Thursday, May 8, 2025 04:25 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Cc: cflynn4242@gmail.com

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Good afternoon Wesley, Ethan, and Bonnie,

I just saw that the temporary moratorium has been lifted for Boulder County and I see these new regulations take effect on May 13th.

When we last spoke, we were informed that we could enlarge the Flynn residence (2,840 SF) by 1,039 SF to meet the median of the Pine Brook neighborhood of 3,879 SF. Ethan informed me that if we got our permit approved prior to the moratorium being lifted we could potentially add an additional 750 SF down the road as well.

I just wanted to follow up and see what our current path is now that the ruling has been finalized. Is the additional 750 SF still an option moving forward? Our goal was to design the addition to maximize the 1,039 SF and in the future build a detached garage of 750 SF.

If we need to set up a phone call I'd be happy to try and schedule something for next Monday or Tuesday. I'll be out of town from 5/14 and return on 5/21. Feel free to call or email with any questions.

Thanks!

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Mon, Apr 7, 2025 at 4:46 PM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

Thanks for the reply.

Your understanding is correct. In fact, Ethan is our expert on the moratorium and the proposed new regulations. I am more than happy to discuss it with you at a Planner On-Call Meeting, if you like, but I don't have any more information to add.

If you'd like to go to the full 1039sf, then scheduling a pre-application conference is the way to go.

Let me know if I can assist you further in advance of our meeting if you would still like to meet.

Bonnie

Bonnie Gracia

On-call Planner

[Boulder County Community Planning & Permitting](#) | P.O. Box 471, Boulder, CO 80306

303-441-3930 | bgracia@bouldercounty.gov

Boulder County Community Planning & Permitting office at 2045 13th St., Boulder is open to the public on Monday, Wednesday, and Thursday from 8 a.m. to 3 p.m., and on Tuesday from 10 a.m. to 3 p.m. Appointments are available on Tuesday but not required. Sign-up for Boulder County news at boco.org/e-news

New: Boulder County has a new website: BoulderCounty.gov! Bookmark it today. Email addresses will transition at a later date.

From: Bill Parker <parker@northstudiosllc.com>

Sent: Monday, April 7, 2025 4:29 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Cc: cflynn4242@gmail.com

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - [228 Alpine Way](#)

Good afternoon Bonnie,

I appreciate you reaching out to assist. I was a little confused about this so I called into the office earlier and spoke with Ethan over the phone and he explained to me that we should likely schedule a meeting with a Planner.

It is my understanding from the phone call with Ethan, that no matter what, we will not be able to increase the square footage of the home by more than 1000 square feet. He mentioned that if we'd like to go the full 1039 square feet then we'd need to schedule the pre-application meeting for approval.

Ethan informed me that there will be a hearing at the end of April for the current regulation changes but there's no guarantee that they'll pass just yet. He then informed me that our best course of action would likely be to try to get a permit for just the addition to the home using the maximum 1000 sq. ft. allowable increase described earlier.

Then once the new rules and regulations have been finalized and the moratorium lifted, maybe these modifications would allow us to build the detached garage. He informed me that if we can get an approved building permit before the moratorium is lifted, stating the new square footage of the home is 3840 sq. ft., (original 2840 SF plus 1000 SF), then this would count as our official square footage and the we'd be able to add 750 SF at a minimum to the project based on current regulations.

Please let me know if I misunderstood anything that Ethan described to us. He recommended that we meet with a Planner to discuss these items. I'm happy to change the meeting to a Virtual Pre-Application Meeting if you feel like this is the better route for us to go. We just got started with the project and don't have any documents prepared. For either meeting, I would have some sketches overlaid on the existing site plan along with rough square footages so we have something to reference.

Please let us know your thoughts.

Thanks,

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Mon, Apr 7, 2025 at 4:08 PM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Hi Bill,

Thank you for the reference to Wesley's email when you booked a *Planner On-call meeting*. I want to make sure we're on the right path to set up your project.

A Planner On-Call Meeting is not a Pre-application Conference as mentioned below. A Planner On-Call Meeting is informational only and does not accomplish the required first (administrative) step for a planning review.

It appears you have the information needed so I'm checking to make sure that the correct meeting is scheduled.

The first step for any planning review is the Pre-application Conference where a Planner will go over the application and materials with you. Please visit [this webpage](#) to self-schedule the required pre-application conference. Be sure to select "Virtual Pre-application Meeting" on the lower right side if it is your intention to complete a pre-application conference.

Let me know how you'd like to go forward.

Thanks, Bonnie

Bonnie Gracia

On-call Planner

[Boulder County Community Planning & Permitting](#) | P.O. Box 471, Boulder, CO 80306

303-441-3930 | bgracia@bouldercounty.gov

Boulder County Community Planning & Permitting office at 2045 13th St., Boulder is open to the public on Monday, Wednesday, and Thursday from 8 a.m. to 3 p.m., and on Tuesday from 10 a.m. to 3 p.m. Appointments are available on Tuesday but not required. Sign-up for Boulder County news at boco.org/e-news

New: Boulder County has a new website: BoulderCounty.gov! Bookmark it today. Email addresses will transition at a later date.

From: Bill Parker <parker@northstudiosllc.com>

Sent: Monday, April 7, 2025 2:46 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Subject: Re: [EXTERNAL] Ask a Planner - Bill Parker - - 228 Alpine Way

Good afternoon Wesley,

Thank you for taking the time to get back to me so quickly. I'll sit down with the Flynn's and plot our next course of action. Thanks again for all the additional information!

Bill Parker

Architect, LEED AP

North Studios LLC

E | Parker@NorthStudiosLLC.com

T | 720.695.6069

On Mon, Apr 7, 2025 at 1:45 PM LU Land Use Planner <planner@bouldercounty.gov> wrote:

Good Afternoon,

Thank you for your inquiry. Per the Assessor's records there is 2,840 square feet of residential floor area (RFA) existing on this Parcel. RFA is a very inclusive definition and includes all attached/detached structures supporting a residential use, such as garages and sheds. The median for residential floor area in the defined neighborhood, Pine Brook Hills, is 3,879 square feet (125% of which is 4,849). Assuming there has not been unpermitted work since September 8, 1998 that added floor area (such as enclosing a covered porch or addition of a shed), this property would be eligible to add 1,000 square feet of floor area with just a building permit. Any floor area in excess of 1,000 square feet would require a planning review.

I have attached a parcel report as well as a preliminary size analysis for this property.

Under the [temporary moratorium](#), we are unable to process new planning reviews/building permits for any project that results in greater than the median (3,879 sf or 1,039 sf above what exists on-site currently). If you believe the project will approach or exceed the thresholds described, I would recommend scheduling a [Pre-Application Conference](#) with one of our Planners to discuss your project and the processes in greater detail.

You will not be required to submit a survey for either a planning review or building permit, unless you are proposing a structure that is near to or greater than 30' tall or within 20% of a yard setback (ie: 16' feet from the front lot line, where the setback is 15'). I would recommend checking with the Access and Engineering team (transdevreview@bouldercounty.gov) for more information regarding the [Multimodal Transportation Standards](#) and any required emergency turnaround required for residential development in the mountainous regions Boulder County.

The Building Team would be the best point of contact for the items required for a building permit. I have cc'd them in this email, but they can be contacted at building@bouldercounty.gov.

Let us know if you have any other questions!

Best,

Wesley

On-Call Planner

303-441-3930 ext 3

planner@bouldercounty.gov

RESOLUTION 2024-070

A resolution imposing a temporary moratorium on processing applications for residential development over the median Residential Floor Area within the defined neighborhood in the unincorporated county pending consideration of Boulder County Land Use Code amendments

Recitals

A. The Board of County Commissioners (the “BOCC” or “Board”) adopted the original zoning regulations in Article 4 of the Boulder County Land Use Code (the “Code”) October 18, 1994. On August 8, 2008, the Site Plan Review (SPR) standards were added to the Code, which limit residential floor area to 125% of the median of residential square footage in the defined neighborhood, with certain factors that allow an applicant to overcome the size presumed to be compatible with a defined neighborhood.

B. Due to the significant growth in home size in the county over the past decade, the Community Planning & Permitting Director has determined that the existing SPR regulations regarding residential structure size may not adequately ensure that future development in the unincorporated county will be consistent with county goals and policies and the Boulder County Comprehensive Plan.

C. In particular, the Director is concerned that the existing regulations do not adequately promote smaller scale homes, protect the local environment and natural resources, and ensure compatibility with the rural and agricultural character of the county.

D. Community Planning & Permitting Department staff have identified a need to better understand and clarify the reasons for the growth of homes in the county and analyze potential options for reducing such growth, which may include future consideration of a countywide residential floor area cap.

E. The Local Government Land Use Control Enabling Act, C.R.S. §§ 29-20-101 *et seq.*, provides the county with the broad authority to plan for and regulate the use of land to best protect and promote the health, safety, and general welfare of the present and future inhabitants of Boulder County and to guide future growth, development, and distribution of land uses within Boulder County.

F. Boulder County Community Planning & Permitting staff have begun to analyze whether the existing SPR regulations regarding Residential Floor Area are sufficient to protect and promote the public health, safety, and welfare of Boulder County by appropriately balancing residential development, environmental stewardship, and community character.

G. Staff anticipates the time needed to analyze necessary amendments to the SPR regulations, as well as develop a plan to propose and adopt amended regulations, is approximately six months in total. This timeframe assumes approximately three months for research, community engagement, and internal staff meetings; one month for drafting, referral to interested third parties, and public review of those drafts; one month to notice and conduct Planning Commission hearings; and one month for BOCC hearings.

J. On September 17, 2024, the Board held a duly noticed public hearing to consider the temporary moratorium (the “Public Hearing”). As further reflected in the official record of the Public Hearing, the Board considered documents and testimony presented by Community Planning & Permitting Department staff. Forty-one members of the public spoke at the Public Hearing.

K. Based on the Public Hearing, the Board finds that circumstances warrant the enactment of a temporary moratorium on processing applications or permits for proposed development on a property exceeding the median Residential Floor Area within the defined neighborhood. This moratorium will go into effect on January 17, 2025, and remain in place during the county’s planning and land use regulation amendment process to protect and promote the public health, safety, and welfare, and to avoid development which may contravene the results and purpose of this study and process. Wildfire rebuilds are exempt from this moratorium because they do not implicate the concerns regarding new residential growth.

Therefore, the Board resolves

1. A temporary moratorium on processing applications or permits for proposed development that will exceed the median Residential Floor Area within the defined neighborhood¹ in the unincorporated county is reasonable and necessary to protect the public health, safety, and welfare of the county. For purposes of this Resolution, all existing and proposed square footage will be counted toward the median, with no exceptions permitted. This moratorium begins on January 17, 2025, and ends at the close of business on July 17, 2025, unless extended by further resolution. The purpose of the moratorium is to allow time to formulate and publicly review necessary amendments to current county land use regulations regarding residential structure size in the unincorporated county. The Community Planning & Permitting Department is directed not to accept, after January 17, 2025, building permit applications or applications under Article 4 of the Code that, if approved, would result in the total Residential Floor Area on the parcel exceeding the median Residential Floor Area within the defined neighborhood, except as specified in paragraph 4 below. Building permit applications may be approved if there is an effective Site Plan Review or Site Plan Review Waiver having approved the proposed

¹ As defined in Article 4-806.A.1 of the Code.

Residential Floor Area. If the median Residential Floor Area of a defined neighborhood is below 2,500 square feet, this temporary moratorium only applies to proposed development exceeding 2,500 square feet.

2. Community Planning and Permitting staff are directed to continue analyzing whether the existing county SPR regulations pertaining to residential floor area in the unincorporated county are sufficient to protect the public health, safety, and welfare of Boulder County, and whether amended regulations and potentially other measures limiting Residential Floor Area will be necessary to promote smaller scale homes, protect the local environment and natural resources, and ensure compatibility with the rural and agricultural character of the county. Staff is directed to move expeditiously, such that the Board can end the temporary moratorium sooner if appropriate regulations are adopted. Any change in the duration or other terms of the temporary moratorium shall occur at a duly noticed public meeting of the Board.

3. The Board reaffirms that any development conducted without all necessary county approvals may be in violation of the Code or other applicable county regulations.

4. This temporary moratorium does not apply to the following:

- a. Any complete application for development accepted and being processed by the Community Planning & Permitting Department by January 17, 2025, which may continue to be processed and reviewed as provided in the Boulder County Land Use Code.
- b. Any application for development already approved by the Community Planning & Permitting Department prior to January 17, 2025, where such approval is validly maintained thereafter.
- c. Development which possesses either a statutory or common law vested right.
- d. Modifications to existing approvals, provided the resulting total residential floor area does not exceed the median Residential Floor Area for the defined neighborhood, as defined in Article 4-806 of the Code.
- e. Applications submitted to restore homes that were damaged or destroyed by causes outside the control of the property owner as set forth in Articles 4-802.B.3 and 19 of the Code.

5. If a property owner believes certain activity is not subject to the temporary moratorium given the exceptions listed in Section 4 of this Resolution, the owner must submit a request for exemption in writing to the Community Planning & Permitting

Director. Work eligible for an administrative exemption from the moratorium may only proceed upon written approval of the Community Planning & Permitting Director.

[Signature Page to Follow]

A motion to approve the foregoing Resolution imposing a temporary moratorium was made by Commissioner Marta Loachamin, seconded by Commissioner Ashley Stolzmann, and passed by a 2-1 vote.

ADOPTED as a final decision of the Board on this 24th day of September 2024.

MR

**BOARD OF COUNTY COMMISSIONERS
OF BOULDER COUNTY:**

Ashley Stolzmann

Ashley Stolzmann, Chair

Marta Loachamin

Marta Loachamin, Vice Chair

Excused September 24, 2024

Claire Levy, Commissioner

ATTEST:

Matthew Ramos

Clerk to the Board